



FACILITY CONDITION ASSESSMENT

TOWN OF TOPSFIELD
8 West Common Street
Topsfield, Massachusetts 01983



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Topsfield, Massachusetts 01983

PREPARED BY:

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ONSITE DATE:

May 2, 3 and 6, 2019



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1 Executive Summary

1.1 Portfolio Overview and Assessment Details

General Information	
Property Type/s	Municipal campus
Main Addresses	Water Treatment Plant: 279 Boston Street Fire Station: 27 High Street Old Highway Garage: 10 School Ave DPW Building: 279 Boston Street Water Pump Station Perkins: 250 Perkins Row Water Pump Station North: 10 North Street Park and Cemetery Building: 8 Haverhill Road Town Hall: 8 West Common Street Police Station: 210 Boston Street Library: 1 South Common Street
Sites Developed	Water Treatment Plant: 2019 Fire Station: 1969 Old Highway Garage: 1941 DPW Building: 2000 Water Pump Station Perkins: 1960 Water Pump Station North: 1960 Park and Cemetery Building: 1978 Town Hall: 1873 Police Station: 1930 Library: 1935
Number of Buildings	Ten
Current Occupants	Town of Topsfield
Percent Utilization	Water Treatment Plant: 100% Fire Station: 100% Old Highway Garage: 20% (storage only) DPW Building: 100% Water Pump Station Perkins: 100% Water Pump Station North: 100% Park and Cemetery Building: 100% Town Hall: 100% Police Station: 100% Library: 100%
Dates of Visit	May 2, 3 and 6 2019

General Information

Management Point of Contact	Donna Rich, Community Development/Procurement Officer Town of Topsfield 978.887.1504 phone drich@topsfeld-ma.gov email
On-site Point of Contact (POC)	same as above
Assessment and Report Prepared By	Mary Endsley
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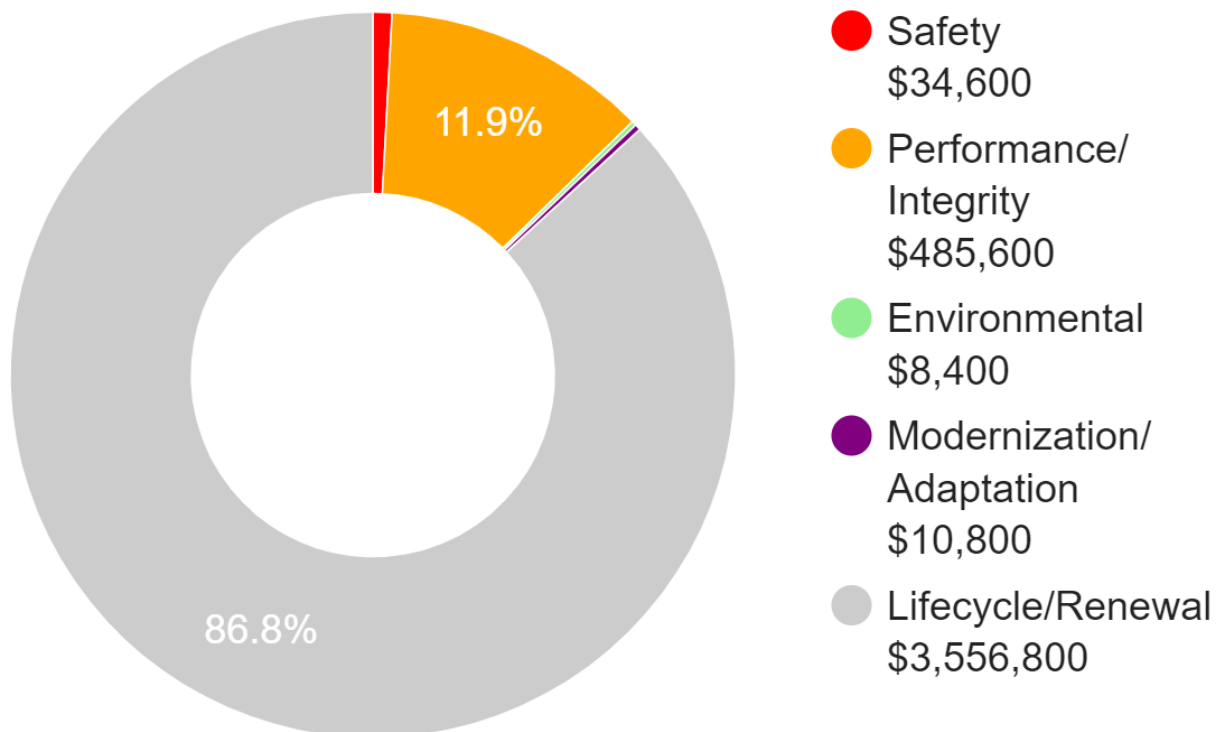
1.2 Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

Plan Type Descriptions

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Modernization/Adaptation	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Lifecycle/Renewal	■	Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.

Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$4,096,200

1.3 Portfolio-Level Findings and Deficiencies

Historical Summary

There are ten municipal buildings and sites in the Town of Topsfield.

The oldest building is the Town Hall, which was constructed in 1873. It recently underwent a complete interior renovation and constructed a new three-story addition. The work was completed in the fall of 2018. The building is on the National Register of Historic Places.

The newest building is the Water Treatment Plant, which was completed this year. It shares a site with the Department of Public Works building. The Department of Public Works building, which was constructed in 2000, is in good condition. Due to age and use, some equipment is now in being replaced. The Old Highway Garage, which was constructed in 1941, originally housed the Department of Public Works. It is currently unoccupied and is used for storage. Several storage buildings are located on the Department of Public Works site. There are two Pump Houses located off site on large water shed properties. These single story buildings were constructed in 1961.

The Parks and Cemetery building consists of an engineered metal building constructed in 1978. On the site there is a wood barn constructed in 1895, which is in the process of being converted to a chapel.

The Fire Department was constructed in 1969 and the Police Department was constructed in 1930. The buildings have not fundamentally changed although equipment, finishes and systems have been upgraded through the years.

The Library was constructed in 1935 as part of the WPA construction program. Original artwork remains in the lobby. In 1998, a two-story addition was added. The building has been well maintained and the interiors and equipment have been replaced as needed.

Architectural

The Town Hall is a wood framed structure with a slate roof in the original section and with an asphalt-shingled roof at the new addition. The connector between the two buildings has a flat roof with an EPDM membrane. The original wood windows have been maintained and restored. The exterior walls are painted wood and split faced block. The interior ceilings are painted plaster and suspended tile. The walls are painted plaster with wood wainscoting and drywall in the new section and the floors are wood, ceramic tile, carpet and vinyl tile. All the restrooms have been renovated.

The Water Treatment Plant is a masonry building with a full basement and a standing seam metal roof. The exterior walls are split faced CMU and metal panel. The interiors are painted exposed structure and painted hard ceiling. There are no restrooms and a small lab for testing equipment. The director's office is located in the DPW building.

The Department of Public Works building is a steel framed building without a basement. The roof is standing seam metal and the exterior walls are CMU and metal panel. The windows and doors are metal framed. Most of the building is used for vehicle storage and repair and the spaces are exposed structure. The office area located at the front of the building has suspended acoustic tile ceilings, painted drywall partitions and vinyl tile flooring. There are two restrooms and a breakroom. The Pump Houses located off site are masonry buildings with unfinished interiors. The buildings are used for equipment only. The Pump House - Perkins has a flat roof with a built-up membrane and the Pump House – North has a gable roof with asphalt shingles.

The Old Highway Building is a wood framed building with brick veneer and asphalt shingle roof. The exterior is in very poor condition. The brick veneer, windows and doors are broken, missing and deteriorating.

The Fire Department is a masonry building with an asphalt shingle roof and a flat roof with an EPDM membrane. The windows and doors have been replaced. The second floor is used for the personnel but not as a dormitory. The Police Station is a masonry building with a slate roof.

The Library is a masonry and wood framed building with a slate roof on the original portion of the building and an asphalt roof over the new addition. The exterior consists of brick veneer and painted wood siding. The original section of the building still has the historical details from the 1930's including decorative plaster, oversized wood windows, skylights, painted murals and wood paneling. The new portion of the building has suspended acoustic ceiling tiles, painted drywall and carpeted floors. The bathrooms are ceramic tile.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The Town Hall has new split system heat pumps located on the connector roof. An existing boiler provides heat to the cast iron radiators in the original building. There is a natural gas water heater for the restrooms and kitchen. There is a new electric traction elevator serving all three stories and a wheelchair lift at the community room stage. The building is protected by a fire sprinkler and fire alarm system.

The Water Treatment plant houses equipment and is heated by suspended unit heaters. There is a natural gas water heater for the eyewash stations and dishwashers. The building is protected by a fire sprinkler and fire alarm system.

The DPW Building has a split system for the office area with furnaces located above the ceiling tiles and the condensing unit located at the building exterior. The vehicle storage and repair areas are heated by suspended units and there is a carbon monoxide detection and exhaust system. There is a natural gas water heater for the restrooms and kitchen. The building is protected by a fire sprinkler and fire alarm system.

The mechanical, electrical, plumbing and fire alarm systems at the Old Maintenance Garage are not in use at this time.

The Pump Houses are used for housing equipment only. There are unit heaters and electrical service. The fire protection system consists of fire extinguishers.

The Park and Cemetery Building is heated by suspended units and the storage and barn buildings are not heated or air-conditioned. There is a small water heater for the restrooms and kitchens. The building is protected by a fire alarm system.

The Police Department has split systems for the office areas. An existing boiler provides heat to the cast iron radiators located throughout the building. There is a natural gas water heater for the restrooms, locker rooms and kitchen. The building does not have an elevator. The building is protected by a fire sprinkler and fire alarm system.

The Fire Department has an aged forced hot air heating system. Cooling is provided by window air conditioners. An existing boiler provides heat to the unit ventilators and cast iron radiators in the original building. There is a natural gas water heater for the restrooms and kitchens. The building is protected by a fire alarm system.

The Library has a forced hot air system with a natural gas boiler for heat and a chiller located on the roof for cooling. A make-up air unit is located at the building exterior. Unit ventilators are located along the perimeter walls. Hot water for the restrooms is provided by 10-gallon electric water heaters primarily located above the ceilings at the restrooms and janitors closets. There is a hydraulic elevator serving all floors. The building is protected by a fire sprinkler and fire alarm system.

Site

Town Hall is located on a landscaped parcel with new parking lots and perimeter concrete sidewalks. The main entrance is in the rear side of the building. A new concrete sloped walkway was constructed to improve access.

The Water Treatment Plant and the Department of Public Works share an access roadway and parking area. The property is used for storage of material and equipment. There is limited landscaping.

The Old Highway Building is located near the center of town. There is an asphalt parking area and roadway.

The Pump houses are located on undeveloped properties and the site improvements consist of an access road.

The Fire Department and the Police Department have limited parking areas for the public. The Police Department is landscaped at the front of the building but there is no ramp to the main entrance. The concrete sidewalks and steps are worn and there are trip hazards.

The Library has an employee parking lot at the side of the building and parking is provided at the street. The site is landscaped and there are several benches. Concrete sidewalks connect the parking areas to the main entrance.

Recommended Additional Studies

The basement at the Library has had a history of flooding during severe rainstorms. The cause has not been determined. The wallboard has been removed from the bottom two feet of the partition walls and has not been replaced. The basement can no longer be used for book and material storage. A professional engineer/consultant must be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. A budgetary cost allowance to add additional drainage at the foundation perimeter is also included.

1.4 Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building's Facility Condition Index (FCI), which provides a theoretical objective indication of a building's overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description

0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. The FCI's presented below are unabated and assumes that none of the replacement costs are undertaken throughout the years and costs are carried over cumulatively onto the next year. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. Alternatively, if the capital plan outlined in this report were executed as prescribes, the FCI for each building would be 0.0% each year indefinitely. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:

Facility (year built)	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
DPW Building - New (2000)	\$231	10,800	\$2,492,964	0.6%	4.7%	7.8%	17.6%
Fire Station (1969)	\$217	10,210	\$2,217,306	0.4%	1.7%	9.7%	25.5%
Library (1935)	\$215	14,916	\$3,203,211	2.0%	3.0%	9.1%	17.6%
Old Highway Garage (1941)	\$130	3,969	\$514,621	24.2%	24.5%	40.7%	41.8%
Park & Cemetery Building (1978)	\$231	1,600	\$369,328	1.9%	7.0%	15.0%	47.4%
Police Station (1930)	\$301	5,912	\$1,782,113	2.4%	8.0%	11.1%	31.8%
Town Hall (1873)	\$216	19,364	\$4,186,303	0.0%	0.0%	0.6%	6.4%
Water Pump Station - North (1960)	\$157	616	\$96,749	14.9%	15.0%	34.0%	54.1%
Water Pump Station - Perkins (1960)	\$157	768	\$120,622	14.3%	17.1%	18.1%	45.9%
Water Treatment Plant (2019)	\$231	7,500	\$1,731,225	0.0%	0.0%	0.0%	3.1%

1.5 Immediate Needs

Facility/Building	Total Items	Total Cost
DPW Building - New	1	\$14,010
Fire Station	1	\$9,414
Library	4	\$65,210
Old Highway Garage	7	\$124,607
Park & Cemetery Building	3	\$6,988
Police Station	4	\$42,087
Water Pump Station - North	2	\$14,390
Water Pump Station - Perkins	2	\$17,261
Total	24	\$293,966

DPW Building - New

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1239302	DPW Building - New	Roof	B3011	Roof, Metal, Repair	Poor	Performance/Integrity	\$14,010
Total (1 items)							\$14,010

Fire Station

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1234224	Fire Station	Attic	D3041	Air Handler, Interior, 1,301 to 2,500 CFM, Replace	Poor	Performance/Integrity	\$9,414
Total (1 items)							\$9,414

Library

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1279276	Library	Basement	A2022	Basement Wall, Waterproofing of Exterior Face, Replace	NA	Performance/Integrity	\$30,362
1234324	Library	Roof	B3011	Roof, Slate, Replace	Fair	Lifecycle/Renewal	\$16,088
1412486	Library	Building Perimeter	G2052	Landscaping, French Drain, Install	NA	Performance/Integrity	\$11,600
1279277	Library	Basement	P000X	Engineer, Civil, Site/Storm Drainage, Evaluate/Report	NA	Performance/Integrity	\$7,160
Total (4 items)							\$65,210

Old Highway Garage

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1234379	Old Highway Garage	Building Exterior	B2011	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair	Poor	Performance/Integrity	\$60,234
1234415	Old Highway Garage	Building Exterior	B2011	Exterior Wall, Glass Block, Replace	Poor	Performance/Integrity	\$4,436
1234414	Old Highway Garage	Building Exterior	B2021	Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories, Replace	Failed	Performance/Integrity	\$12,399
1234401	Old Highway Garage	Throughout interior	D3051	Unit Heater, Electric, 20 kW, Replace	Failed	Performance/Integrity	\$6,710
1234412	Old Highway Garage	Throughout interior	D5037	Fire Alarm System, School, Install	NA	Performance/Integrity	\$12,423
1238366	Old Highway Garage	Site	G2022	Parking Lots, Asphalt Pavement, Seal & Stripe	Poor	Performance/Integrity	\$4,005
1238364	Old Highway Garage	Site	G2041	Fences & Gates, Chain Link, 6' High, Replace	NA	Safety	\$24,400
Total (7 items)							\$124,607

Park & Cemetery Building

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1234433	Park & Cemetery Building	Building Exterior	B2011	Exterior Wall, Metal/Insulated Sandwich Panels to Vinyl Siding, 1-2 Stories, Replace with vinyl siding	Fair	Modernization/Adaptation	\$2,320
1234431	Park & Cemetery Building	Barn	B2011	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories, Replace	Poor	Performance/Integrity	\$1,873
1234422	Park & Cemetery Building	Barn	B3011	Roof, Wood Shake/Shingle, Replace	Poor	Performance/Integrity	\$2,795
Total (3 items)							\$6,988

Police Station

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1234518	Police Station	Roof	B3011	Roof, Slate, Replace	Poor	Performance/Integrity	\$10,270
1234484	Police Station	Basement	D3021	Boiler, 699 MBH, Replace	Poor	Performance/Integrity	\$23,841
1234514	Police Station	Throughout interior	D5092	Exit Lighting Fixture, w/ Battery, Replace or install	Poor	Safety	\$1,676
1234474	Police Station	Site	G2031	Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace	Poor	Safety	\$6,300
Total (4 items)							\$42,087

Water Pump Station - North

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1279224	Water Pump Station - North	Throughout interior	D3049	Full HVAC System Upgrade, Medium Complexity, Replace	NA	Performance/Integrity	\$12,936
1234749	Water Pump Station - North	Main building	D5037	Fire Alarm System, Office Building, Install	NA	Performance/Integrity	\$1,454
Total (2 items)							\$14,390

Water Pump Station - Perkins

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1279230	Water Pump Station - Perkins	Throughout interior	D3049	Full HVAC System Upgrade, Medium Complexity, Replace	NA	Performance/Integrity	\$16,128
1238438	Water Pump Station - Perkins	Main building	D5037	Fire Alarm System, Office Building, Install	NA	Performance/Integrity	\$1,133
Total (2 items)							\$17,261

1.6 Key Findings



Exit Lighting Fixture in Poor condition.

w/ Battery
Police Station Throughout interior

Uniformat Code: D5092
Recommendation: **Replace or install in 2019**

Priority Score: **97.0**

Plan Type: Safety

Cost Estimate: \$1,700

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Many of the fire exit signs are not lighted and there may be missing signs. - AssetCALC ID: 1234514



Pedestrian Pavement in Poor condition.

Sidewalk, Concrete Large Areas
Police Station Site

Uniformat Code: G2031
Recommendation: **Replace in 2019**

Priority Score: **95.0**

Plan Type: Safety

Cost Estimate: \$6,300

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The sidewalks are worn and there are numerous trip hazards. The aggregate is exposed on the treads. A handicapped ramp could be constructed when the sidewalks are replaced. - AssetCALC ID: 1234474



Fences & Gates

Chain Link, 6' High
Old Highway Garage Site

Uniformat Code: G2041
Recommendation: **Replace in 2019**

Priority Score: **93.0**

Plan Type: Safety

Cost Estimate: \$24,400

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Due to the condition of the building and the easy access to the roof the building site should be enclosed with fencing to ensure the safety of the public using the parking lot or walking through the site. - AssetCALC ID: 1238364



Roof in Poor condition.

Metal
DPW Building - New Roof

Uniformat Code: B3011
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$14,000

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According to the site POC, the roof leaks at the plumbing vents, curbs and exhaust fan penetrations. Additional repairs are required. - AssetCALC ID: 1239302



Exterior Wall in Poor condition.

Brick or Brick Veneer, 1-2 Stories
Old Highway Garage Building Exterior

Uniformat Code: B2011
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$60,200

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The exterior brick is deteriorating. There are significant areas of missing mortar and broken, spalled brick. - AssetCALC ID: 1234379



Exterior Wall in Poor condition.

Wood Shakes/Shingles, 1-2 Stories
Park & Cemetery Building Barn

Uniformat Code: B2011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,900

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The barn is scheduled to be completely renovated. - AssetCALC ID: 1234431



Roof in Poor condition.

Wood Shake/Shingle
Park & Cemetery Building Barn

Uniformat Code: B3011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,800

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The barn is under contract to be renovated and turned into a chapel for the cemetery. The work is scheduled to begin in June 2019. - AssetCALC ID: 1234422



Exterior Wall in Poor condition.

Glass Block
Old Highway Garage Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$4,400

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The glass block at the opening at the building are broken in most places and immediate replacement is recommended. - AssetCALC ID: 1234415



Roof in Poor condition.

Slate
Police Station Roof

Uniformat Code: B3011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$10,300

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The slate roof is aged and require replacement. The snow guards are corroded and according to the site POC, pieces are falling from the roof. The top floor ceilings and walls are leaking at the dormers and the chimney indicating that the flashing may be compromised. - AssetCALC ID: 1234518



Roof in Poor condition.

Asphalt Shingle
Water Pump Station - Perkins Roof

Uniformat Code: B3011
Recommendation: **Replace in 2021**

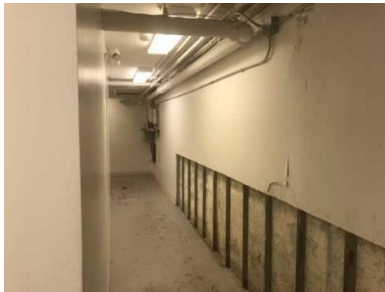
Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,900

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The roof needs to be replaced. The shingles are damaged and brittle. - AssetCALC ID: 1234751



Basement Wall

Waterproofing of Exterior Face
Library Basement

Uniformat Code: A2022
Recommendation: **Replace in 2019**

Priority Score: **89.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$30,400

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Due to flooding at the basement, waterproofing along the foundation walls is recommended. An engineering study is also recommended to determine the exact cause and location of the infiltration. - AssetCALC ID: 1279276



Window in Failed condition.

Vinyl-Clad Double-Glazed 12 SF, 3+ Stories
Old Highway Garage Building Exterior

Uniformat Code: B2021
Recommendation: **Replace in 2019**

Priority Score: **88.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$12,400

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The windows are broken or boarded up. This building is not occupied and is only used for storage. - AssetCALC ID: 1234414

2 Water Treatment Plant



Water Treatment Plant: Systems Summary

Address	279 Boston Street	
Constructed/ Renovated	2018	
Building Size	7,500 SF	
Number of Stories	One	
Site Area	Located on DPW property	
Parking Spaces	10 total spaces all in open lot	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and steel framed roof	Excellent
Façade	Exposed CMU with aluminum windows	Excellent
Roof	Primary: Gable construction with metal finish	Excellent
Interiors	Walls: Painted gypsum board & CMU, Floors: Sealed concrete Ceilings: Unfinished/exposed	Excellent
Elevators	None	Excellent

Water Treatment Plant: Systems Summary

Plumbing	Copper supply and PVC waste & venting Sinks	Excellent
HVAC	Central system with boiler feeding suspended hydronic radiators and cabinets, Individual split system units Supplemental components: ductless split system, laboratory exhaust hood	Excellent
Fire Suppression	Wet-pipe sprinkler system; fire extinguishers, fire pump	Excellent
Electrical	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED Emergency: Natural gas generator and UPS, ATS	Excellent
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Excellent
Equipment/Special	Water treatment equipment Commercial kitchen equipment Laboratory equipment and cabinetry	Excellent
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Excellent
Site Development	Concrete sidewalks	Excellent
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Excellent
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Excellent
Site Lighting	Pole-mounted: LED, Building-mounted: LED	Excellent
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is new and was completed in 2019. The site work is still under construction.	

Water Treatment Plant: Systems Expenditure Forecast

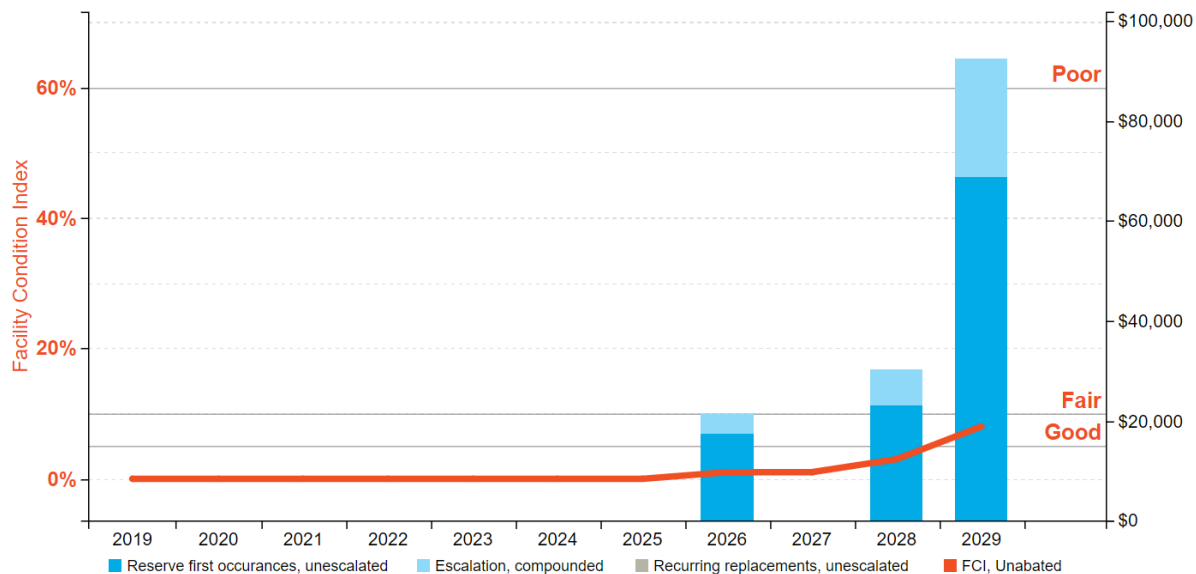
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	-	-
Roofing	-	-	-	-	-	-
Interiors	-	-	-	\$131,600	\$175,200	\$306,800
Plumbing	-	-	-	-	\$799,500	\$799,500
Fire Suppression	-	-	-	-	\$48,500	\$48,500
HVAC	-	-	-	-	\$218,100	\$218,100
Electrical	-	-	-	\$3,700	\$153,700	\$157,400
Fire Alarm & Comm	-	-	-	-	\$61,700	\$61,700
Equipment/Special	-	-	-	\$8,800	\$305,900	\$314,600
Utilities	-	-	-	-	-	-
TOTALS	-	-	-	\$144,100	\$1,762,600	\$1,906,600

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Water Treatment Plant

Replacement Value: \$ 1,731,225; Inflation rate: 3.0%



3 Fire Station



Fire Station : Systems Summary

Address	27 High Street	
Constructed/ Renovated	1969/1990	
Building Size	10,210 SF	
Number of Stories	Two	
Site Area	1.94 acres (estimated)	
Parking Spaces	20 total spaces all in open lots; one of which is accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Fair
Façade	Brick with vinyl windows	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane	Fair
Interiors	Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, Unfinished Ceilings: Painted gypsum board, Acoustical Ceiling Tile, Unfinished/exposed	Fair
Elevators	None	--

Fire Station : Systems Summary

Plumbing	Copper supply and cast-iron waste & venting Gas water heater Gas domestic boilers with storage tanks Steam to domestic hot water heat exchangers Toilets, sinks, urinal in restrooms, shower in bathroom	Fair
HVAC	Central system with boilers feeding hydronic baseboard radiators and unit ventilators Individual air handler acting as ventilator/blower for outside air Supplemental components: suspended unit heaters, exhaust fans, air handler	Fair
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL Emergency: Natural gas generator and UPS, ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, and back-up emergency lights	Fair
Equipment/Special	Commercial laundry equipment, residential kitchen appliances	Good
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: Metal halide	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Fire Station : Systems Summary

Key Issues and Findings

Exterior wall surfaces at the rear elevation are peeling and stained, the air handler is beyond useful age and not providing sufficient air to all areas, replacement of the boiler and generator is recommended, a new ventilation system is needed at hose drying tower, the building has an aged and inefficient heating and ventilation system, the second floor vinyl tile was replaced and the asbestos was abated in 2018, the ladder at the hose drying tower should have a cage for safety. As of the date of this report, the installation of a ladder cage is planned for execution.

According to the site POC, the existing doors are too small for modern fire-fighting equipment, parking lot marking is faded and new seal coat is recommended

Fire Station: Systems Expenditure Forecast

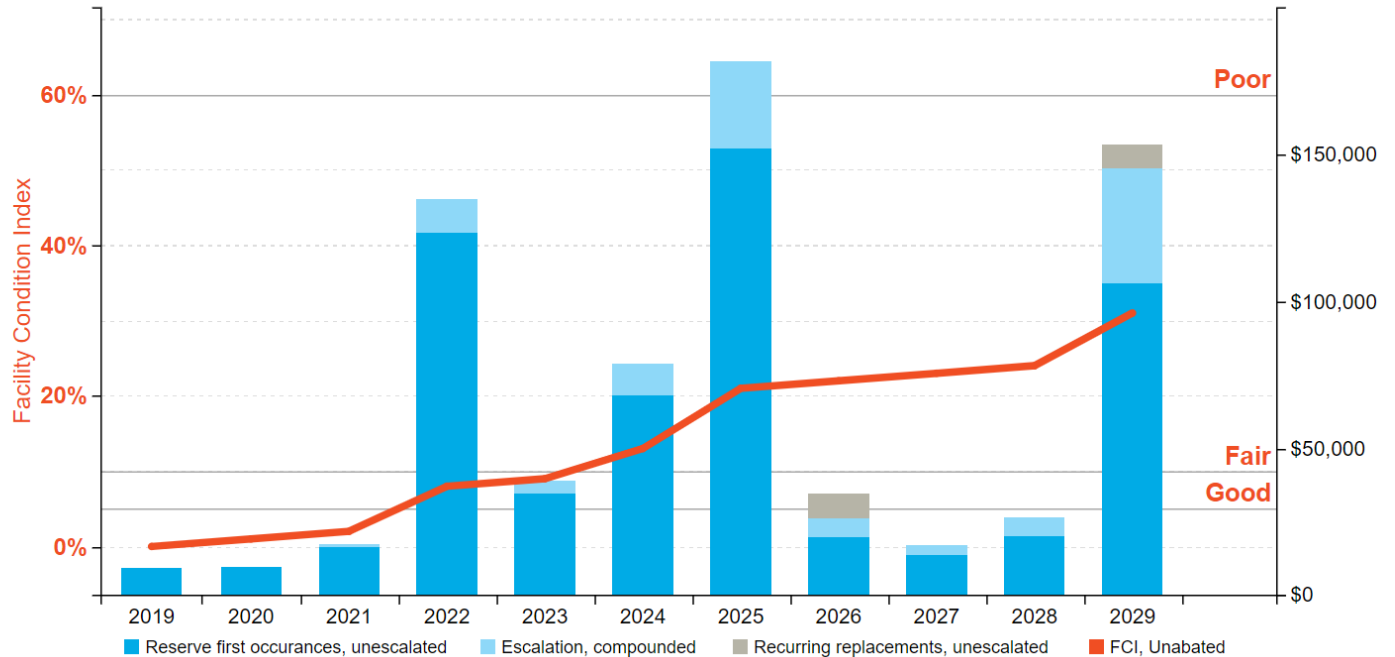
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$9,800	\$28,800	-	\$13,200	\$51,900
Roofing	-	\$14,400	-	-	\$31,300	\$45,700
Interiors	-	\$21,700	-	\$27,900	\$45,900	\$95,400
Plumbing	-	-	\$12,000	\$78,300	\$28,300	\$118,600
Fire Suppression	-	-	-	\$2,400	-	\$2,400
HVAC	\$9,400	\$50,800	\$48,900	\$17,600	\$93,300	\$220,000
Electrical	-	\$56,300	-	\$138,600	\$503,200	\$698,200
Fire Alarm & Comm	-	-	\$27,100	\$26,500	-	\$53,600
Equipment/Special	-	-	\$1,000	\$12,400	\$35,400	\$48,800
Utilities	-	-	-	\$11,900	-	\$11,900
Pavement	-	\$9,000	-	\$97,500	\$26,000	\$132,500
TOTALS	\$9,400	\$162,000	\$117,800	\$413,100	\$776,600	\$1,479,000

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Fire Station

Replacement Value: \$ 2,217,306; Inflation rate: 3.0%



4 Old Highway Garage



Old Highway Garage: Systems Summary

Address	10 School Ave.	
Constructed/ Renovated	1941	
Building Size	3969 SF	
Number of Stories	One	
Site Area	0.64 acres (estimated)	
Parking Spaces	15 total spaces all in open lot; there is no accessible parking (the building is not occupied)	
System	Description	Condition
Structure	Conventional wood frame structure on concrete slab	Fair
Façade	Brick with wood and glass block openings, vinyl-clad windows	Poor
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board, Unfinished Floors: VCT, Unfinished Ceilings: Unfinished/exposed	Poor
Elevators	None	--

Old Highway Garage: Systems Summary

Plumbing	Plumbing is not connected.	--
HVAC	Suspended electric unit heaters not in operation	Failed
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8 Emergency: None	Poor
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Poor
Site Development	None	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Poor
Utilities	Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	Wood-framed garage	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	Used only for storage, unit heaters are not operating, the windows are broken, the public can access the roof from the rear roadways, the property should be fenced in to prevent trespassing, faded parking lot markings, the glass blocks are broken, the brick veneer at the door openings is spalling and broken and the mortar is missing in large areas of the façade, there is no fire alarm	

Old Highway Garage: Systems Expenditure Forecast

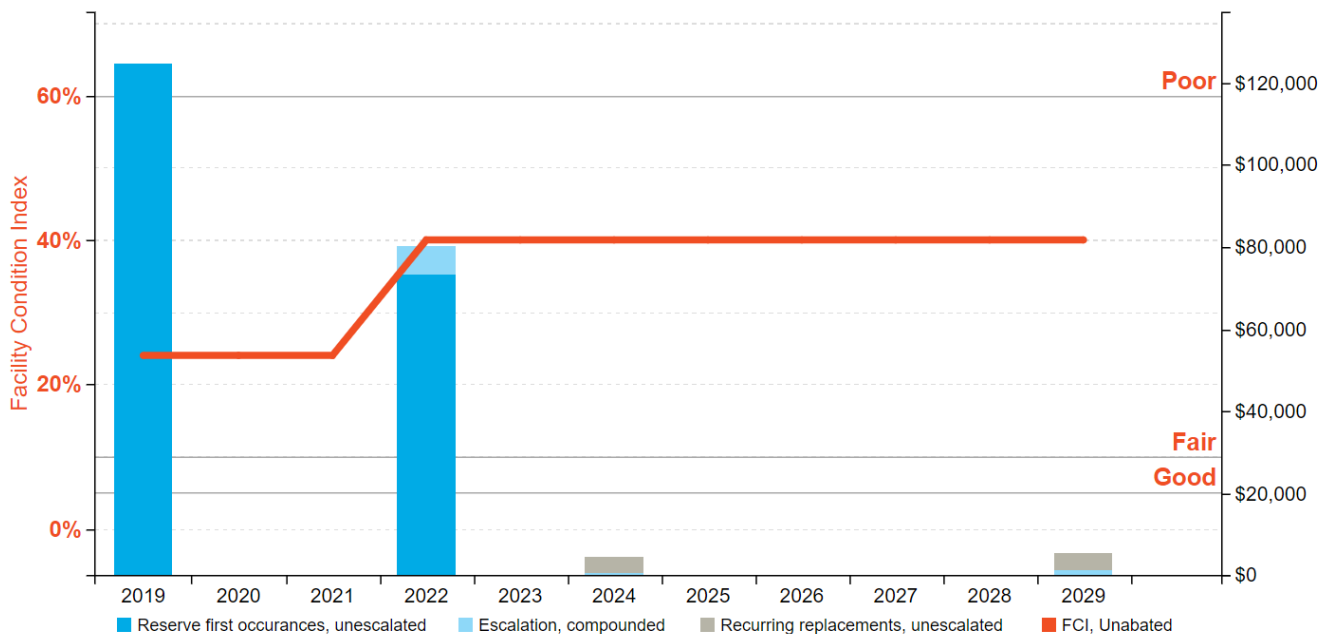
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$77,100	\$22,200	-	-	-	\$99,300
Roofing	-	\$20,200	-	-	-	\$20,200
HVAC	\$6,700	-	-	-	\$12,100	\$18,800
Fire Alarm & Comm	\$12,400	-	-	-	\$22,400	\$34,900
Site Development	\$24,400	-	-	-	\$6,400	\$30,800
Pavement	\$4,000	\$37,800	\$4,600	\$5,400	\$13,500	\$65,300
TOTALS	\$124,600	\$80,200	\$4,600	\$5,400	\$54,400	\$269,300

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Old Highway Garage

Replacement Value: \$ 514,621; Inflation rate: 3.0%



5 DPW Building



DPW Building: Systems Summary

Address	279 Boston Street	
Constructed/ Renovated	2000	
Building Size	10,800 SF	
Number of Stories	On	
Site Area	20.43 acres (estimated)	
Parking Spaces	18 total spaces all in open lots; one of which is accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Engineered metal building	Good
Façade	Exposed CMU with aluminum steel windows	Fair
Roof	Primary: Gable construction with metal finish	Good
Interiors	Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, carpet, Unfinished Ceilings: Acoustical Ceiling Tile, Unfinished/exposed	Fair
Elevators	None	--

DPW Building: Systems Summary

Plumbing	Copper supply and cast-iron waste & venting Gas commercial water heater Toilets, urinals, and sinks in all restrooms, shower	Fair
HVAC	Individual split-system furnaces and condensing units Supplemental components: suspended gas unit heaters, exhaust fans	Fair
Fire Suppression	Sprinkler system, fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: Natural gas generator and UPS, ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Residential refrigerator	Fair
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Poor
Site Development	Property entrance signage	Good
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED	Good
Ancillary Structures	Wood-framed pole barn for sand storage	Good
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The roof leaks at the penetrations for the plumbing and heating vents The parking lot is scheduled to be milled and repaved this summer.	

DPW Building: Systems Expenditure Forecast

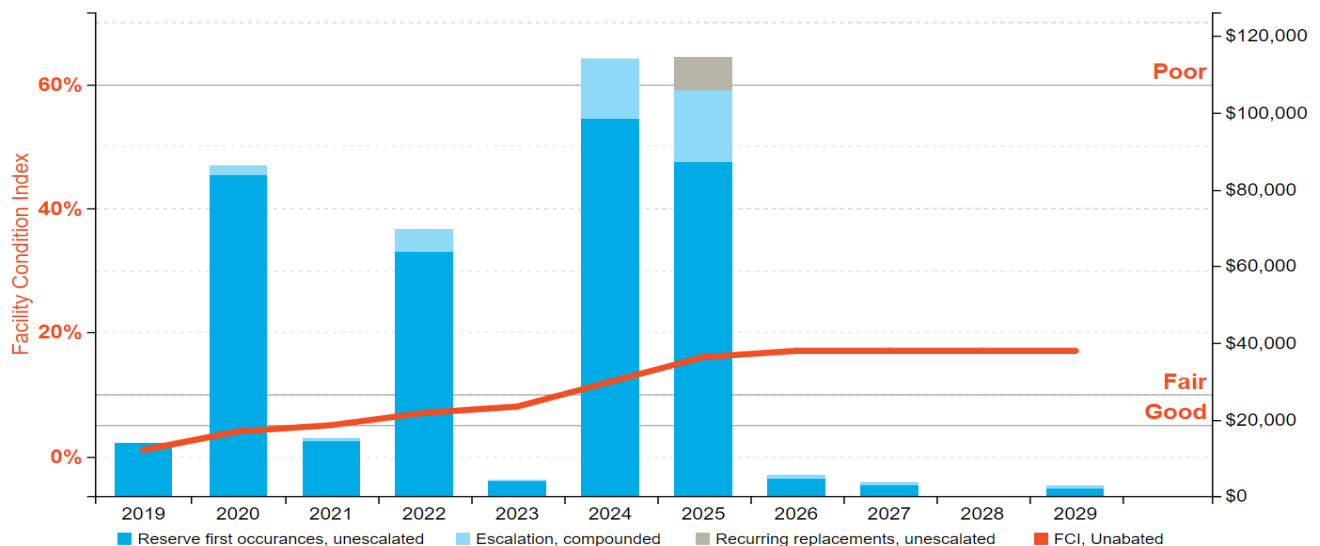
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$15,600	\$15,600
Roofing	\$14,000	-	-	-	-	\$14,000
Interiors	-	-	\$108,500	\$15,800	\$135,000	\$259,300
Plumbing	-	\$18,100	\$4,600	\$4,300	\$25,500	\$52,500
Fire Suppression	-	\$15,200	-	\$3,400	-	\$18,600
HVAC	-	\$23,600	-	-	\$74,800	\$98,400
Electrical	-	-	-	\$67,400	\$18,100	\$85,500
Fire Alarm & Comm	-	\$27,900	-	\$24,200	-	\$52,100
Equipment/Special	-	-	\$5,400	\$1,200	-	\$6,600
Site Development	-	-	-	-	\$194,600	\$194,600
Pavement	-	\$86,200	-	\$10,400	\$26,000	\$122,500
Utilities	-	-	-	-	\$13,800	\$13,800
TOTALS	\$14,000	\$171,000	\$118,500	\$126,700	\$503,400	\$933,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: DPW Building - New

Replacement Value: \$ 2,492,964; Inflation rate: 3.0%



6 Water Pump Station - Perkins



Water Pump Station – Perkins: Systems Summary

Address	250 Perkins Row	
Constructed/ Renovated	1961	
Building Size	768 SF	
Number of Stories	One	
Site Area	49.40 acres (estimated)	
Parking Spaces	Two total spaces at the front of the building	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick without windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Poor
Interiors	Walls: Painted gypsum board & CMU Floors: Epoxy coating, Unfinished Ceilings: Painted gypsum board	Fair
Elevators	None	--

Water Pump Station – Perkins: Systems Summary

Plumbing	Copper supply and cast iron waste & venting No hot water	Fair
HVAC	Suspended electric unit heaters	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, Emergency: None	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lot	Fair
Site Development	The building is unmarked	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: HSP	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is older and houses water-pumping equipment. The building will require a new roof because the shingles are damaged and brittle. The mechanical systems are original and according to the site POC are inadequate. There is no cooling or humidity controls. Modernization and upgrading is recommended. Building lacks a fire alarm system. The site is primarily undeveloped. .	

Water Pump Station – Perkins: Systems Expenditure Forecast

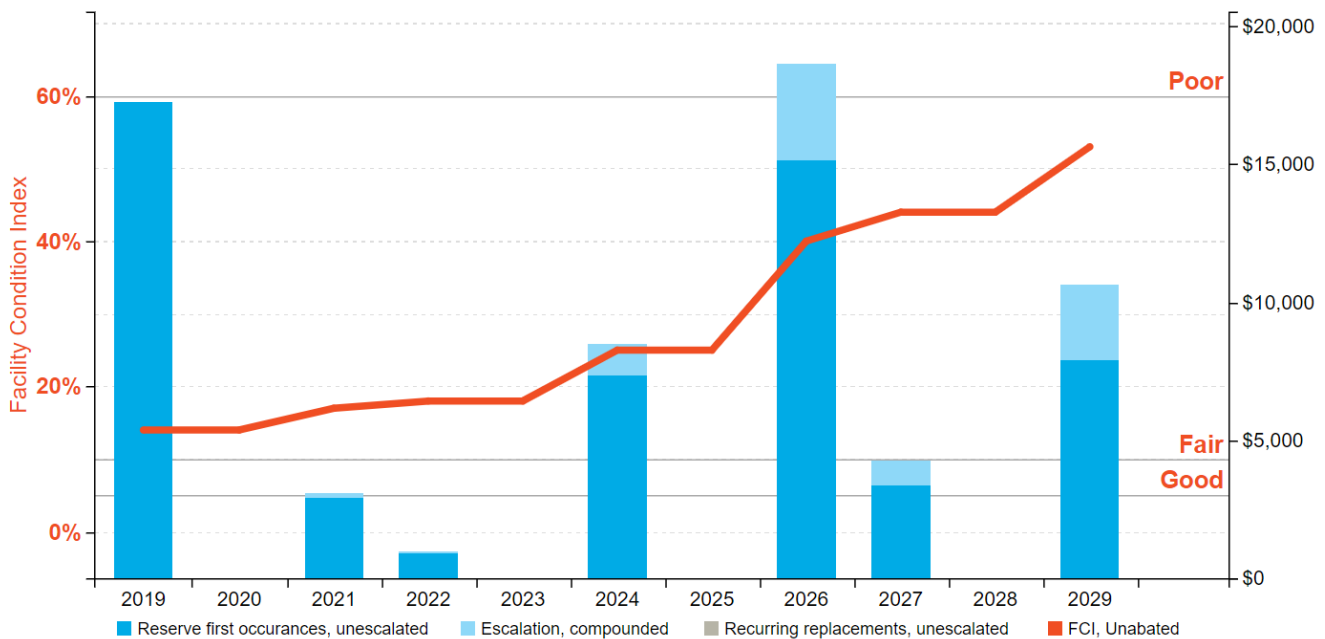
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$1,000	-	-	\$35,100	\$36,100
Roofing	-	\$3,100	-	-	-	\$3,100
Interiors	-	-	\$7,800	-	\$10,500	\$18,200
Plumbing	-	-	-	\$1,800	\$25,000	\$26,800
Fire Suppression	-	-	\$700	-	\$1,100	\$1,900
HVAC	\$16,100	-	-	\$21,100	-	\$37,300
Electrical	-	-	-	\$10,600	\$89,700	\$100,400
Fire Alarm & Comm	\$1,100	-	-	-	\$2,000	\$3,200
Pavement	-	-	-	-	\$2,500	\$2,500
TOTALS	\$17,200	\$4,100	\$8,500	\$33,500	\$165,900	\$229,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Water Pump Station - Perkins

Replacement Value: \$ 120,622; Inflation rate: 3.0%



7 Water Pump Station - North



Water Pump Station – North: Systems Summary

Address	10 North Street	
Constructed/ Renovated	1961	
Building Size	616 SF	
Number of Stories	One	
Site Area	64.31 acres (estimated)	
Parking Spaces	Two total spaces at the front of building	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick without windows	Fair
Roof	Primary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted CMU, Floors: Unfinished Ceilings: Painted gypsum board	Fair
Elevators	None	--

Water Pump Station – North: Systems Summary

Plumbing	Copper supply and cast-iron waste & venting	Fair
HVAC	Suspended gas unit heaters	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8 Emergency: Natural gas generator and UPS, ATS	Fair
Fire Alarm	Smoke detectors, alarms, strobes, pull stations, back-up emergency lights	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lot	Fair
Site Development	The building is unmarked	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water Septic tank Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: HPS	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Key Issues and Findings

The building is older and houses water-pumping equipment. The building will require a new roof because the shingles are damaged and brittle. The mechanical systems are original and according to the site POC are inadequate. There is no cooling or humidity controls. Modernization and upgrading is recommended. Building lacks a fire alarm system. The site is primarily undeveloped.

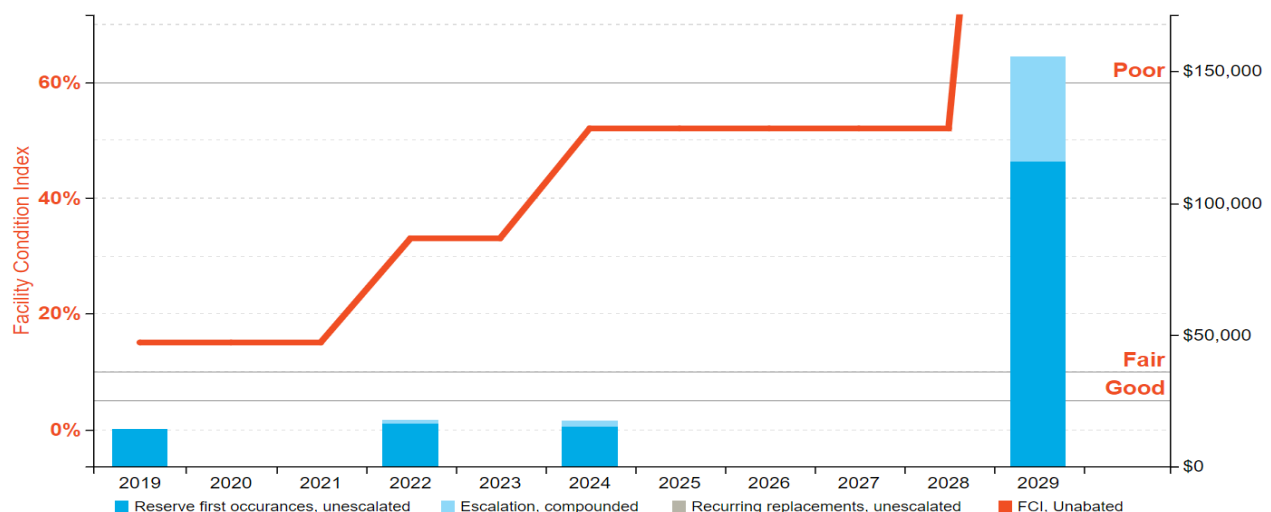
Water Pump Station – North: Systems Expenditure Forecast

System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$7,900	\$7,900
Roofing	-	-	\$6,500	-	-	\$6,500
Plumbing	-	-	-	\$58,200	-	\$58,200
Fire Suppression	-	-	-	\$800	-	\$800
HVAC	\$12,900	-	\$4,600	-	-	\$17,500
Electrical	-	\$17,800	\$6,600	\$96,700	\$40,900	\$162,000
Fire Alarm & Comm	\$1,500	-	-	-	\$2,600	\$4,100
Pavement	-	-	-	-	\$2,500	\$2,500
TOTALS	\$14,400	\$17,800	\$17,700	\$155,700	\$53,900	\$259,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time**FCI Analysis: Water Pump Station - North**

Replacement Value: \$ 96,749; Inflation rate: 3.0%



8 Park and Cemetery Building



Park and Cemetery Building: Systems Summary

Address	8 Haverhill Road	
Constructed/ Renovated	1895/1978/2019	
Building Size	1600 SF	
Number of Stories	One	
Site Area	38.53 acres (estimated)	
Parking Spaces	7 total spaces all in open lots	
System	Description	Condition
Structure	Steel frame structure on concrete slab	Fair
Façade	Metal siding with vinyl windows	Fair
Roof	Primary: Gable construction with metal finish Secondary: Gable construction with wood shake/shingle finish	Fair
Interiors	Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, Unfinished Ceilings: Acoustical Ceiling Tile, Unfinished/exposed	Fair
Elevators	None	--

Park and Cemetery Building: Systems Summary		
Plumbing	Copper supply and cast-iron waste & venting Gas domestic water heater Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Suspended gas unit heaters	Excellent
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots for parking and vehicle storage	Fair
Site Development	Property entrance signage Limited park benches, picnic tables, trash receptacles	Good
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water Septic tank Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	Wood-framed garage and two pre-fabricated storage sheds	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Park and Cemetery Building: Systems Summary

Key Issues and Findings

Sealing and striping of parking lot and entrance drive, is recommended, the wooden shakes/shingle exterior wall and roof sections are in poor condition.

The existing wood framed barn is being converted into a chapel. A new parking lot and covered connector to restrooms will also be constructed. The work is scheduled to begin in June 2019. A new metal framed storage shed is being constructed on the east side of the existing building. These items are not included in cost tables.

Park and Cemetery Building: Systems Expenditure Forecast

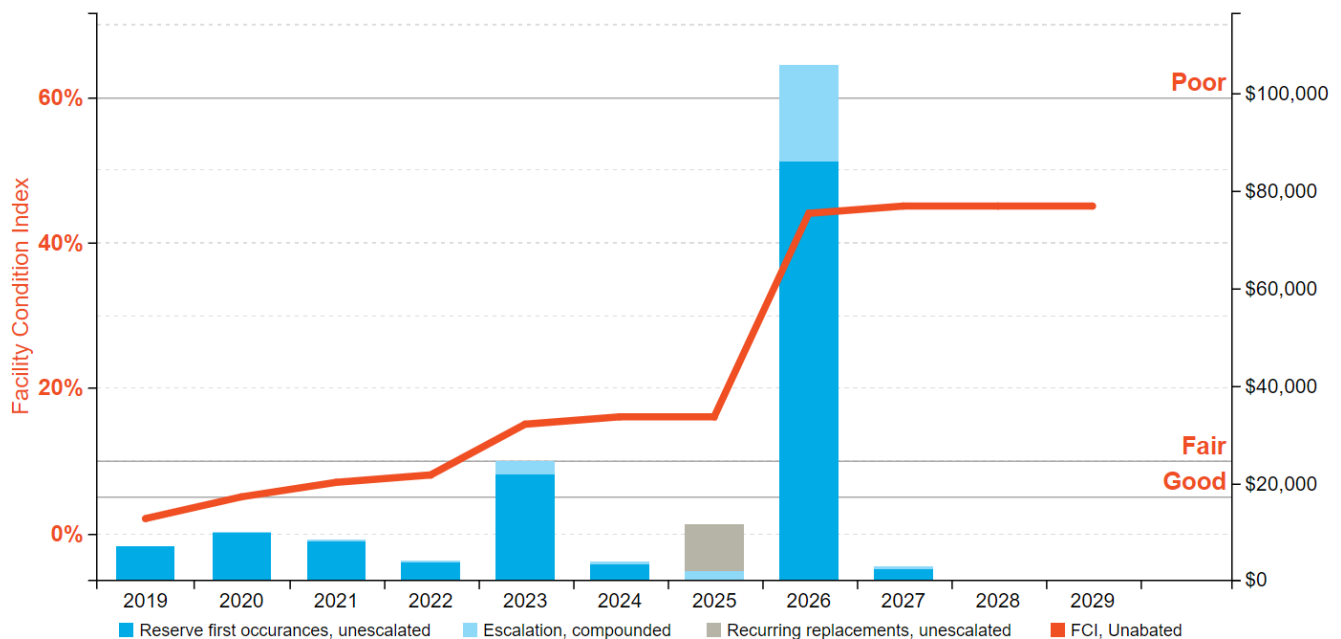
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$4,200	-	\$1,800	-	\$4,300	\$10,300
Roofing	\$2,800	\$8,500	-	-	-	\$11,300
Interiors	-	-	\$2,100	\$5,000	\$6,800	\$13,900
Plumbing	-	-	\$13,300	\$3,000	\$15,800	\$32,100
Fire Suppression	-	-	-	-	\$1,500	\$1,500
HVAC	-	-	-	-	\$15,700	\$15,700
Electrical	-	-	-	-	\$14,300	\$14,300
Fire Alarm & Comm	-	\$4,100	-	-	\$29,800	\$33,900
Site Development	-	-	-	-	\$161,700	\$161,700
Pavement	-	\$10,000	-	\$112,400	\$29,000	\$151,400
Utilities	-	-	\$11,200	-	-	\$11,200
TOTALS	\$7,000	\$22,600	\$28,400	\$120,400	\$278,900	\$457,300

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Park & Cemetery Building

Replacement Value: \$ 369,328; Inflation rate: 3.0%



9 Town Hall



Town Hall: Systems Summary

Address	8 West Common Street	
Constructed/ Renovated	1873/2019	
Building Size	19,364 SF	
Number of Stories	Three	
Site Area	0.939 acres (estimated)	
Parking Spaces	50 total spaces all in open lots; two of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure with raised floor	Good
Façade	Brick with aluminum and wood windows	Good
Roof	Primary: Gable construction with slate covering Secondary: Gable construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane	Good
Interiors	Walls: Painted gypsum board, wood paneling, and ceramic tile Floors: Carpet, VCT, ceramic tile, wood strip, quarry tile Ceilings: Painted gypsum board, Acoustical Ceiling Tile	Good
Elevators	Electric Traction: One car serving all three floors Wheelchair lifts	Excellent

Town Hall: Systems Summary

Plumbing	Copper supply and cast iron waste & venting Gas commercial water heaters Toilets, urinals, and sinks in all restrooms	Excellent
HVAC	Central system with boiler, feeding unit ventilators units Individual split-system units Supplemental components: ductless split-systems, suspended unit heaters, exhaust fans	Excellent
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers	Excellent
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: None	Excellent
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Excellent
Equipment/Special	Residential and commercial kitchen equipment	Excellent
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Excellent
Site Development	Building-mounted signage Limited park benches, trash receptacles	Excellent
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Good
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Excellent
Site Lighting	Pole-mounted: LED Building-mounted: LED	Excellent
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Town Hall: Systems Summary

Key Issues and Findings	None.
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Town Hall: Systems Expenditure Forecast

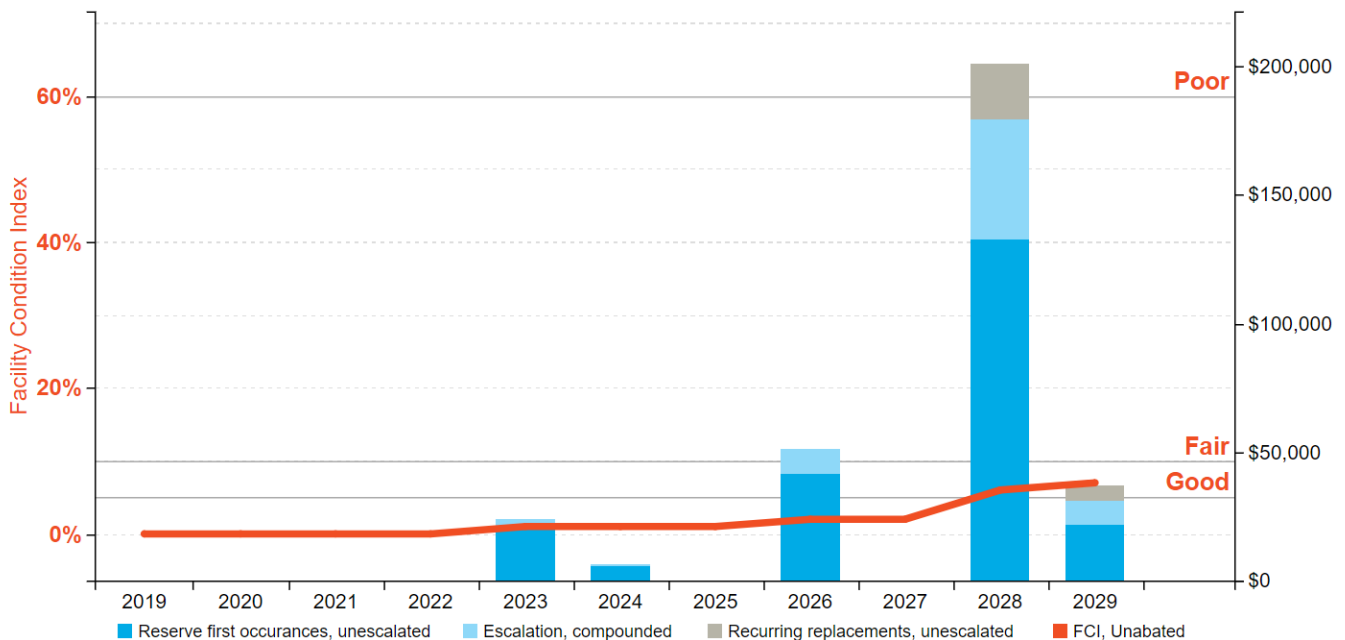
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$30,500	\$41,000	\$71,500
Roofing	-	-	\$24,100	\$28,000	\$80,400	\$132,500
Interiors	-	-	-	\$195,500	\$370,700	\$566,200
Elevators	-	-	-	\$3,900	\$5,300	\$9,200
Plumbing	-	-	-	\$9,800	\$106,400	\$116,200
Fire Suppression	-	-	-	-	\$79,100	\$79,100
HVAC	-	-	-	-	\$434,500	\$434,500
Electrical	-	-	-	\$12,000	\$16,200	\$28,200
Fire Alarm & Comm	-	-	-	-	\$110,800	\$110,800
Equipment/Special	-	-	-	\$1,400	\$5,600	\$7,000
Pavement	-	-	\$6,700	\$7,800	\$19,500	\$34,000
Utilities	-	-	-	-	-	-
TOTALS	-	-	\$30,800	\$288,900	\$1,269,500	\$1,589,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Town Hall

Replacement Value: \$ 4,186,303; Inflation rate: 3.0%



10 Police Station



Police Station: Systems Summary

Address	210 Boston Street	
Constructed/ Renovated	1930 / 1990	
Building Size	5,912 SF	
Number of Stories	Three	
Site Area	1.066 acres (estimated)	
Parking Spaces	20 total spaces all in open lots; one of which is accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with wood windows	Good
Roof	Primary: Gable construction with slate covering	Poor
Interiors	Walls: Painted gypsum board Floors: Carpet, VCT, epoxy coating Ceilings: Painted gypsum board, concrete, Acoustical Ceiling Tile	Poor
Elevators	None	--

Police Station: Systems Summary

Plumbing	Copper supply and cast-iron waste & venting Gas commercial water heater Toilets, urinals, and sinks in all restrooms, Showers	Poor
HVAC	Central system with boilers feeding hydronic baseboard radiators and cabinets, cast iron radiator Individual condensing units/heat pumps Supplemental components: suspended gas unit heaters, electric furnace	Poor
Fire Suppression	Hydrants, fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, Emergency: Natural gas generator and UPS, ATS	Poor
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Poor
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted	Good
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Good
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: CFL Building-mounted: LED, CFL	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Police Station: Systems Summary

Key Issues and Findings

Sidewalks are worn with numerous trip hazards, slate roof is aged and requires replacement, boiler is at end of its life with rusted and leaking base, plumbing is failing in numerous places due to aged cast iron piping ,according to POC, generator is not reliable, some exits signs do not light up and there may be missing signs, garage ceiling tiles are stained and crumbling

The Police Station has not been renovated since the 1990's. The original slate roof covering is at the end of its estimated life and the snow guards are deteriorating creating problems in the winter. At the chimney and dormer flashing the roof leaks.

New boiler and generator are recommended. There is no ramp at the front of the building, which could be constructed if the sidewalks are repaired. There is an accessible entrance in the back of the building.

Police Station: Systems Expenditure Forecast

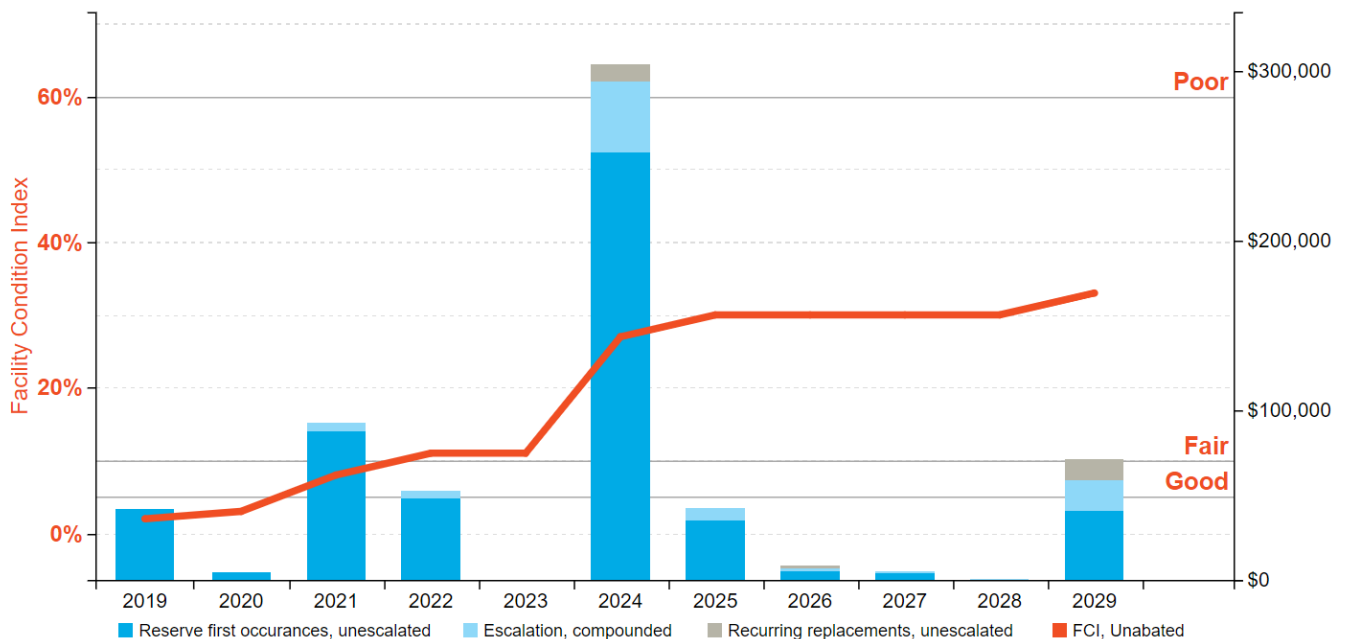
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$24,800	-	-	-	\$24,800
Roofing	\$10,300	-	\$11,900	\$13,800	\$34,500	\$70,500
Interiors	-	\$17,400	\$12,400	\$21,300	\$89,600	\$140,700
Plumbing	-	\$48,300	\$6,000	\$13,300	\$31,500	\$99,100
Fire Suppression	-	-	-	\$2,900	-	\$2,900
HVAC	\$23,800	\$2,900	-	\$4,900	\$48,800	\$80,500
Electrical	\$1,700	\$43,800	\$250,100	\$52,800	\$3,000	\$351,400
Fire Alarm & Comm	-	-	\$23,500	\$16,700	\$36,700	\$76,800
Equipment/Special	-	\$1,100	-	\$900	\$31,200	\$33,200
Site Development	-	-	-	-	\$7,900	\$7,900
Pavement	\$6,300	\$2,200	-	\$2,600	\$34,500	\$45,600
Utilities	-	\$10,600	-	-	-	\$10,600
TOTALS	\$42,100	\$151,100	\$303,900	\$129,200	\$317,700	\$944,000

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Police Station

Replacement Value: \$ 1,782,113; Inflation rate: 3.0%



11 Library



Library: Systems Summary

Address	1 South Common Street	
Constructed/ Renovated	1935 / 1998	
Building Size	14,916 SF	
Number of Stories	Two	
Site Area	1.29 acres (estimated)	
Parking Spaces	16 spaces along the road; 5 spaces in employee parking lot; two of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Good
Façade	Brick with vinyl clad and historical wood windows	Good
Roof	Primary: Gable construction with asphalt shingles Secondary: Gable construction with slate covering Secondary: Flat construction with single-ply EPDM membrane	Fair
Interiors	Walls: Painted gypsum board, ceramic tile and wood paneling Floors: Carpet, ceramic tile Ceilings: Painted gypsum board, Acoustical Ceiling Tile	Good
Elevators	Hydraulic: one cars serving all floors	Fair

Library: Systems Summary

Plumbing	Copper supply and cast-iron waste & venting Electric domestic water heaters Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers, air cooled chiller feeding hydronic baseboard radiators and perimeter unit ventilator cabinets Individual rooftop package units, split systems Supplemental components: suspended unit heaters, exhaust fans	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers, fire pump	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED Emergency: Natural gas generator and UPS, ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Good
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Good
Site Development	Building-mounted signage Limited park benches, trash receptacles	Good
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Good
Utilities	Municipal water Septic tank Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED, CFL Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

Library: Systems Summary

Key Issues and Findings

The basement floods and has created moisture issues downstairs. The cause of the flooding has not been determined. Additionally, in keeping with the analysis the Town has previously conducted regarding the basement water infiltration issue, EMG concurs that the installation of a French drain around the perimeter of the facility will decrease the probability of water infiltration by diverting storm water runoff away from the building perimeter.

Library : Systems Expenditure Forecast

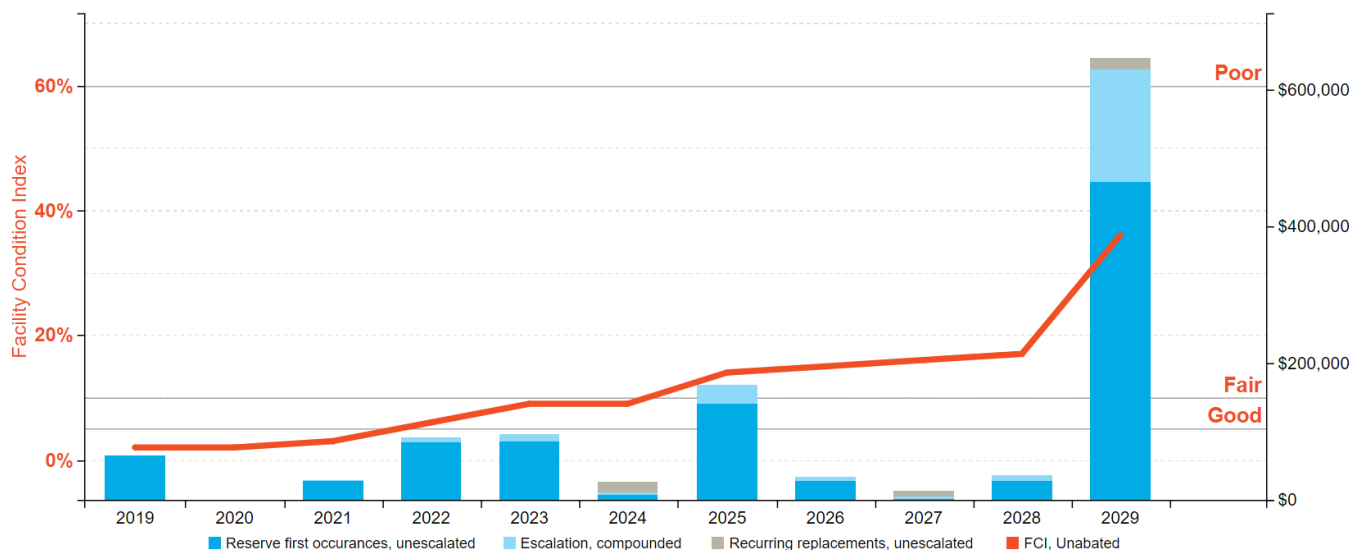
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$30,400	-	-	-	-	\$30,400
Facade	-	-	-	\$13,400	\$53,800	\$67,200
Roofing	\$16,100	\$33,100	\$18,600	\$21,600	\$100,200	\$189,600
Interiors	-	\$59,700	-	\$67,600	\$294,700	\$422,100
Elevators	-	-	-	\$194,200	-	\$194,200
Plumbing	-	-	\$5,800	\$7,500	\$179,500	\$192,800
Fire Suppression	-	\$10,400	-	\$4,300	\$37,300	\$52,000
HVAC	-	\$10,200	\$99,800	\$478,100	\$687,400	\$1,275,400
Electrical	-	-	-	\$76,200	\$29,300	\$105,500
Fire Alarm & Comm	-	-	-	\$26,500	\$64,600	\$91,100
Equipment/Special	-	\$1,500	-	\$1,800	\$4,500	\$7,800
Landscaping	\$11,600	-	-	-	-	\$11,600
Pavement	-	\$7,300	-	\$8,500	\$32,900	\$48,700
Utilities	-	-	-	-	\$17,000	\$17,000
Follow-up Studies	\$7,200	-	-	-	-	\$7,200
TOTALS	\$65,300	\$122,200	\$124,200	\$899,700	\$1,501,200	\$2,712,600

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Library

Replacement Value: \$ 3,203,211; Inflation rate: 3.0%



12 Property Space Use and Observed Areas

Unit Allocation

All of the properties are occupied by the Town of Topsfield. The spaces are mostly a combination of offices, service areas, library and meeting rooms, equipment rooms, vehicle garages, storage, with supporting restrooms, administrative offices, and mechanical and other utility spaces.

Areas Observed

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

Key Spaces Not Observed

All key areas of the property were accessible and observed.

13 ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

- Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
- Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
- Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG’s undertaking. Only a representative sample of areas was observed and actual measurements were not taken to verify compliance.

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “commercial facilities” on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to barrier removal must be made.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG’s undertaking. Only a representative sample of areas was observed, and actual measurements were not taken to verify compliance.

The facilities that are open to the public were originally constructed in the years from 1873 to 1935. The facility was significantly renovated in the 1998 and in 2019. Complaints about accessibility issues have not been received by the property management. The property does not have associated prior or pending litigation related to existing barriers or previously removed barriers.

An accessibility study has not been performed at the site. Although no significant issues were identified, a comprehensive ADA Compliance Survey would reveal specific aspects of the property that are not in full compliance.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

Water Treatment Plant: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station : Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Old Highway Garage: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DPW Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DPW Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Water Pump Station – Perkins: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Water Pump Station – North: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Park and Cemetery Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Park and Cemetery Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Town Hall: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Police Station : Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Library : Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Library : Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The table below is intended to be used as a general reference guide to help differentiate the orders of magnitude between some of the more commonly observed accessibility issues. The table is not intended to be all-inclusive, and boxes checked in the tables above do not necessarily mean those specific problems or shortcomings cited as examples below exist at the subject buildings and sites. Reference the photolog (in the appendix) and/or *Key Findings* section for visuals and/or more specifics about the subject site conditions.

Reference Guide

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<ul style="list-style-type: none"> - Needs full reconstruction - Excessive slopes over 3% require major re-grading - No level locations to add required spaces 	<ul style="list-style-type: none"> - No or non-compliant curb cuts - Moderate difficulty to add required accessible spaces - Slopes close to compliant 	<ul style="list-style-type: none"> - Painting of markings needed - Signage height non-compliant - Signage missing
Exterior Path of Travel	<ul style="list-style-type: none"> - Large areas of sidewalks with excessive slopes - No ramp when needed - Ramps with excessive slopes 	<ul style="list-style-type: none"> - Ramps need rails - Ramps need rail extensions - Need significant # of lever handles - All or most entrance door exterior maneuvering clearance areas with excessive slopes 	<ul style="list-style-type: none"> - One entrance door exterior maneuvering clearance area with excessive slope - A few door knobs instead of lever handles - Non-compliant signage
Interior Path of Travel	<ul style="list-style-type: none"> - All or most interior doors appear less than 32" wide - Corridors less than 36" wide - No ramp when needed - Ramps with excessive slopes - Non-compliant treads/risers at means of egress stairways 	<ul style="list-style-type: none"> - Single height drinking fountains - Drinking fountain too high or protrudes into accessible route - Ramps need rails - Ramps need rail extensions - Need significant # of lever handles - Non-compliant rail extensions at egress stairways - All/most door thresholds high 	<ul style="list-style-type: none"> - One door threshold too high - A few door knobs instead of lever handles - Non-compliant door pressures - Non-compliant signage - Switches not within reach range
Public Use Restrooms	<ul style="list-style-type: none"> - No ADA RR on each accessible floor - Restroom(s) too small - Entire restroom(s) requires renovation - Water closet clearance requires moving walls 	<ul style="list-style-type: none"> - Interior doors appear less than 32" wide - Missing or non-compliant grab bars - Easily fixable clearance issues 	<ul style="list-style-type: none"> - Minor height adjustments required - Non-compliant door pressures - Missing a visual strobe (only required if audible fire alarm already present) - Missing lavatory pipe wraps - Signage not compliant

Reference Guide

	Major Issues (<i>ADA study recommended</i>)	Moderate Issues (<i>ADA study recommended</i>)	Minor/No Issues
Elevators	<ul style="list-style-type: none"> - No elevator present when required - Elevator cab too small 	<ul style="list-style-type: none"> - Panel control buttons not at compliant height - No hands-free emergency communication system - Elevator only has mechanical stops 	<ul style="list-style-type: none"> - Audible/visual signals at every floor may be lacking - Minor signage / Braille issues
Kitchens/Kitchenettes	<ul style="list-style-type: none"> - Clear space for each appliance not present - Clearance between opposing counters too narrow 	<ul style="list-style-type: none"> - Sink and counter too high - Sink knee and toe clearance not provided where required (built-in) - Less than 50% of cabinetry within reach range 	<ul style="list-style-type: none"> - Dispensers not within reach range - Switches not within reach range - Missing sink pipe wraps if knee and toe clearance required

14 Purpose and Scope

14.1 Purpose

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

14.2 Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

15 Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

15.1 Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of EMG's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

15.2 Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

15.3 Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

15.4 Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

15.5 Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed too far into the future.

16 Certification

Town of Topsfield (the Client) retained EMG to perform this Facility Condition Assessment in connection with its continued operation of 8 West Common Street, Topsfield, Massachusetts, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of the Client for the purpose stated within the *Purpose and Scope* section of this report. The report, or any excerpt thereof, shall not be used by any party other than the Client or for any other purpose than that specifically stated in our agreement or within the *Purpose and Scope* section of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at the Client and the recipient's sole risk, without liability to EMG.

Prepared by: Mary Endsley ,
Project Manager

Reviewed by:



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Brian Vickers
Program Manager
800.733.0660 x6243
bvickers@emgcorp.com

17 Appendices

- Appendix A: Photographic Record
- Appendix B: Site Plans
- Appendix C: Pre-Survey Questionnaire
- Appendix D: Component Condition Report
- Appendix E: Replacement Reserves
- Appendix F: Equipment Inventory List

Appendix A: Photographic Record



#1

FRONT ELEVATION



#2

LEFT ELEVATION



#3

REAR ELEVATION



#4

RIGHT ELEVATION



#5

REFURBISHED FIRE ESCAPE



#6

REAR PARKING LOT



#7

GARAGE



#8

HOLDING CELLS



#9

OFFICE



#10

OVERHEAD DOORS



#11

FRONT STEPS



#12

BOILER



#13

WATER HEATER



#14

RESTROOM



#15

LOCKER ROOM



#16

TRAINING ROOM



#17

EXHAUST DUCTWORK



#18

LIGHTING



#19	EMERGENCY GENERATOR
-----	---------------------



#20	LOBBY
-----	-------



#21	OFFICE
-----	--------



#22	CONFERENCE ROOM
-----	-----------------



#23	OFFICES
-----	---------



#24	THIRD FLOOR HALLWAY
-----	---------------------



#1 FRONT ELEVATION



#2 EMERGENCY GENERATOR



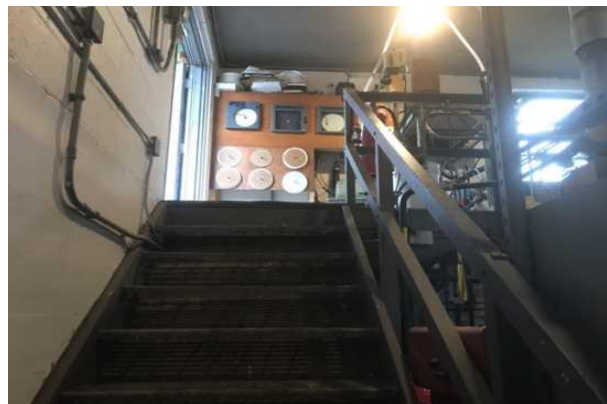
#3 UNIT HEATER



#4 WATER TREATMENT EQUIPMENT



#5 WATER TREATMENT EQUIPMENT



#6 STAIRCASE



#1

FRONT ELEVATION



#2

LEFT ELEVATION



#3

REAR ELEVATION



#4

RIGHT ELEVATION



#5

SAND STORAGE SHED FRONT
ELEVATION

#6

SAND STORAGE SHED SIDE
ELEVATION



#7

STORAGE SHED



#8

REAR PARKING LOT



#9

STRUCTURE



#10

METAL ROOF



#11

WALLS



#12

HVAC CENTRAL



#13

HOT WATER HEATER



#14

LOCKER ROOM



#15

MAIN PANEL



#16

EMERGENCY GENERATOR



#17

GARAGE



#18

GARAGE



#19

SIDE ENTRANCE



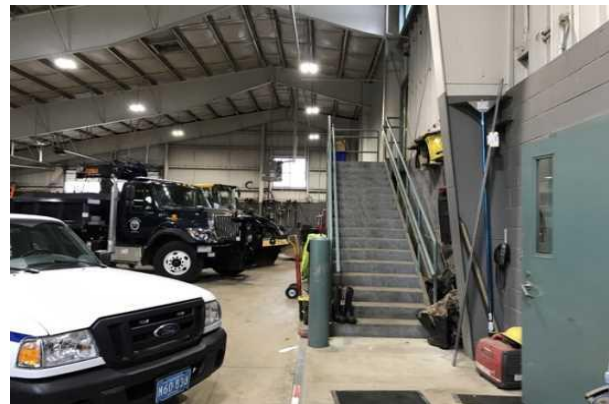
#20

CONFERENCE ROOM



#21

STORAGE



#22

STAIR TO MEZZANINE



#23

STORAGE ROOM



#24

GARAGE



#1

FRONT ELEVATION



#2

LEFT ELEVATION



#3

REAR ELEVATION



#4

RIGHT ELEVATION



#5

EMPLOYEE PARKING LOT



#6

FLATWORK



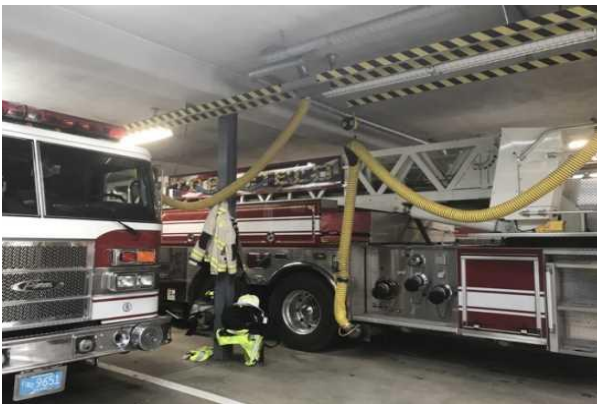
#7

FLATWORK



#8

LANDSCAPING



#9

STRUCTURE



#10

STRUCTURE



#11

FLAT ROOF



#12

PAINTED CMU WALLS



#13

PAINTED CMU



#14

RESTROOM



#15

LOCKER ROOM



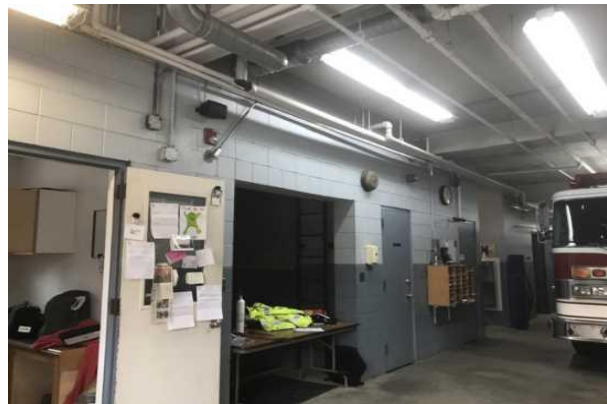
#16

EMERGENCY GENERATOR



#17

TRAINING ROOM



#18

HOSE DRYING TOWER



#19	TRAINING ROOM
-----	---------------



#20	SECOND FLOOR ROOM
-----	-------------------



#21	APPARATUS ROOM
-----	----------------



#22	KITCHEN
-----	---------



#23	ATTIC
-----	-------



#24	BREAK ROOM
-----	------------



#1	FRONT ELEVATION
----	-----------------



#2	LEFT ELEVATION
----	----------------



#3	REAR ELEVATION
----	----------------



#4	RIGHT ELEVATION
----	-----------------



#5	REAR ELEVATION
----	----------------



#6	ROADWAY
----	---------



#7	BOAT STORAGE
----	--------------



#8	ROOF
----	------



#9	BROKEN WINDOWS AT RIGHT ELEVATION
----	-----------------------------------



#10	BROKEN GLASS BLOCK OPENINGS
-----	-----------------------------



#11	DAMAGED BRICK VENEER
-----	----------------------



#12	DAMAGED FAÇADE
-----	----------------



#13	DAMAGED PILASTERS AT GARAGE DOOR OPENINGS
-----	---



#14	SMALL ENGINE STORAGE
-----	----------------------



#15	BOAT STORAGE
-----	--------------



#16	EQUIPMENT STORAGE
-----	-------------------



#17	EQUIPMENT STORAGE
-----	-------------------



#18	STORAGE SHED
-----	--------------



#1

ORIGINAL HURST BARN UNDER RENOVATION



#2

NEW PAINT AT FRONT ELEVATION



#3

BARN - REAR ELEVATION



#4

FRONT ELEVATION OF PARKS AND CEMETERY BUILDING



#5

REAR ELEVATION - PARKS AND CEMETERY BUILDING



#6

STRUCTURE



#7

RIGHT ELEVATION NEW
CONSTRUCTION FOR
EQUIPMENT STORAGE

#8

STORAGE SHED



#9

STORAGE SHED



#10

ROADWAY



#11

ENTRANCE TO REAR STORAGE
YARD

#12

STORAGE YARD



#13

WALLS



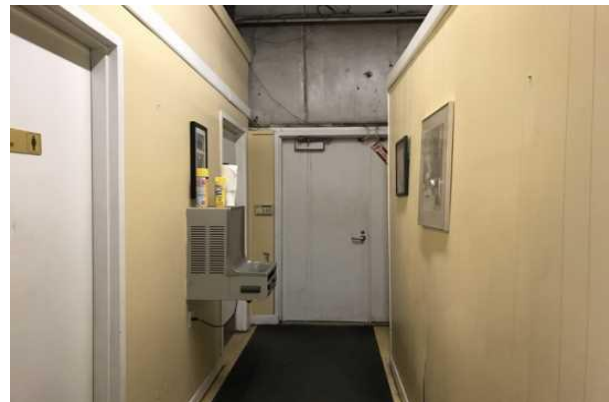
#14

BARN INTERIOR



#15

GARAGE



#16

ENTRANCE HALLWAY



#17

OFFICE



#18

OFFICE



#1	FRONT ELEVATION
----	-----------------



#2	EMERGENCY GENERATOR
----	---------------------



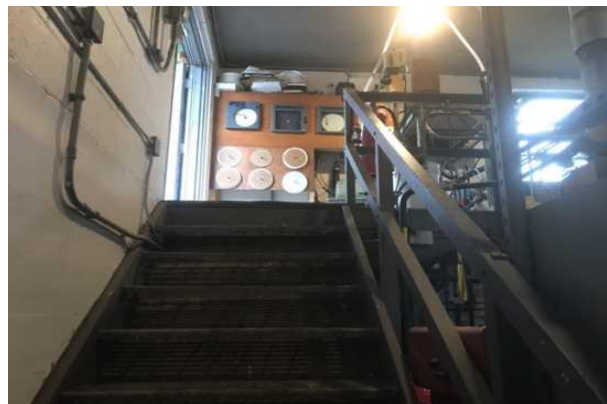
#3	UNIT HEATER
----	-------------



#4	WATER TREATMENT EQUIPMENT
----	---------------------------



#5	WATER TREATMENT EQUIPMENT
----	---------------------------



#6	STAIRCASE
----	-----------



#1	FRONT ELEVATION
----	-----------------



#2	RIGHT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	PUMP HOUSE
----	------------



#6	METAL ROOF
----	------------



#7

CMU SIDING



#8

SPLIT SYSTEM HEAT PUMP



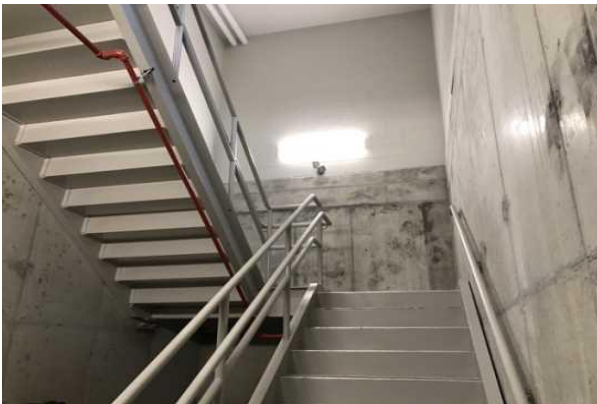
#9

AERATOR



#10

ELECTRICAL DISTRIBUTION



#11

INTERIOR STAIRCASE



#12

WATER TREATMENT
EQUIPMENT



#13	BOOSTER STATION
-----	-----------------



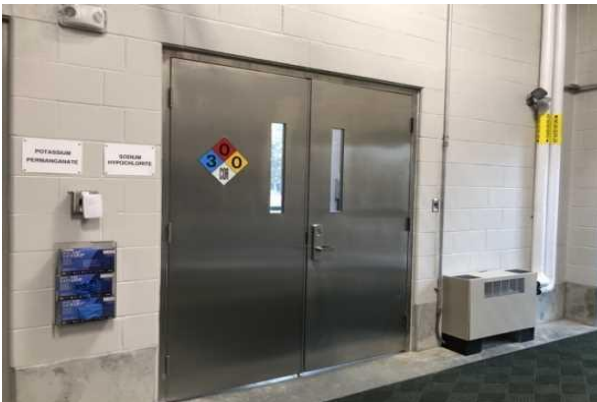
#14	WATER TESTING LAB
-----	-------------------



#15	TANKS
-----	-------



#16	MAIN ENTRANCE LOBBY
-----	---------------------



#17	CHEMICAL TREATMENT DOORS
-----	-----------------------------



#18	UNIT HEATER
-----	-------------



#1

FRONT ELEVATION



#2

LEFT ELEVATION



#3

RIGHT ELEVATION



#4

RIGHT ELEVATION



#5

REAR ELEVATION



#6

MAIN ENTRANCE



#7

STAFF PARKING LOT



#8

UNIT VENTILATOR



#9

MAKE-UP AIR UNIT



#10

EMERGENCY GENERATOR



#11

CIRCULATION DESK



#12

LOBBY



#13

COMMUNITY ROOM



#14

READING ROOM



#15

ORIGINAL LOBBY



#16

LIGHT FIXTURE AT BALCONY



#17

CHILDREN'S RESTROOM



#18

HALLWAY IN BASEMENT



#1

FRONT ELEVATION



#2

LEFT ELEVATION



#3

RIGHT ELEVATION



#4

REAR ELEVATION



#5

MAIN ENTRANCE



#6

FRONT DOOR



#7

PARKING LOT



#8

PARKING LOT



#9

ACCESSIBLE PARKING SPACE



#10

NEW SIDEWALKS



#11

RAMP FROM PARKING LOT



#12

NEW CONCRETE STEPS



#13

ORIGINAL FRONT ENTRY



#14

SLATE ROOF



#15

ASPHALT ROOF



#16

NEW OFFICE SPACE



#17

HOT WATER HEATER



#18

COMMON AREA RESTROOM



#19

WHEEL CHAIR LIFT AT
COMMUNITY ROOM

#20

LOBBY



#21

BOARD ROOM



#22

KITCHEN



#23

HALLWAY ON FIRST FLOOR



#24

MEETING ROOM



#25

FIRE STAIR



#26

COMMUNITY ROOM



#27

THIRD FLOOR HALLWAY IN
CLOCKTOWER

#28

WAITING AREA



#29

COUNCIL ON AGING



#30

BASEMENT STRUCTURE
BELOW VAULT

Appendix B: Site Plans

Site Plan



Project Name:

Town Hall | Library | Fire Department |
Old Maintenance Garage
Town of Topsfield

Project Number:

137641.19R000-001.322

Source:

Google Maps

On-Site Date:

May 2, 3 and 6, 2019

Site Plan



Project Name:

DPW Building | Water Treatment Plant
Town of Topsfield

Project Number:

137641.19R000-001.322

Source:

Google Maps

On-Site Date:

May 2, 3 and 6, 2019

Site Plan



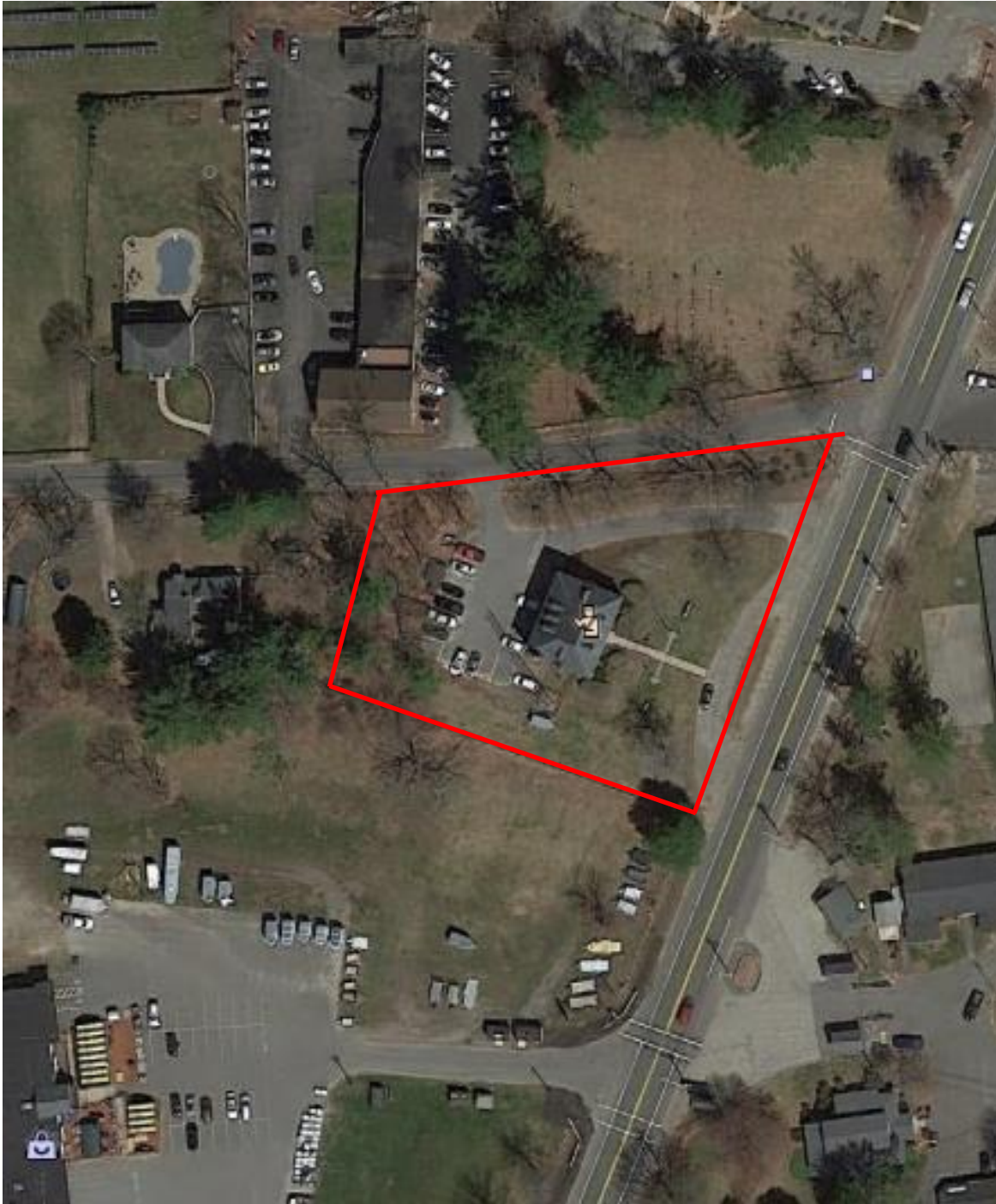
Project Name:
Park and Cemetery
Town of Topsfield

Project Number:
137641.19R000-001.322

Source:
Google Maps

On-Site Date:
May 2, 3 and 6, 2019

Site Plan



Project Name:
Police Station
Town of Topsfield

Project Number:
137641.19R000-001.322

Source:
Google Maps

On-Site Date:
May 2, 3 and 6, 2019

Appendix C: Pre-Survey Questionnaire

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Public Works Facility
Name of person completing form: David Bond
Title / Association with property: Highway Supt
Length of time associated w/ property: 19 years
Date Completed: 4/30/19
Phone Number: 978-887-1542

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	2000		
2	Building size in SF	10,800 sf		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		None
		Roof		None
		Interiors		None
		HVAC		None
		Electrical		None
		Site Pavement		None
		Accessibility		None
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	Two new overhead doors installed in 2018 (\$13K) Carbon monoxide detection system replaced in 2017 (\$9K) Replaced all lighting in vehicle storage area with LED lighting 2016 (\$8K) Replaced all of the gas fired unit heaters in garage area in 2015 (\$10K)		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Plan to mill and pave entire parking lot and roadways, Summer 2019 (\$75K) Yes		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Roof leaks at the roof penetrations for plumbing and heating vents.		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?	X				Roof penetrations as stated above
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?	X				A/C supply line leaked and was repaired.
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		X			
14	Is the electrical service outdated, undersized, or otherwise problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	X				
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.				X	Building is fully handicapped accessible
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?				X	
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		X			None

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Town Hall Topsfield

Name of person completing form: Donna Rich

Title / Association with property: Purchasing Agent / Community Development

Length of time associated with property: 12 years

Date Completed: May 2, 2019

Phone Number: 978-887-1504

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1873 / 2019		
2	Building size in SF	19,364		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	We just moved back 9/18 after a major renovation/addition project.		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	New door at historic entrance, acoustic panels in the Public Hall, none are budgeted for, however, we are seeking alternate funding		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	None are obvious to date		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?			X		
8	Are there any wall, window, basement or roof leaks?		X			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			
10	Are your elevators unreliable, with frequent service calls?		X			
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		X			
14	Is the electrical service outdated, undersized, or otherwise problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	X				The slope in the parking area on the south west side is not perfect.
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.		X			
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?					
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		X			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Topsfield Fire Department
Name of person completing form: Jen Collins-Brown
Title / Association with property: Fire Chief
Length of time associated w/ property: 32 Years
Date Completed: 4/30/19
Phone Number: 978-887-5148

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1969		
2	Building size in SF	5,866		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		Original
		Roof		Unsure
		Interiors	2018	Asbestos abatement and new flooring on second floor
		HVAC		Original
		Electrical		Original
		Site Pavement		Original
		Accessibility		Not accessible
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Not budgeted. Roof leaks, HVAC inefficient, No collection tanks for floor drains.		

6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Leaking roof, HVAC
---	---	--------------------

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")						
QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?	X				Roof
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?	X				Occasionally drain in hose tower backs up, but is from upstairs kitchen sink.
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		X			Heating is old and inefficient. No A/C so rely on many window units. Poor insulation identified on several energy audits.
14	Is the electrical service outdated, undersized, or otherwise problematic?	X				Complicated system with relays makes upgrading difficult and expensive.
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.	X				February 2013
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?		X			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		X			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Topsfield Town Library
Name of person completing form: Laura Zalewski
Title / Association with property: Library Director
Length of time associated w/ property: 6.5 years
Date Completed: May 2, 2019
Phone Number: 978.887.1528 x207

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1935/addition added in 1999		
2	Building size in SF	15,896		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade	1935/1999	Brick
		Roof	1935/1999	Slate and EPDM
		Interiors	1935/1999	Plaster and drywall
		HVAC	2010/2014	Chiller, condenser and make up air unit replaced in 2010. New boiler installed in December 2014. One pipe system.
		Electrical	1999	
		Site Pavement	1999	Asphalt walk ways. Asphalt staff parking lot. On street parking.
		Accessibility	1999	Main entrance at ground level
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	2013 – Energy management system installed, wireless thermostats 2015 – Back up generator installed		

5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	FY2020 – Roof repair (\$10,000), repainting/recarpeting Periodical and Mystery rooms (\$6,500) FY2021 – Recarpet Circulation area and Fiction area (\$15,000), New automatic ADA accessible front doors (\$30,000) FY2022 – Recarpet Children's Room (\$10,000) FY2023 – Recarpet 2 nd floor (\$15,000) Only the FY2020 repainting and recarpeting is funded by the Gould B trust fund.
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Roof leaks, old roof, chiller problems, re-wrapping pipes in meeting room, water problems in basement

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			The library has experienced settling but I'm not sure if I would characterize as excessive.
8	Are there any wall, window, basement or roof leaks?	X				Basement has flooding issues.
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?	X				For the first time, the library experienced a mold issue on the basement walls, in the meeting room. It was remediated on 9/19/19.
10	Are your elevators unreliable, with frequent service calls?		X			
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		X			
14	Is the electrical service outdated, undersized, or otherwise problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.		X			
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?				X	
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		X			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: NORTH STREET STATION
 Name of person completing form: GREG KILAN
 Title / Association with property: WATER SUPERINTENDENT
 Length of time associated w/ property: 31 YEARS
 Date Completed: 5-1-2019
 Phone Number: 978 887 1517

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1949		
2	Building size in SF	1600		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade	—	
		Roof	—	
		Interiors	—	
		HVAC	—	
		Electrical	2004	
		Site Pavement	—	
		Accessibility	—	
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	REPAIRED MAJOR ELECTRICAL COMPONENTS, PUMPS TANKS + ADD'D GENERATOR		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	NEW ROOF, HVAC SYSTEM. NO, NOT BUDGETED YET.		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	HAD TO REMOVE SECTION OF ROOF OVERHANG		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")						
QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?		X			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			HUMID + CORROSION
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?	X				
14	Is the electrical service outdated, undersized, or otherwise problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.				X	NOT A PUBLIC BUILDING
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?					
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?					

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: PICKENS ROW STATION
 Name of person completing form: GREEN KYLE
 Title / Association with property: WATER SUPERINTENDENT
 Length of time associated w/ property: 31 YEARS
 Date Completed: 5-1-2019
 Phone Number: 978 887-1517

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1969		
2	Building size in SF	1200		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof	1990s	
		Interiors		
		HVAC	2000	
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	None		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	REMOVE REPAIR WATERWORKS COMPONENTS, PROVIDE STANDBY POWER, REPAIR HVAC SYSTEM		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")						
QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?	X				SMALL ROOF LEAK @ CHIMNEY
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			BUT HUMID
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?	X				TOO HUMID
14	Is the electrical service outdated, undersized, or otherwise problematic?	X				MOTOR CONTROL SYSTEM OBSOLETE
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.				X	NOT A PUBLIC BUILDING
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?					
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?					

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Police Department
Name of person completing form: Katherine Jackson
Title / Association with property: Executive Assistant
Length of time associated w/ property: 4 Years
Date Completed: 4/30/19
Phone Number: 978-412-5353

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	1935		
2	Building size in SF	5,912		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade	2018	Painting (trim) & fire escapes
		Roof	2016	Repairs
		Interiors		
		HVAC	2016	1 st floor
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	Landscaping, Tree work, replaced staircase with rubberized treads, cells replaced, gutters, major plumbing, exterior painting, kitchen walls repaired and painted, pump in kitchen sink and all heating vent cleaned. These repairs were completed in 2018-2019		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Plumbing repairs in phases for next 3 years, carpeting the 2 nd floor, cement repair to walkway, replace 1 st floor with LVT flooring, renovate booking room		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Major roofing repair, plumbing/piping		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		*			
8	Are there any wall, window, basement or roof leaks?		*			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		*			
10	Are your elevators unreliable, with frequent service calls?		*			N/A there are no elevators in the building
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		*			However, plumbing needs to be addressed
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		*			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?	*				The building is not vented well and is poorly insulated
14	Is the electrical service outdated, undersized, or otherwise problematic?		*			
15	Are there any problems or inadequacies with exterior lighting?		*			Replaced 2018
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		*			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?	*				Concrete repair to walkway
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.	*				2012
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?		*			
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		*			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?		X			

EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: WATER TREATMENT PLANT
 Name of person completing form: GREG KRON
 Title / Association with property: WATER SUPERINTENDENT
 Length of time associated w/ property: 2 YEARS
 Date Completed: 5/1/2019
 Phone Number: 978 887 1517

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

DATA OVERVIEW		RESPONSE		
1	Year/s constructed	2017-2019		
2	Building size in SF	8000		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
QUESTION		RESPONSE		
4	List other significant capital improvements (focus on recent years; provide approximate date).	NONE		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	NONE		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	NONE		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION		RESPONSE				COMMENTS
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?		X			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?		X			
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?		X			
14	Is the electrical service outdated, undersized, or otherwise problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.				X	NOT A PUBLIC BUILDING
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?					
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?					

Appendix D: Component Condition Report

Component Condition Report

DPW Building - New

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Good	Exterior Wall, Metal/Insulated Sandwich Panels, 2" Thick	2,525 SF	21	1234169
B2021	Building Exterior	Fair	Window, Aluminum Double-Glazed Gas-Filled 12 SF, 1-2 Stories	20	11	1234220
B2034	Building Exterior	Excellent	Overhead Door, Aluminum Roll-Up 288 SF	2	34	1234192
Roofing						
B3011	Roof	Good	Roof, Metal	14,500 SF	21	1234153
B3011	Roof	Poor	Roof, Metal, Repair	750 SF	0	1239302
Interiors						
C1021	Throughout interior	Fair	Interior Door, Steel	10	6	1234191
C1031	Restrooms	Good	Toilet Partitions, Wood	1	5	1234176
C1033	Locker rooms	Fair	Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers	15	5	1234195
C3012	Throughout interior	Fair	Interior Wall Finish, Generic Surface, Prep & Paint	2,500 SF	5	1234160
C3021	Garage	Fair	Interior Floor Finish, Concrete, Prep & Paint	7,850 SF	5	1234199
C3024	Throughout interior	Fair	Interior Floor Finish, Vinyl Tile (VCT)	1,250 SF	5	1234165
C3025	Throughout interior	Fair	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic	500 SF	7	1234203
C3032	Throughout interior	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	1,250 SF	4	1234209
Plumbing						
D2011	Restrooms	Fair	Toilet, Tankless (Water Closet)	2	5	1234181
D2012	Restroom	Fair	Urinal, Vitreous China	1	5	1234177
D2014	Garage	Fair	Sink/Lavatory, Plastic	2	3	1234155
D2014	Break room	Fair	Sink/Lavatory, Stainless Steel	1	5	1234159
D2014	Restrooms	Fair	Sink/Lavatory, Porcelain Enamel, Cast Iron	3	3	1234185
D2017	Locker rooms	Fair	Shower, Ceramic Tile	2	11	1234173
D2018	Lobby	Fair	Drinking Fountain, Refrigerated	1	3	1234188
D2019	Vehicle repair	Good	Emergency Eye Wash & Shower Station	1	10	1234202
D2021	Mechanical room	Fair	Water Flow Meter, 1" [No tag/plate found]	1	6	1234156
D2023	Mechanical room	Fair	Water Heater, Gas, Commercial, 60 to 120 GAL [No tag/plate found]	1	3	1234197
D2029	Throughout interior	Fair	Plumbing System, Domestic Supply	10,800 SF	21	1234180
Fire Suppression						
D4019	Throughout interior	Fair	Sprinkler Heads (per SF)	10,800 SF	2	1234211
D4031	Throughout interior	Fair	Fire Extinguisher	8	6	1234198
HVAC						
D3032	Site	Fair	Condensing Unit/Heat Pump, Split System, 6 to 7.5 Ton	1	3	1234207
D3042	Vehicle repair	Excellent	Exhaust Fan, Centrifugal, 8,001 to 10,000 CFM [No tag/plate found]	1	14	1234208
D3042	Garage	Excellent	Exhaust Fan, Propeller, 10,000 CFM	1	14	1234175
D3051	Throughout interior	Good	Unit Heater, Natural Gas, 11 to 25 MBH	6	17	1234204
D3051	Administration	Fair	Furnace, Gas, 25 MBH [No tag/plate found]	5	3	1234162
Electrical						
D5012	Mechanical room	Fair	Distribution Panel, 400 AMP [No tag/plate found]	1	11	1234210

DPW Building - New

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5012	Mechanical room	Fair	Transfer Switch, Automatic (ATS), 600 V, 400 Amp [No tag/plate found]	1	6	1234214
D5029	Throughout interior	Fair	Lighting System, Interior, Office Building, Upgrade	10,800 SF	24	1239301
D5092	Throughout interior	Fair	Exit Lighting Fixture, w/ Battery	7	8	1234218
D5092	Site	Fair	Generator, 35 - 60 kW [No tag/plate found]	1	6	1234212
Fire Alarm & Comm						
D5037	Throughout interior	Fair	Fire Alarm System, Office Building, Install	10,800 SF	3	1234166
D5037	Electrical room	Fair	Fire Alarm Control Panel, Addressable	1	6	1234172
Equipment/Special						
E1094	Breakroom	Fair	Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]	1	7	1234171
E2012	Breakroom	Fair	Kitchen Cabinet, Base and Wall Section, Wood	10 LF	5	1234219
Pavement						
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	22,865 SF	1	1234186
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Mill & Overlay	22,865 SF	1	1234215
Site Development						
G2049	Site	Good	Shed, Wooden Framed, Asphalt Shingles	3,420 SF	11	1279218
Utilities						
G3026	Site	Fair	Septic Tank, 1,000 GAL	1	11	1290714
Fire Station						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	2,500 SF	1	1234247
B2011	Building Exterior	Good	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	2,750 SF	21	1234270
B2021	Building Exterior	Good	Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories	15	27	1234244
B2032	Building Exterior	Fair	Exterior Door, Wood Solid-Core w/ Safety Glass	4	5	1234246
B2034	Building Exterior	Fair	Overhead Door, Steel Insulated Roll-Up 288 SF	3	5	1234264
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle	3,850 SF	3	1234245
B3011	Roof	Good	Roof, Single-Ply EPDM Membrane	2,150 SF	11	1234253
Interiors						
C1021	Throughout interior	Fair	Interior Door, Wood Solid-Core	5	8	1234275
C3012	Throughout interior	Fair	Interior Wall Finish, Generic Surface, Prep & Paint	5,400 SF	2	1234236
C3024	Training room	Fair	Interior Floor Finish, Vinyl Tile (VCT)	2,000 SF	14	1234248
C3031	Throughout interior	Fair	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	5,400 SF	3	1234260
C3032	Training room	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	2,000 SF	10	1234243
Plumbing						
D2011	Restrooms	Good	Toilet, Flush Tank (Water Closet)	3	18	1234222
D2012	Restrooms	Fair	Urinal, Vitreous China	1	17	1234242
D2014	Restrooms	Fair	Sink/Lavatory, Vitreous China	3	8	1234241
D2015	Locker room	Good	Bathtub & Shower Enclosure, Fiberglass	1	8	1234255
D2018	Apparatus room	Good	Drinking Fountain, Refrigerated	1	8	1234229

Fire Station						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2023	Boiler room	Fair	Water Heater, Gas, Commercial, 60 to 120 GAL [No tag/plate found]	1	4	1234239
D2029	Throughout interior	Fair	Plumbing System, Domestic Supply	10,210 SF	6	1234279
Fire Suppression						
D4031	Throughout interior	Good	Fire Extinguisher	5	10	1234280
HVAC						
D3021	Boiler room	Fair	Boiler, 1010 MBH [No tag/plate found]	1	3	1234257
D3041	Throughout interior	Fair	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton)	5	5	1234269
D3041	Attic	Poor	Air Handler, Interior, 1,301 to 2,500 CFM [No tag/plate found]	1	0	1234224
D3042	Hose drying tower	Fair	Exhaust Fan, Centrifugal, 10,001 to 16,000 CFM [No tag/plate found]	1	7	1234230
D3051	Aparatus room	Fair	Unit Heater, Hydronic, 37 to 85 MBH [No tag/plate found]	2	10	1234231
Electrical						
D5012	Breakroom	Fair	Distribution Panel, 400 AMP [No tag/plate found]	1	6	1234259
D5019	Throughout interior	Fair	Electrical Distribution System, Office Building, Upgrade	10,210 SF	20	1239339
D5029	Throughout interior	Fair	Lighting System, Interior, Office Building, Upgrade	10,210 SF	10	1239340
D5092	Generator room	Fair	Transfer Switch, Automatic (ATS), 600 V, 260 Amp [No tag/plate found]	1	3	1234267
D5092	Throughout interior	Good	Exit Lighting Fixture, w/ Battery	1	8	1234278
D5092	Utility closet	Fair	Generator, Gas or Gasoline, 30 kW [No tag/plate found]	1	3	1234277
Fire Alarm & Comm						
D5037	Throughout interior	Fair	Fire Alarm System, Office Building, Install	10,210 SF	4	1234250
D5037	Office	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	9	1234256
Equipment/Special						
E1016	Kitchen	Good	Commercial Laundry, Washer, 51 to 60 LB [No tag/plate found]	1	7	1234225
E1094	Kitchen	Fair	Residential Appliances, Dishwasher [No tag/plate found]	1	7	1234234
E1094	Kitchen	Good	Residential Appliances, Microwave [No tag/plate found]	1	8	1234274
E1094	Kitchen	Good	Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]	1	12	1234271
E1094	Kitchen	Good	Residential Appliances, Range, Electric [No tag/plate found]	1	12	1234227
E2012	Kitchen	Good	Kitchen Cabinet, Base and Wall Section, Wood	20 LF	16	1234254
E2012	Kitchen	Good	Kitchen Counter, Plastic Laminate, Postformed	20 LF	5	1234261
Pavement						
G2012	Site	Fair	Roadways, Asphalt Pavement, Mill & Overlay	22,250 SF	6	1234240
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	22,250 SF	2	1234226
Utilities						
G3026	Site	Fair	Septic Tank, 1,000 GAL	1	6	1290715
Library						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A2022	Basement	NA	Basement Wall, Waterproofing of Exterior Face	3,400 SF	0	1279276
Facade						
B2011	Building Exterior	Good	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	7,380 SF	22	1234355
B2011	Building Exterior	Fair	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	2,850 SF	7	1234307

Library						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2021	Building Exterior	Good	Window, Wood Historical 24 SF	20	25	1234306
B2031	Building Exterior	Good	Exterior Door, Fully-Glazed Wood Solid-Core	10	20	1234328
Roofing						
B3011	Roof	Fair	Roof, Slate	248 SF	0	1234324
B3011	Roof	Good	Roof, Single-Ply EPDM Membrane	2,810 SF	15	1234309
B3011	Roof	Fair	Roof, Asphalt Shingle	8,850 SF	3	1234359
B3021	Roof	Good	Roof Skylight, Glass Single Unit	50 SF	25	1234376
Interiors						
C1021	Throughout interior	Good	Interior Door, Wood Solid-Core	20	2	1234347
C1031	Common area restrooms	Good	Toilet Partitions, Metal Overhead-Braced	3	20	1234320
C3012	Common area restrooms	Good	Interior Wall Finish, Ceramic Tile	1,800 SF	20	1234352
C3012	First floor reading rooms	Good	Interior Wall Finish, Wood Paneling	1,250 SF	22	1279275
C3012	Throughout interior	Good	Interior Wall Finish, Generic Surface, Prep & Paint	18,650 SF	3	1234343
C3024	Common area restrooms	Good	Interior Floor Finish, Ceramic Tile	1,800 SF	50	1234331
C3025	Throughout interior	Good	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic	7,800 SF	6	1234375
C3032	Throughout interior	Good	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	12,500 SF	15	1234316
Elevators						
D1011	Elevator	Fair	Elevator, Hydraulic, 1500 to 2500 LB, 3 Floors, Renovate [298-P-14]	1	10	1234351
Plumbing						
D2011	Common area restrooms	Good	Toilet, Tankless (Water Closet)	6	15	1234367
D2012	Common area restrooms	Fair	Urinal, Vitreous China	1	15	1234315
D2014	Common area restrooms	Good	Sink/Lavatory, Porcelain Enamel, Cast Iron	5	15	1234353
D2014	Community room	Good	Sink/Lavatory, Stainless Steel	1	15	1234299
D2018	Throughout interior	Good	Drinking Fountain, Refrigerated	4	5	1234350
D2023	Throughout building	Fair	Water Heater, Electric, Residential, 5 to 15 GAL	6	7	1234354
D2023	Throughout building	Good	Water Heater, Electric, Residential, 10 GAL [Inaccessible]	2	12	1234341
D2029	Throughout interior	Fair	Plumbing System, Domestic Supply	14,916 SF	18	1234304
Fire Suppression						
D4011	Sprinkler room	Fair	Backflow Preventer, Fire Suppression, 6" [No tag/plate found]	1	3	1234325
D4012	Sprinkler room	Fair	Fire Pump, 10 HP	1	11	1234361
D4019	Throughout interior	Fair	Sprinkler System, Full Retrofit, School (per SF), Renovate	14,916 SF	29	1234322
D4019	Throughout interior	Fair	Sprinkler Heads (per SF)	14,916 SF	11	1234311
D4031	Throughout interior	Good	Fire Extinguisher	9	10	1234356
HVAC						
D3021	Sprinkler room	Good	Boiler, 399 MBH [No tag/plate found]	1	20	1234327
D3022	Sprinkler room	Fair	Condensate Return Station, 15 GAL [No tag/plate found]	1	4	1234314
D3031	Roof	Fair	Chiller, Air-Cooled, 50 Ton	1	4	1234333
D3032	Site	Fair	Condensing Unit/Heat Pump, Split System, 5 Ton [No tag/plate found]	1	10	1234377
D3041	First floor	Good	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton) [No tag/plate found]	10	10	1234371
D3041	Roof	Good	Make-Up Air Unit, 20,000 CFM [No tag/plate found]	1	15	1234334

Library						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3041	Throughout interior	Good	HVAC System Ductwork, Sheet Metal	14,916 SF	20	1234321
D3041	Throughout interior	Good	Variable Air Volume (VAV) Unit, 801 to 1,300 CFM [No tag/plate found]	30	10	1238362
D3041	Second floor	Fair	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton)	10	6	1234373
D3042	Utility closet	Good	Exhaust Fan, Centrifugal, 2,000 CFM [EF-3]	1	7	1234349
D3042	Roof	Fair	Exhaust Fan, Centrifugal, 801 to 2,000 CFM [EF-1]	1	5	1234345
D3042	Roof	Good	Exhaust Fan, Centrifugal, 801 to 2,000 CFM [No tag/plate found]	1	8	1234303
D3045	Sprinkler room	Fair	Distribution Pump, Chiller & Condenser Water, 3 HP [P-1]	1	3	1234336
D3045	Sprinkler room	Fair	Distribution Pump, Chiller & Condenser Water, 3 HP [P-2]	1	3	1234360
D3051	Throughout interior	Fair	Unit Heater, Electric, 20 kW [No tag/plate found]	1	10	1234344
D3068	Boiler room	Good	HVAC Controls, Building Automation System (BAS), Upgrade [No tag/plate found]	14,916 SF	19	1234301
Electrical						
D5012	Utility closet	Good	Distribution Panel, 300 AMP [MDP]	1	25	1234372
D5012	Basement	Good	Transfer Switch, Automatic (ATS), 600 V, 200 Amp	1	14	1234302
D5012	Utility closet	Fair	Distribution Panel, 208 Y, 120 V, 225 Amp	1	9	1234342
D5012	Utility closet	Fair	Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]	1	25	1234308
D5022	Site	Good	LED Lighting Fixture, Basic, 20 W	5	15	1234365
D5092	Throughout interior	Good	Exit Lighting Fixture, w/ Battery	20	7	1234323
D5092	Site	Fair	Generator, Gas or Gasoline, 60 kW [No tag/plate found]	1	10	1234370
Fire Alarm & Comm						
D5037	Throughout interior	Fair	Fire Alarm System, School, Install	14,916 SF	11	1234338
D5037	Utility closet	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	9	1234364
Equipment/Special						
E1028	Community room	Good	Defibrillator (AED), Cabinet Mounted	1	3	1234335
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	8,800 SF	3	1238359
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	8,800 SF	3	1234369
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Large Areas	765 SF	18	1234363
Landscaping						
G2052	Building Perimeter	NA	Landscaping, French Drain, Install	290 LF	0	1412486
Utilities						
G3026	Site	Fair	Septic Tank, 1,000 GAL	1	18	1290716
Follow-up Studies						
P000X	Basement	NA	Engineer, Civil, Site/Storm Drainage, Evaluate/Report	1	0	1279277
Old Highway Garage						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Glass Block	100 SF	0	1234415
B2011	Building Exterior	Poor	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair	1,240 SF	0	1234379
B2021	Building Exterior	Failed	Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories	20	0	1234414
B2034	Building Exterior	Fair	Overhead Door, Steel Insulated Roll-Up 144 SF	7	3	1234397

Old Highway Garage

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle	5,400 SF	3	1234411
HVAC						
D3051	Throughout interior	Failed	Unit Heater, Electric, 20 kW [No tag/plate found]	2	0	1234401
Fire Alarm & Comm						
D5037	Throughout interior	NA	Fire Alarm System, School, Install	3,969 SF	0	1234412
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	10,540 SF	3	1234406
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	10,540 SF	0	1238366
Site Development						
G2041	Site	NA	Fences & Gates, Chain Link, 6' High	650 LF	0	1238364
G2049	Site	Fair	Shed, Wooden Framed, Asphalt Shingles	120 SF	12	1238367

Park & Cemetery Building

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Barn	Excellent	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	75 SF	20	1234453
B2011	Building Exterior	Fair	Exterior Wall, Metal/Insulated Sandwich Panels to Vinyl Siding, 1-2 Stories, Replace with vinyl siding	290 SF	0	1234433
B2011	Barn	Poor	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	280 SF	0	1234431
B2021	Building Exterior	Good	Window, Aluminum Double-Glazed 12 SF, 1-2 Stories	5	25	1234425
B2032	Building exterior	Good	Exterior Door, Steel Insulated	1	5	1239397
B2032	Building Exterior	Excellent	Exterior Door, Wood Solid-Core	2	25	1234439
B2034	Building exterior	Fair	Overhead Door, Steel Insulated Roll-Up 144 SF	2	25	1239396
Roofing						
B3011	Roof	Fair	Roof, Metal to Asphalt Shingle 20-Year, Replace with Asphalt Shingles	2,100 SF	2	1234432
B3011	Barn	Poor	Roof, Wood Shake/Shingle	500 SF	0	1234422
Interiors						
C3012	Throughout interior	Good	Interior Wall Finish, Generic Surface, Prep & Paint	1,250 SF	5	1234435
C3024	Office	Fair	Interior Floor Finish, Vinyl Tile (VCT)	850 SF	7	1234430
C3032	Office	Good	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	850 SF	15	1234458
Plumbing						
D2011	Restrooms	Good	Toilet, Flush Tank (Water Closet)	2	19	1234427
D2012	Restrooms	Fair	Urinal, Vitreous China	1	4	1234448
D2014	Restrooms	Fair	Sink/Lavatory, Porcelain Enamel, Cast Iron	2	8	1234455
D2018	Restrooms	Fair	Drinking Fountain, Refrigerated	1	4	1234459
D2023	Restrooms	Fair	Water Heater, 40 GAL [No tag/plate found]	1	13	1234419
D2029	Throughout interior	Fair	Plumbing System, Domestic Supply	1,600 SF	4	1234441
Fire Suppression						
D4031	Throughout interior	Good	Fire Extinguisher	3	12	1234442
HVAC						
D3051	Grounds garage	Excellent	Unit Heater, Natural Gas, 56 to 75 MBH [No tag/plate found]	2	19	1234426

Park & Cemetery Building

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Electrical						
D5012	Office	Fair	Distribution Panel, 200 AMP [No tag/plate found]	1	20	1234447
Fire Alarm & Comm						
D5037	Throughout interior	Fair	Fire Alarm System, Office Building, Install	1,600 SF	3	1234462
D5037	Office	Good	Fire Alarm Control Panel, Addressable	1	13	1234437
Pavement						
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	25,500 SF	1	1234429
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	25,000 SF	7	1234436
Site Development						
G2049	Site	Fair	Shed, Wooden Framed, Asphalt Shingles	1,310 SF	12	1279234
G2049	Site	Fair	Shed, Wooden Framed, Asphalt Shingles	1,320 SF	12	1279235
G2049	Site	Fair	Shed, Wooden Framed, Asphalt Shingles	130 SF	12	1279236
Utilities						
G3026	Site	Fair	Septic Tank, 1,000 GAL	1	4	1290718

Police Station

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Good	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	2,000 SF	22	1234522
B2021	Building Exterior	Fair	Window, Aluminum Double-Glazed 12 SF, 3+ Stories	35	3	1234496
Roofing						
B3011	Roof	Poor	Roof, Slate	158 SF	0	1234518
Interiors						
C1021	Throughout interior	Good	Interior Door, Wood Hollow-Core	15	17	1234498
C1031	Restrooms	Fair	Toilet Partitions, Wood	2	5	1234475
C1033	Locker room	Good	Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers	15	15	1234490
C3012	Throughout interior	Good	Interior Wall Finish, Generic Surface, Prep & Paint	6,750 SF	5	1234503
C3021	Holding cells	Good	Interior Floor Finish, Epoxy Coating, Prep & Paint	600 SF	7	1234525
C3024	Throughout interior	Fair	Interior Floor Finish, Vinyl Tile (VCT)	2,350 SF	3	1234531
C3025	Throughout interior	Fair	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic	1,250 SF	6	1234469
C3031	Garage	Poor	Interior Ceiling Finish, Concrete, Prep & Paint	2,500 SF	1	1239393
C3032	Throughout interior	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	950 SF	10	1234481
Plumbing						
D2011	Restrooms	Good	Toilet, Flush Tank (Water Closet)	4	8	1234517
D2011	Holding cells	Good	Toilet, Tankless (Water Closet)	3	18	1234512
D2014	Restrooms	Fair	Sink/Lavatory, Vitreous China	6	5	1234473
D2014	Kitchen	Good	Sink/Lavatory, Stainless Steel	1	17	1234526
D2014	Garage	Fair	Sink, Pot, Multi-compartment	4	12	1234506
D2017	Locker room	Fair	Shower, Ceramic Tile	3	10	1234471
D2023	Basement	Fair	Water Heater, 40 GAL [No tag/plate found]	1	3	1234491
D2029	Throughout interior	Poor	Plumbing System, Domestic Supply	5,912 SF	2	1234487

Police Station

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Fire Suppression						
D4019	Throughout interior	Fair	Sprinkler System, Full Retrofit, Medium Density/Complexity, Install	5,912 SF	23	1234483
D4031	Throughout interior	Good	Fire Extinguisher	6	10	1234479
HVAC						
D3021	Basement	Poor	Boiler, 699 MBH [No tag/plate found]	1	0	1234484
D3032	Site	Fair	Condensing Unit/Heat Pump, 3.5 TON	1	13	1234511
D3032	Site	Fair	Condensing Unit/Heat Pump, 3.5 TON	1	6	1234493
D3051	Throughout interior	Fair	Radiator, Cast Iron	21	20	1234465
D3051	Throughout interior	Fair	Unit Heater, Hydronic, 8 to 12 MBH	3	3	1234508
D3051	Electrical room	Good	Furnace, Electric, 180 MBH	1	18	1234533
Electrical						
D5012	Electrical room	Fair	Distribution Panel, 600 AMP [Panel MDP]	1	10	1234482
D5012	Electrical room	Fair	Distribution Panel, 100 AMP [No tag/plate found]	1	10	1234492
D5012	Electrical room	Fair	Distribution Panel, 100 AMP [LI-1]	1	10	1234529
D5012	Electrical room	Fair	Distribution Panel, 125 AMP [ELB1]	1	10	1234510
D5012	Electrical room	Fair	Transfer Switch, Automatic (ATS), 600 V, 150 Amp [No tag/plate found]	1	6	1234489
D5019	Throughout interior	Fair	Electrical Distribution System, Office Building, Upgrade	5,912 SF	5	1234516
D5029	Throughout interior	Fair	Lighting System, Interior, Office Building, Upgrade	5,912 SF	5	1239390
D5092	Electrical room	Poor	Generator, Gas or Gasoline, 35 kW to 60 kW [No tag/plate found]	1	2	1234470
D5092	Throughout interior	Poor	Exit Lighting Fixture, w/ Battery, Replace or install	4	0	1234514
Fire Alarm & Comm						
D5037	Lobby	Fair	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	5	1234515
D5037	Throughout interior	Fair	Fire Alarm System, Office Building, Install	5,912 SF	6	1234485
Equipment/Special						
E1094	Kitchen	Good	Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]	1	14	1234477
E1094	Kitchen	Fair	Residential Appliances, Range, Gas [No tag/plate found]	1	3	1234521
E1094	Kitchen	Fair	Residential Appliances, Range Hood, Vented or Ventless [No tag/plate found]	1	3	1234528
E2012	Kitchen	Good	Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30"	15	17	1234505
E2012	Kitchen	Good	Kitchen Counter, Plastic Laminate, Postformed	15 LF	9	1234520
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	5,490 SF	2	1234480
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	5,490 SF	15	1234495
G2031	Site	Poor	Pedestrian Pavement, Sidewalk, Concrete Large Areas	700 SF	0	1234474
Site Development						
G2048	Site	Good	Flagpole, Metal	2	15	1234501
Utilities						
G3026	Site	Fair	Septic Tank, 1,000 GAL	1	2	1290719
Town Hall						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						

Town Hall						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2011	Building Exterior	Good	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	3,750 SF	9	1234883
B2011	Building Exterior	Good	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	3,250 SF	24	1234808
B2011	Building Exterior	Good	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	2,360 SF	9	1234802
B2021	Building Exterior	Excellent	Window, Aluminum Double-Glazed 12 SF, 1-2 Stories	15	29	1234890
B2021	Building Exterior	Good	Window, Wood 24 SF, 3+ Stories	24	29	1234852
B2023	Building Exterior	Excellent	Storefront, Metal-Framed Windows w/out Door(s)	100 SF	29	1234824
B2031	Building Exterior	Excellent	Exterior Door, Fully-Glazed Aluminum-Framed Swinging	6	29	1234184
Roofing						
B3011	Roof	Excellent	Roof, Single-Ply EPDM Membrane	560 SF	19	1234831
B3011	Roof	Good	Roof, Slate	330 SF	4	1234836
B3011	Roof	Excellent	Roof, Asphalt Shingle Premium Grade	2,950 SF	29	1234858
Interiors						
C1031	Common area restrooms	Excellent	Toilet Partitions, Metal Overhead-Braced	6	19	1234886
C3012	Restrooms	Excellent	Interior Wall Finish, Ceramic Tile	3,575 SF	24	1234837
C3012	Throughout interior	Excellent	Interior Wall Finish, Generic Surface, Prep & Paint	28,725 SF	7	1234815
C3012	Throughout interior	Good	Interior Wall Finish, Wood Paneling	1,245 SF	19	1234820
C3024	Throughout interior	Excellent	Interior Floor Finish, Ceramic Tile	2,350 SF	49	1234833
C3024	Interior Stairs	Excellent	Interior Floor Finish, Vinyl Tile (VCT)	1,150 SF	15	1234856
C3024	Throughout interior	Excellent	Interior Floor Finish, Quarry Tile	1,250 SF	35	1283360
C3024	Throughout interior	Good	Interior Floor Finish, Wood Strip	3,750 SF	29	1234870
C3025	Throughout interior	Good	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic	12,150 SF	9	1234875
C3031	Meeting room	Excellent	Interior Ceiling Finish, Metal	875 SF	49	1234841
C3031	Throughout interior	Excellent	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	9,575 SF	10	1234849
C3032	Througout interior	Excellent	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	7,800 SF	19	1234854
Elevators						
D1011	Elevator	Excellent	Elevator, Overhead Traction, 2000 to 5000 LB, 2-5 Floors, Renovate [No tag/plate found]	1	29	1234848
D1013	Meeting room	Excellent	Wheelchair Lift, Install [No tag/plate found]	1	24	1234891
D1019	Elevator	Excellent	Elevator Cab Finishes, Standard w/out Stainless Steel Doors	1	9	1234818
Plumbing						
D2011	Common area restrooms	Excellent	Toilet, Tankless (Water Closet)	6	19	1234801
D2012	Common area restrooms	Excellent	Urinal, Vitreous China	2	19	1234863
D2014	Common area restrooms	Excellent	Sink/Lavatory, Porcelain Enamel, Cast Iron	6	19	1234866
D2014	Kitchen	Excellent	Sink/Lavatory, Stainless Steel	1	19	1234865
D2014	Kitchen	Excellent	Sink/Lavatory, Stainless Steel	1	19	1234869
D2018	Throughout interior	Excellent	Drinking Fountain, Refrigerated	6	9	1234810
D2021	Mechanical room	Good	Backflow Preventer, Domestic, 0.75"	1	14	1234803
D2023	Mechanical room	Excellent	Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]	1	19	1234860
D2023	Mechanical room	Excellent	Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]	1	19	1234840
D2023	Mechanical room	Good	Domestic Circulator or Booster Pump, 1 HP [No tag/plate found]	1	19	1234798
D2023	Mechanical room	Good	Domestic Circulator or Booster Pump, 3 HP [P-3]	1	19	1234829
D2023	Boiler room	Excellent	Water Heater, Electric, Commercial, 20 GAL [No tag/plate found]	1	14	1234846

Town Hall						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2029	Throughout interior	Excellent	Plumbing System, Domestic Supply	19,364 SF	39	1234826
D2043	Basement	Good	Sump Pump, 3 HP [No tag/plate found]	1	14	1234876
Fire Suppression						
D4011	Sprinkler room	Good	Backflow Preventer, Fire Suppression, 6" [No tag/plate found]	1	19	1234888
D4012	Basement	Excellent	Fire Pump, 10 HP [No tag/plate found]	1	19	1234889
D4019	Throughout interior	Excellent	Sprinkler Heads (per SF)	19,364 SF	19	1234813
D4031	Throughout interior	Excellent	Fire Extinguisher - Type ABC	10	14	1234851
HVAC						
D3021	Mechanical room	Good	Boiler, Gas, 101 to 125 MBH [No tag/plate found]	1	17	1234887
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 10 Ton [No tag/plate found]	1	14	1234884
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 1 Ton [ACCU-4]	1	14	1234847
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 1 Ton [AccU-3]	1	14	1234881
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 10 Ton [No tag/plate found]	1	14	1234838
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 1 Ton [ACCU-5]	1	15	1234811
D3032	Roof	Excellent	Condensing Unit/Heat Pump, Split System, 8 Ton [No tag/plate found]	1	14	1234814
D3041	Attic	Excellent	Make-Up Air Unit, 6,000 CFM [No tag/plate found]	1	19	1234839
D3042	Attic	Excellent	Exhaust Fan, Centrifugal, 5,001 to 8,000 CFM [EF-2]	1	14	1234821
D3051	Throughout interior	Excellent	Unit Heater, Hydronic, 37 to 85 MBH	6	19	1234809
D3051	Attic	Excellent	Furnace, Electric, 51 to 75 MBH [No tag/plate found]	1	19	1234850
D3051	Throughout interior	Excellent	Unit Heater, Hydronic, 24 MBH [No tag/plate found]	14	19	1234822
D3068	Throughout interio	Excellent	HVAC Controls, Building Automation System (BAS), Upgrade [No tag/plate found]	19,364 SF	19	1234877
Electrical						
D5012	Mechanical room	Good	Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]	1	29	1234807
D5012	Mechanical room	Excellent	Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]	1	29	1234873
D5012	Elevator	Excellent	Secondary Transformer, Dry, 15 kVA [No tag/plate found]	1	29	1234842
D5012	Mechanical room	Excellent	Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]	1	29	1234828
D5012	Mechanical room	Excellent	Distribution Panel, 208 Y, 120 V, 400 Amp [298-W18382]	1	29	1234805
D5012	Mechanical room	Excellent	Distribution Panel, 208 Y, 120 V, 200 Amp [No tag/plate found]	1	29	1234867
D5012	Office	Excellent	Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]	1	29	1234823
D5019	Throughout interior	Excellent	Electrical Distribution System, Office Building, Upgrade	19,364 SF	39	1234871
D5029	Throughout interior	Excellent	Lighting System, Interior, Office Building, Upgrade	19,364 SF	24	1238352
D5092	Throughout interior	Excellent	Exit Lighting Fixture, w/ Battery	22	9	1234872
Fire Alarm & Comm						
D5037	Throughout interior	Excellent	Fire Alarm System, Office Building, Install	19,364 SF	19	1234880
D5037	Main lobby	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	14	1234864
Equipment/Special						
E1093	Kitchen	Excellent	Commercial Kitchen, Commercial Microwave	1	9	1234882
E1093	Kitchen	Excellent	Commercial Kitchen, Food Warmer [No tag/plate found]	1	14	1234879
E1094	Kitchen	Excellent	Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]	1	14	1234819
Pavement						

Town Hall						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2022	Site	Excellent	Parking Lots, Asphalt Pavement, Mill & Overlay	15,250 SF	24	1234853
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	15,250 SF	5	1234861
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Large Areas	450 SF	29	1234835
Utilities						
G3026	Site	Excellent	Septic Tank, 1,000 GAL	1	29	1290720
Water Pump Station - North						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	100 SF	15	1234712
B2032	Building Exterior	Fair	Exterior Door, Steel	1	15	1234746
Roofing						
B3011	Roof	Fair	Roof, Modified Bituminous	625 SF	5	1234730
Plumbing						
D2019	Throughout interior	Good	Emergency Eye Wash & Shower Station	1	10	1234733
D2023		Fair	Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]	1	10	1234713
D2023	Main building	Fair	Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]	1	10	1234742
D2043	Main building	Fair	Sump Pump, 20 HP [No tag/plate found]	1	10	1234720
Fire Suppression						
D4031	Main building	Fair	Fire Extinguisher - Type ABC	2	10	1234705
HVAC						
D3049	Throughout interior	NA	Full HVAC System Upgrade, Medium Complexity	616 SF	0	1279224
D3051	Main building	Fair	Unit Heater, Natural Gas, 11 to 25 MBH [No tag/plate found]	1	5	1234725
Electrical						
D5012	Main building	Fair	Transfer Switch, Automatic (ATS), 600 V, 600 Amp [No tag/plate found]	1	3	1234750
D5012	Main building	Good	Motor Control Center w/ Main Breaker, AMP [No tag/plate found]	1	15	1234718
D5012	Main building	Fair	Motor Control Center w/ Main Breaker, AMP	1	30	1234703
D5029	Main building	Fair	Lighting System, Interior, Office Building, Upgrade	616 SF	5	1238368
D5092	Site	Fair	Generator, Gas or Gasoline, 65 kW to 125 kW [No tag/plate found]	1	10	1234716
Fire Alarm & Comm						
D5037	Main building	NA	Fire Alarm System, Office Building, Install	616 SF	0	1234749
Pavement						
G2012	Site	Fair	Roadways, Asphalt Pavement	800 SF	15	1279225
Water Pump Station - Perkins						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	240 SF	3	1234794
B2011	Building Exterior	Fair	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	480 SF	18	1238439
Roofing						
B3011	Roof	Poor	Roof, Asphalt Shingle	855 SF	2	1234751

Water Pump Station - Perkins

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Interiors						
C3021	Main building	Fair	Interior Floor Finish, Epoxy Coating, Prep & Paint	768 SF	5	1234793
Plumbing						
D2019	Main building	Fair	Emergency Eye Wash	1	8	1234797
D2023	Main building	Fair	Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]	1	13	1234785
Fire Suppression						
D4031	Main building	Fair	Fire Extinguisher - Type ABC	2	5	1234775
HVAC						
D3045	Main building	Fair	Flow Control Valve, Motorized, 10" [No tag/plate found]	1	7	1234761
D3049	Throughout interior	NA	Full HVAC System Upgrade, Medium Complexity	768 SF	0	1279230
D3051	Main building	Fair	Unit Heater, Electric, 10 kW [No tag/plate found]	1	8	1234760
Electrical						
D5012	Main building	Fair	Motor Control Center w/ Main Breaker, AMP [No tag/plate found]	1	18	1234780
D5012	Main building	Fair	Distribution Panel, 208 Y, 120 V, 200 Amp	1	10	1238441
D5019	Main building	Fair	Electrical Distribution System, Office Building, Upgrade	768 SF	17	1234796
D5029	Main building	Fair	Lighting System, Interior, Office Building, Upgrade	768 SF	13	1234756
Fire Alarm & Comm						
D5037	Main building	NA	Fire Alarm System, Office Building, Install	480 SF	0	1238438
Pavement						
G2012	Site	Fair	Roadways, Asphalt Pavement, Overlay	800 SF	15	1279227

Water Treatment Plant

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Excellent	Exterior Wall, Metal/Insulated Sandwich Panels, 2" Thick	1,600 SF	39	1234677
B2021	Building Exterior	Excellent	Window, Aluminum Double-Glazed 24 SF, 1-2 Stories	18	29	1234595
B2032	Building Exterior	Excellent	Exterior Door, Steel	5	24	1234619
Roofing						
B3011	Roof	Excellent	Roof, Metal	8,200 SF	39	1234688
Interiors						
C1021	Throughout interior	Excellent	Interior Door, Steel	10	24	1234667
C3012	Throughout interior	Excellent	Interior Wall Finish, Generic Surface, Prep & Paint	12,000 SF	7	1234556
C3021	Throughout interior	Excellent	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	5,730 SF	10	1283359
C3031	Throughout interior	Excellent	Interior Ceiling Finish, Exposed/Generic, Prep & Paint	6,000 SF	9	1234676
Plumbing						
D2014	Water treatment	Excellent	Sink/Lavatory, Stainless Steel	1	19	1234614
D2019	Throughout	Excellent	Emergency Eye Wash	6	14	1234607
D2021	Water treatment	Excellent	Backflow Preventer, 4 INCH [No tag/plate found]	1	14	1234696
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234543
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234663
D2021	Water treatment	Excellent	Backflow Preventer, 4 INCH [No tag/plate found]	1	14	1234585

Water Treatment Plant						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-26]	1	14	1234644
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234546
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234576
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234565
D2021	Water treatment	Excellent	Backflow Preventer, 4 INCH [No tag/plate found]	1	14	1234597
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [No tag/plate found]	1	14	1234547
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234569
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-33]	1	14	1234580
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234623
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234601
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-33]	1	14	1234552
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234574
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234695
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234631
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234589
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234681
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234652
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234685
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234611
D2021	Water treatment	Excellent	Backflow Preventer, 6 INCH [No tag/plate found]	1	14	1234551
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV12]	1	14	1234548
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234596
D2021	Water treatment	Excellent	Backflow Preventer, 4 INCH [No tag/plate found]	1	14	1234686
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234549
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV15]	1	14	1234628
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-22]	1	14	1234637
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234642
D2021	Booster station	Excellent	Water Flow Meter, 4"	2	24	1234578
D2021	Water treatment	Excellent	Water Flow Meter, 6" [FIT-420]	1	24	1234629
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234561
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [Inaccessible]	1	14	1234545
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-13]	1	14	1234660
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [FV501]	1	14	1234600
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [CV-25]	1	14	1234643
D2021	Water treatment	Excellent	Flow Control Valve, Motorized, 2" [FV502]	1	14	1234588
D2021	Booster station	Excellent	Backflow Preventer, Domestic, 4" [No tag/plate found]	1	14	1234635
D2023	KOH room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234666
D2023	Booster station	Excellent	Domestic Circulator or Booster Pump, 100 HP [1]	1	19	1234554
D2023	Chlorine room	Excellent	Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]	1	19	1234639
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234647
D2023	KOH room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234582

Water Treatment Plant						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234645
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234567
D2023	Phosphate	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234634
D2023	Potassium permagnatate room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234559
D2023	Mechanical room	Excellent	Water Heater, Gas, Commercial, 80 GAL [No tag/plate found]	1	14	1234620
D2023	Booster station	Excellent	Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]	1	19	1234654
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 1 HP [Inaccessible]	1	19	1234605
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 3 HP	1	19	1234581
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234674
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]	1	19	1234646
D2023	Chlorine room	Excellent	Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]	1	19	1234678
D2023	Booster station	Excellent	Domestic Circulator or Booster Pump, 3 HP [2]	1	19	1234602
D2023	Booster station	Excellent	Water Filter [No tag/plate found]	1	14	1234638
D2023	Potassium permagnatate room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234539
D2023	Booster station	Excellent	Domestic Circulator or Booster Pump, 3 HP [4]	1	19	1234694
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234591
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234563
D2023	KOH room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234557
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234606
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234586
D2023	Chlorine room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234633
D2023	Potassium permagnatate room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234655
D2023	Potassium permagnatate room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234691
D2023	Booster station	Excellent	Domestic Circulator or Booster Pump, 3 HP [3]	1	19	1234594
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]	1	19	1234625
D2023	KOH room	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234651
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]	1	19	1234542
D2023	Water treatment	Excellent	Domestic Circulator or Booster Pump, 30 HP [No tag/plate found]	1	19	1234577
D2023	Phosphate	Excellent	Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]	1	19	1234587
D2029	Throughout Building	Excellent	Plumbing System, Domestic Supply	7,500 SF	39	1234622
D2043	Water treatment	Good	Sump Pump, 3 HP [No tag/plate found]	1	14	1234550
Fire Suppression						
D4011	Mechanical room	Good	Backflow Preventer, Fire Suppression, 6"	1	19	1234568
D4012	Mechanical room	Excellent	Fire Pump, 10 HP [No tag/plate found]	1	19	1234572
D4019	Mechanical room	Excellent	Sprinkler System, Full Retrofit, Office (per SF), Renovate	7,500 SF	49	1234599
D4019	Throughout interior	Excellent	Sprinkler Heads (per SF)	7,500 SF	19	1234621
D4031	Throughout interior	Excellent	Fire Extinguisher - Type ABC	4	14	1234560
HVAC						
D3021	Mechanical room	Excellent	Boiler, 399 MBH	1	20	1234570
D3022	Water treatment	Excellent	Deaerator [No tag/plate found]	1	20	1234575
D3032	Building exterior	Excellent	Ductless Split System, Single Zone, 1.5 to 2 Ton [No tag/plate found]	1	14	1234640

Water Treatment Plant

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3032	Building exterior	Excellent	Condensing Unit/Heat Pump, Split System, 2 Ton [Heat pump 2]	1	14	1234661
D3032	Site	Excellent	Condensing Unit/Heat Pump, 4 TON [No tag/plate found]	1	14	1234641
D3032	Booster station	Excellent	Condensing Unit/Heat Pump, Split System, 3 Ton [No tag/plate found]	1	14	1234610
D3051	Throughout interior	Excellent	Unit Heater, Hydronic, 8 to 12 MBH [No tag/plate found]	10	19	1234687
Electrical						
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-452]	1	19	1234684
D5012	Electrical room	Excellent	Motor Control Center w/ Main Breaker, AMP [No tag/plate found]	1	29	1234609
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-153]	1	19	1234665
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-423]	1	19	1234540
D5012	Booster station	Excellent	Transfer Switch, Automatic (ATS), 600 V, 300 Amp [No tag/plate found]	1	17	1234662
D5012	Booster station	Excellent	Distribution Panel, 208 Y, 120 V, 200 Amp [No tag/plate found]	1	29	1234653
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-421]	1	19	1234608
D5012	Electric room	Excellent	Motor Control Center w/ Main Breaker, AMP [MCC-1]	1	29	1234649
D5012	Electrical room	Excellent	Distribution Panel, 225 AMP [LP-1]	1	29	1234659
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-152]	1	19	1234624
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-541]	1	19	1234590
D5012	Electric room	Excellent	Secondary Transformer, 45 kVA [No tag/plate found]	1	29	1234690
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-422]	1	19	1234592
D5012	Electrical room	Excellent	Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-151]	1	19	1234669
D5029	Throughout interior	Excellent	Lighting System, Interior, Office Building, Upgrade	7,500 SF	24	1238270
D5092	Booster station	Excellent	Generator, Diesel, 125 kW [No tag/plate found]	1	24	1234555
D5092	Water treatment	Excellent	Generator, Gas or Gasoline, 190 kW to 250 kW [No tag/plate found]	1	24	1234571
D5092	Throughout interior	Excellent	Exit Lighting Fixture, LED	7	9	1234562
Fire Alarm & Comm						
D5037	Electric room	Excellent	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	14	1234683
D5037	Throughout interior	Excellent	Fire Alarm System, Office Building, Install	7,500 SF	19	1234593
Equipment/Special						
E1027	Laboratory	Excellent	Laboratory Exhaust Hood, 4 LF [No tag/plate found]	1	14	1234564
E1027	Kitchen	Excellent	Dishwasher, Laboratory	1	9	1234682
E1093	Kitchen	Excellent	Commercial Kitchen, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	14	1234583
E2012	Office	Excellent	Kitchen Counter, Solid Surface	15 LF	9	1234615
E2012	Office	Excellent	Kitchen Cabinet, Base and Wall Section, Metal	15 LF	19	1234693
F1041	Water treatment	Excellent	Dehumidifier & Control, 4,500 CFM, 150 LB [No tag/plate found]	1	14	1234613
F1041	Water treatment	Excellent	Dehumidifier & Control, 4,500 CFM, 150 LB [No tag/plate found]	1	14	1234553
Utilities						
G3026	Site	Excellent	Septic Tank, 1,000 GAL	1	29	1290723

Appendix E: Replacement Reserves



9/10/2019

Facility	Uniformat Code ID	Cost Description	Lifespan (EUL)/Eage	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
DPW Building - New	B2021	1234220 Window, Aluminum Double-Glazed Gas-Filled 12 SF, 1-2 Stories, Replace	30	19	11	20	EA	\$563.64	\$11,273											\$11,273									\$11,273	
DPW Building - New	B3011	1239302 Roof, Metal, Repair	0	19	0	750	SF	\$18.68	\$14,010	\$14,010																			\$14,010	
DPW Building - New	C1021	1234191 Interior Door, Steel, Replace	25	19	6	10	EA	\$950.12	\$9,501						\$9,501														\$9,501	
DPW Building - New	C1031	1234176 Toilet Partitions, Wood, Replace	20	15	5	1	EA	\$465.02	\$465					\$465															\$465	
DPW Building - New	C1033	1234195 Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers, Replace	20	15	5	15	EA	\$482.50	\$7,238					\$7,238															\$7,238	
DPW Building - New	C3012	1234160 Interior Wall Finish, Generic Surface, Prep & Paint	8	3	5	2500	SF	\$1.45	\$3,625					\$3,625							\$3,625								\$7,250	
DPW Building - New	C3021	1234199 Interior Floor Finish, Concrete, Prep & Paint	10	5	5	7850	SF	\$9.23	\$72,456					\$72,456										\$72,456					\$144,911	
DPW Building - New	C3024	1234165 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	10	5	1250	SF	\$4.80	\$6,000					\$6,000													\$6,000		\$12,000	
DPW Building - New	C3025	1234203 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	3	7	500	SF	\$7.26	\$3,630						\$3,630										\$3,630				\$7,260	
DPW Building - New	C3032	1234209 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	16	4	1250	SF	\$3.11	\$3,888				\$3,888																\$3,888	
DPW Building - New	D2011	1234181 Toilet, Tankless (Water Closet), Replace	20	15	5	2	EA	\$842.97	\$1,686					\$1,686															\$1,686	
DPW Building - New	D2012	1234177 Urinal, Vitreous China, Replace	20	15	5	1	EA	\$1,193.44	\$1,193					\$1,193															\$1,193	
DPW Building - New	D2014	1234155 Sink/Lavatory, Plastic, Replace	20	17	3	2	EA	\$575.99	\$1,152			\$1,152																	\$1,152	
DPW Building - New	D2014	1234185 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace	20	17	3	3	EA	\$1,167.28	\$3,502			\$3,502																	\$3,502	
DPW Building - New	D2014	1234159 Sink/Lavatory, Stainless Steel, Replace	20	15	5	1	EA	\$1,054.05	\$1,054					\$1,054															\$1,054	
DPW Building - New	D2017	1234173 Shower, Ceramic Tile, Replace	30	19	11	2	EA	\$1,963.78	\$3,968												\$3,968								\$3,968	
DPW Building - New	D2018	1234188 Drinking Fountain, Refrigerated, Replace	10	7	3	1	EA	\$1,257.51	\$1,258			\$1,258																	\$2,515	
DPW Building - New	D2019	1234202 Emergency Eye Wash & Shower Station, , Replace	15	5	10	1	EA	\$2,114.70	\$2,115										\$2,115										\$2,115	
DPW Building - New	D2021	1234156 Water Flow Meter, 1", Replace	25	19	6	1	EA	\$1,195.11	\$1,195						\$1,195														\$1,195	
DPW Building - New	D2023	1234197 Water Heater, Gas, Commercial, 60 to 120 GAL, Replace	15	12	3	1	EA	\$10,699.82	\$10,699			\$10,699														\$10,699			\$21,398	
DPW Building - New	D3032	1234207 Condensing Unit/Heat Pump, Split System, 6 to 7.5 Ton, Replace	15	12	3	1	EA	\$11,591.12	\$11,591			\$11,591															\$11,591		\$23,182	
DPW Building - New	D3042	1234208 Exhaust Fan, Centrifugal, 8,001 to 10,000 CFM, Replace	15	1	14	1	EA	\$7,685.96	\$7,686																				\$7,686	
DPW Building - New	D3042	1234175 Exhaust Fan, Propeller, 10,000 CFM, Replace	15	1	14	1	EA	\$2,964.10	\$2,964																				\$2,964	
DPW Building - New	D3051	1234162 Furnace, Gas, 25 MBH, Replace	20	17	3	5	EA	\$1,997.57	\$9,988			\$9,988																	\$9,988	
DPW Building - New	D3051	1234204 Unit Heater, Natural Gas, 11 to 25 MBH, Replace	20	3	17	6	EA	\$3,928.36	\$23,570																	\$23,570			\$23,570	
DPW Building - New	D4019	1234211 Sprinkler Heads (per SF), , Replace	20	18	2	10800	SF	\$1.33	\$14,364		\$14,364																		\$14,364	
DPW Building - New	D4031	1234198 Fire Extinguisher, , Replace	15	9	6	8	EA	\$356.54	\$2,852						\$2,852														\$2,852	
DPW Building - New	D5012	1234214 Transfer Switch, Automatic (ATS), 600 V, 400 AMP, Replace	18	12	6	1	EA	\$12,045.75	\$12,046						\$12,046														\$12,046	
DPW Building - New	D5012	1234210 Distribution Panel, 400 AMP, Replace	30	19	11	1	EA	\$9,487.85	\$9,488												\$9,488								\$9,488	
DPW Building - New	D5037	1234166 Fire Alarm System, Office Building, Install	20	17	3	10800	SF	\$2.36	\$25,488			\$25,488																	\$25,488	
DPW Building - New	D5037	1234172 Fire Alarm Control Panel, Addressable, Replace	15	9	6	1	EA	\$20,297.59	\$20,298						\$20,298														\$20,298	
DPW Building - New	D5092	1234212 Generator, 35 - 60 kW, Replace	25	19	6	1	EA	\$41,300.30	\$41,300						\$41,300														\$41,300	
DPW Building - New	D5092	1234218 Exit Lighting Fixture, w/ Battery, Replace	10	2	8	7	EA	\$418.95	\$2,933								\$2,933									\$2,933			\$5,865	
DPW Building - New	E1094	1234171 Residential Appliances, Refrigerator, 14-18 CF, Replace	15	8	7	1	EA	\$956.04	\$956							\$956													\$956	
DPW Building - New	E2012	1234219 Kitchen Cabinet, Base and Wall Section, Wood, Replace	20	15	5	10	LF	\$467.63	\$4,676					\$4,676															\$4,676	
DPW Building - New	G2022	1234186 Parking Lots, Asphalt Pavement, Seal & Stripe	5	4	1	22865	SF	\$3.38	\$8,689	\$8,689					\$8,689										\$8,689				\$34,755	
DPW Building - New	G2022	1234215 Parking Lots, Asphalt Pavement, Mill & Overlay	25	24	1	22865	SF	\$3.28	\$74,997	\$74,997																			\$74,997	
DPW Building - New	G2049	1279218 Shed, Wooden Framed, Asphalt Shingles, Replace	30	19	11	3420	SF	\$41.10	\$140,562												\$140,562								\$140,562	
DPW Building - New	G3026	1260714 Septic Tank, 1,000 GAL, Replace	30	19	11	1	EA	\$9,970.00	\$9,970												\$9,970								\$9,970	
Fire Station	B2011	1234247 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	10	9	1	2500	SF	\$3.83	\$9,563	\$9,563																			\$19,126	
Fire Station	B2032	1234246 Exterior Door, Wood Solid-Core w/ Safety Glass, Replace	25	20	5	4	EA	\$1,928.03	\$7,712					\$7,712															\$7,712	
Fire Station	B2034	1234264 Overhead Door, Steel Insulated Roll-Up 288 SF, Replace	35	30	5	3	EA	\$5,707.55	\$17,123					\$17,123															\$17,123	
Fire Station	B3011	1234245 Roof, Asphalt Shingle, Replace	20	17	3	3850	SF	\$3.42	\$13,167			\$13,167																	\$13,167	
Fire Station	B3011	1234253 Roof, Single-Ply EPDM Membrane, Replace	20	9	11	2150	SF	\$10.52	\$22,618												\$22,618								\$22,618	
Fire Station	C1021	1234275 Interior Door, Wood Solid-Core, Replace	20	12	8	5	EA	\$1,423.11	\$7,116								\$7,116												\$7,116	
Fire Station	C3012	1234236 Interior Wall Finish, Generic Surface, Prep & Paint	8	6	2	5400	SF	\$1.45	\$7,830	\$7,830									\$7,830							\$7,830			\$23,490	
Fire Station	C3024	1234248 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	1	14	2000	SF	\$4.80	\$9,600												\$9,600								\$9,600	
Fire Station	C3031	1234260 Interior Ceiling Finish, Exposed/Generic, Prep & Paint	10	7	3	5400	SF	\$2.27	\$12,258			\$12,258									\$12,258								\$24,516	
Fire Station	C3032	1234243 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	10	10	2000	SF	\$3.11	\$6,220										\$6,220										\$6,220	
Fire Station	D2011	1234222 Toilet, Flush Tank (Water Closet), Replace	20	2	18	3	EA	\$1,055.15	\$3,165																	\$3,165			\$3,165	
Fire Station	D2012	1234242 Urinal, Vitreous China, Replace	20	3	17	1	EA	\$1,193.44	\$1,193																\$1,193				\$1,193	
Fire Station	D2014	1234241 Sink/Lavatory, Vitreous China, Replace	20	12	8	3	EA	\$861.51	\$2,585							\$2,585													\$2,585	
Fire Station	D2015	1234255 Bath/ub & Shower Enclosure, Fiberglass, Replace	20	12	8	1	EA	\$1,785.27	\$1,785							\$1,785													\$1,785	
Fire Station	D2018	1234229 Drinking Fountain, Refrigerated, Replace	10	2	8	1	EA	\$1,257.51	\$1,258							\$1,258										\$1,258			\$2,515	
Fire Station	D2023	1234239 Water Heater, Gas, Commercial, 60 to 120 GAL, Replace	15	11	4	1	EA	\$10,699.82	\$10,699			\$10,699														\$10,699			\$21,398	
Fire Station	D2029	1234279 Plumbing System, Domestic Supply, Replace	40	34	6	10210	SF	\$5.84	\$59,626						\$59,626														\$59,626	
Fire Station	D3021	1234257 Boiler, 1010 MBH, Replace	25	22	3	1	EA	\$46,465.41	\$46,465			\$46,465																	\$46,465	
Fire Station	D3041	1234224 Air Handler, Interior, 1,301 to 2,500 CFM, Replace	20	20	0	1	EA	\$9,413.96	\$9,414	\$9,414																\$9,414			\$18,828	
Fire Station	D3041	1234269 Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace	15	10	5	5	EA	\$8,444.15	\$42,221					\$42,221													\$42,221		\$84,442	
Fire Station	D3042	1234230 Exhaust Fan, Centrifugal, 10,001 to 16,000 CFM, Replace	15	8	7	1	EA	\$10,167.07	\$10,167							\$10,167													\$10,167	
Fire Station	D3051	1234231 Unit Heater, Hydronic, 37 to 85 MBH, Replace	20	10	10	2	EA	\$1,900.28	\$3,801										\$3,801										\$3,801	
Fire Station	D4031	1234280 Fire Extinguisher, , Replace	15																											

		Uniform Code	Cost Description	Lifespan	EU/E	Age	RUL	Quantity	Unit Cost	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
Fire Station	E2012	1234254	Kitchen Cabinet, Base and Wall Section, Wood, Replace	20	4	16	20	20	LF	\$467.63	\$9,353															\$9,353						\$9,353
Fire Station	G2012	1234240	Roadways, Asphalt Pavement, Mill & Overlay	25	19	6	22250	SF	\$3.28	\$72,980							\$72,980															\$72,980
Fire Station	G2022	1234226	Parking Lots, Asphalt Pavement, Seal & Stripe	5	3	2	22250	SF	\$0.38	\$8,455			\$8,455					\$8,455				\$8,455										\$33,820
Fire Station	G3026	1290715	Septic Tank, 1,000 GAL., Replace	30	24	6	1	EA	\$9,970.00	\$9,970						\$9,970												\$8,455				\$9,970
Library	A2022	1279276	Basement Wall, Waterproofing of Exterior Face, Replace	0	0	0	3400	SF	\$8.93	\$30,362	\$30,362																					\$30,362
Library	B2011	1234307	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	10	3	7	2850	SF	\$3.83	\$10,902							\$10,902											\$10,902				\$21,803
Library	B2031	1234328	Exterior Door, Fully-Glazed Wood Solid-Core, Replace	25	5	20	10	EA	\$1,982.31	\$19,823																				\$19,823		\$19,823
Library	B3011	1234324	Roof, Slate, Replace	5	21	0	247.5	SF	\$65.00	\$16,088	\$16,088					\$16,088					\$16,088				\$16,088					\$16,088		\$80,438
Library	B3011	1234359	Roof, Asphalt Shingle, Replace	20	17	3	8850	SF	\$3.42	\$30,267			\$30,267																			\$30,267
Library	B3011	1234309	Roof, Single-Ply EPDM Membrane, Replace	20	5	15	2810	SF	\$10.52	\$29,561															\$29,561							\$29,561
Library	C1021	1234347	Interior Door, Wood Solid-Core, Replace	20	18	2	20	EA	\$1,423.11	\$28,462			\$28,462																			\$28,462
Library	C1031	1234320	Toilet Partitions, Metal Overhead-Braced, Replace	20	0	20	3	EA	\$850.00	\$2,550																			\$2,550			\$2,550
Library	C3012	1234343	Interior Wall Finish, Generic Surface, Prep & Paint	8	5	3	18650	SF	\$1.45	\$27,043			\$27,043																	\$27,043		\$81,128
Library	C3012	1234352	Interior Wall Finish, Ceramic Tile, Replace	25	5	20	1800	SF	\$16.55	\$29,790																				\$29,790		\$29,790
Library	C3025	1234375	Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	4	6	7800	SF	\$7.26	\$56,628						\$56,628										\$56,628						\$113,256
Library	C3032	1234316	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	5	15	12500	SF	\$3.11	\$38,875															\$38,875							\$38,875
Library	D1011	1234351	Elevator, Hydraulic, 1500 to 2500 LB, 3 Floors, Renovate	30	20	10	1	EA	\$144,487.20	\$144,487										\$144,487												\$144,487
Library	D2011	1234367	Toilet, Tankless (Water Closet), Replace	20	5	15	6	EA	\$842.97	\$5,058																\$5,058						\$5,058
Library	D2012	1234315	Urinal, Vitreous China, Replace	20	5	15	1	EA	\$1,193.44	\$1,193																\$1,193						\$1,193
Library	D2014	1234353	Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace	20	5	15	5	EA	\$1,167.28	\$5,836																\$5,836						\$5,836
Library	D2014	1234299	Sink/Lavatory, Stainless Steel, Replace	20	5	15	1	EA	\$1,054.05	\$1,054																\$1,054						\$1,054
Library	D2018	1234350	Drinking Fountain, Refrigerated, Replace	10	5	5	4	EA	\$1,257.51	\$5,030							\$5,030									\$5,030						\$10,060
Library	D2023	1234354	Water Heater, Electric, Residential, 5 to 15 GAL, Replace	15	8	7	6	EA	\$1,014.17	\$6,085								\$6,085														\$6,085
Library	D2023	1234341	Water Heater, Electric, Residential, 10 GAL, Replace	15	3	12	2	EA	\$1,014.17	\$2,028																						\$2,028
Library	D2029	1234304	Plumbing System, Domestic Supply, Replace	40	22	18	14916	SF	\$5.84	\$87,109																			\$87,109			\$87,109
Library	D3021	1234327	Boiler, 399 MBH, Replace	25	5	20	1	EA	\$23,840.87	\$23,841																				\$23,841		\$23,841
Library	D3022	1234314	Condensate Return Station, 15 GAL, Replace	25	21	4	1	EA	\$7,732.67	\$7,733					\$7,733																	\$7,733
Library	D3031	1234333	Chiller, Air-Cooled, 50 Ton, Replace	25	21	4	1	EA	\$78,186.30	\$78,186																						\$78,186
Library	D3032	1234377	Condensing Unit/Heat Pump, Split System, 5 Ton, Replace	15	5	10	1	EA	\$6,439.81	\$6,440												\$6,440										\$6,440
Library	D3041	1234373	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace	15	9	6	10	EA	\$8,444.15	\$84,442						\$84,442																\$84,442
Library	D3041	1234371	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace	15	5	10	10	EA	\$8,444.15	\$84,442												\$84,442										\$84,442
Library	D3041	1238362	Variable Air Volume (VAV) Unit, 801 to 1,300 CFM, Replace	15	5	10	30	EA	\$6,038.83	\$181,165												\$181,165										\$181,165
Library	D3041	1234334	Make-Up Air Unit, 20,000 CFM, Replace	20	5	15	1	EA	\$61,112.86	\$61,113																\$61,113						\$61,113
Library	D3041	1234321	HVAC System Ductwork, Sheet Metal, Replace	30	10	20	14916	SF	\$15.00	\$223,740																				\$223,740		\$223,740
Library	D3042	1234345	Exhaust Fan, Centrifugal, 801 to 2,000 CFM, Replace	15	10	5	1	EA	\$2,664.18	\$2,664						\$2,664																\$5,328
Library	D3042	1234349	Exhaust Fan, Centrifugal, 2,000 CFM, Replace	15	8	7	1	EA	\$3,072.78	\$3,073							\$3,073															\$3,073
Library	D3042	1234303	Exhaust Fan, Centrifugal, 801 to 2,000 CFM, Replace	15	7	8	1	EA	\$2,664.18	\$2,664									\$2,664													\$2,664
Library	D3045	1234336	Distribution Pump, Chiller & Condenser Water, 3 HP, Replace	20	17	3	1	EA	\$4,652.29	\$4,652					\$4,652																	\$4,652
Library	D3045	1234380	Distribution Pump, Chiller & Condenser Water, 3 HP, Replace	20	17	3	1	EA	\$4,652.29	\$4,652					\$4,652																	\$4,652
Library	D3051	1234344	Unit Heater, Electric, 20 kW, Replace	20	10	10	1	EA	\$3,354.92	\$3,355												\$3,355										\$3,355
Library	D3068	1234301	HVAC Controls, Building Automation System (BAS), Upgrade	20	1	19	14916	SF	\$5.36	\$79,950																			\$79,950			\$79,950
Library	D4011	1234325	Backflow Preventer, Fire Suppression, 6", Replace	20	17	3	1	EA	\$9,528.08	\$9,528				\$9,528																		\$9,528
Library	D4012	1234361	Fire Pump, 10 HP, Replace	20	9	11	1	EA	\$7,088.99	\$7,089												\$7,089										\$7,089
Library	D4019	1234311	Sprinkler Heads (per SF), , Replace	20	9	11	14916	SF	\$1.33	\$19,838																	\$19,838					\$19,838
Library	D4031	1234356	Fire Extinguisher, , Replace	15	5	10	9	EA	\$356.54	\$3,209												\$3,209										\$3,209
Library	D5012	1234342	Distribution Panel, 208 V, 120 V, 225 Amp, Replace	30	21	9	1	EA	\$7,951.00	\$7,951										\$7,951												\$7,951
Library	D5012	1234302	Transfer Switch, Automatic (ATS), 600 V, 200 Amp, Replace	18	4	14	1	EA	\$9,285.35	\$9,285														\$9,285								\$9,285
Library	D5022	1234365	LED Lighting Fixture, Basic, 20 W, Replace	20	5	15	5	EA	\$180.19	\$901																\$901						\$901
Library	D5037	1234364	Fire Alarm Control Panel, Addressable, Replace	15	6	9	1	EA	\$20,297.59	\$20,298										\$20,298												\$20,298
Library	D5037	1234338	Fire Alarm System, School, Install	20	9	11	14916	SF	\$3.13	\$46,687																						\$46,687
Library	D5092	1234323	Exit Lighting Fixture, w/ Battery, Replace	10	3	7	20	EA	\$418.95	\$8,379							\$8,379											\$8,379				\$16,758
Library	D5092	1234370	Generator, Gas or Gasoline, 80 kW, Replace	25	15	10	1	EA	\$41,300.30	\$41,300												\$41,300										\$41,300
Library	E1028	1234335	Defibrillator (AED), Cabinet Mounted, Replace	5	2	3	1	EA	\$1,409.50	\$1,410					\$1,410									\$1,410					\$1,410			\$5,638
Library	G2022	1238359	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	8800	SF	\$0.38	\$3,344				\$3,344										\$3,344					\$3,344			\$13,376
Library	G2022	1234369	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	8800	SF	\$0.38	\$3,344				\$3,344										\$3,344					\$3,344			\$13,376
Library	G2031	1234363	Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace	30	12	18	765	SF	\$9.00	\$6,885																			\$6,885			\$6,885
Library	G2052	1412486	Landscaping, French Drain, Install	30	30	0	290	LF	\$40.00	\$11,600	\$11,600																					\$11,600
Library	G3026	1290716	Septic Tank, 1,000 GAL., Replace	30	12	18	1	EA	\$9,970.00	\$9,970																		\$9,970				\$9,970
Library	P000X	1279277	Engineer, Civil, Site/Storm Drainage, Evaluate/Report	0	0	0	1	EA	\$7,160.00	\$7																						

Facility	Uniformat Code	ID	Cost Description	Lifespan (EU)	EA	RUL	Quantity	Unit	Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
Park & Cemetery Building	D2012		1234448 Urinal, Vitreous China, Replace	20	16	4	1	EA	\$1,193.44	\$1,193					\$1,193																	\$1,193	
Park & Cemetery Building	D2014		1234455 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace	20	12	8	2	EA	\$1,167.28	\$2,335									\$2,335													\$2,335	
Park & Cemetery Building	D2018		1234459 Drinking Fountain, Refrigerated, Replace	10	6	4	1	EA	\$1,257.51	\$1,258					\$1,258										\$1,258							\$2,515	
Park & Cemetery Building	D2023		1234419 Water Heater, 40 GAL, Replace	15	2	13	1	EA	\$6,963.24	\$6,963														\$6,963								\$6,963	
Park & Cemetery Building	D2029		1234441 Plumbing System, Domestic Supply, Replace	40	36	4	1600	SF	\$5.84	\$9,344					\$9,344																	\$9,344	
Park & Cemetery Building	D3051		1234426 Unit Heater, Natural Gas, 56 to 75 MBH, Replace	20	1	19	2	EA	\$4,467.67	\$8,935																				\$8,935		\$8,935	
Park & Cemetery Building	D4031		1234442 Fire Extinguisher, , Replace	15	3	12	3	EA	\$356.54	\$1,070														\$1,070								\$1,070	
Park & Cemetery Building	D5012		1234447 Distribution Panel, 200 AMP, Replace	30	10	20	1	EA	\$7,906.20	\$7,906																						\$7,906	
Park & Cemetery Building	D5037		1234462 Fire Alarm System, Office Building, Install	20	17	3	1600	SF	\$2.36	\$3,776					\$3,776																	\$3,776	
Park & Cemetery Building	D5037		1234437 Fire Alarm Control Panel, Addressable, Replace	15	2	13	1	EA	\$20,297.59	\$20,298														\$20,298								\$20,298	
Park & Cemetery Building	G2022		1234429 Parking Lots, Asphalt Pavement, Seal & Stripe	5	4	1	25500	SF	\$0.38	\$9,690		\$9,690						\$9,690									\$9,690					\$38,760	
Park & Cemetery Building	G2022		1234436 Parking Lots, Asphalt Pavement, Mill & Overlay	25	18	7	25000	SF	\$3.28	\$82,000								\$82,000														\$82,000	
Park & Cemetery Building	G2049		1279234 Shed, Wooden Framed, Asphalt Shingles, Replace	30	18	12	1310	SF	\$41.10	\$53,841																						\$53,841	
Park & Cemetery Building	G2049		1279235 Shed, Wooden Framed, Asphalt Shingles, Replace	30	18	12	1320	SF	\$41.10	\$54,252																						\$54,252	
Park & Cemetery Building	G2049		1279236 Shed, Wooden Framed, Asphalt Shingles, Replace	30	18	12	130	SF	\$41.10	\$5,343																						\$5,343	
Park & Cemetery Building	G3026		1260718 Septic Tank, 1,000 GAL, Replace	30	26	4	1	EA	\$9,970.00	\$9,970					\$9,970																	\$9,970	
Police Station	B2021		1234496 Window, Aluminum Double-Glazed 12 SF, 3+ Stories, Replace	30	27	3	35	EA	\$648.58	\$22,700					\$22,700																	\$22,700	
Police Station	B3011		1234518 Roof, Slate, Replace	5	49	0	158	SF	\$65.00	\$10,270	\$10,270					\$10,270					\$10,270					\$10,270						\$10,270	
Police Station	C1021		1234498 Interior Door, Wood Hollow-Core, Replace	20	3	17	15	EA	\$596.52	\$8,948																		\$8,948				\$8,948	
Police Station	C1031		1234475 Toleit Partitions, Wood, Replace	20	15	5	2	EA	\$465.02	\$930						\$930																\$930	
Police Station	C1033		1234490 Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers, Replace	20	5	15	15	EA	\$482.50	\$7,238																\$7,238						\$7,238	
Police Station	C3012		1234503 Interior Wall Finish, Generic Surface, Prep & Paint	8	3	5	6750	SF	\$1.45	\$9,788														\$9,788								\$19,575	
Police Station	C3021		1234525 Interior Floor Finish, Epoxy Coating, Prep & Paint	10	3	7	600	SF	\$8.74	\$5,244								\$5,244										\$5,244				\$10,488	
Police Station	C3024		1234531 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	12	3	2350	SF	\$4.80	\$11,280					\$11,280														\$11,280			\$22,560	
Police Station	C3025		1234469 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace	10	4	6	1250	SF	\$7.26	\$9,075								\$9,075										\$9,075				\$18,150	
Police Station	C3031		1239393 Interior Ceiling Finish, Concrete, Prep & Paint	10	9	1	2500	SF	\$1.96	\$4,900	\$4,900											\$4,900										\$9,800	
Police Station	C3032		1234481 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	20	10	10	950	SF	\$3.11	\$2,955											\$2,955											\$2,955	
Police Station	D2011		1234517 Toilet, Flush Tank (Water Closet), Replace	20	12	8	4	EA	\$1,055.15	\$4,221									\$4,221													\$4,221	
Police Station	D2011		1234512 Toilet, Tankless (Water Closet), Replace	20	2	18	3	EA	\$842.97	\$2,529																			\$2,529			\$2,529	
Police Station	D2014		1234473 Sink/Lavatory, Vitreous China, Replace	20	15	5	6	EA	\$861.51	\$5,169						\$5,169																\$5,169	
Police Station	D2014		1234506 Sink, Pot, Multi-compartment, Replace	30	18	12	4	EA	\$1,262.50	\$5,050														\$5,050								\$5,050	
Police Station	D2014		1234526 Sink/Lavatory, Stainless Steel, Replace	20	3	17	1	EA	\$1,054.05	\$1,054																		\$1,054				\$1,054	
Police Station	D2017		1234471 Shower, Ceramic Tile, Replace	30	20	10	3	EA	\$1,983.78	\$5,951																		\$1,054				\$5,951	
Police Station	D2023		1234491 Water Heater, 40 GAL, Replace	15	12	3	1	EA	\$10,698.82	\$10,699					\$10,699															\$10,699		\$21,398	
Police Station	D2029		1234487 Plumbing System, Domestic Supply, Replace	40	38	2	5912	SF	\$5.84	\$34,526		\$34,526																				\$34,526	
Police Station	D3021		1234484 Boiler, 699 MBH, Replace	25	25	0	1	EA	\$23,840.87	\$23,841	\$23,841																						\$23,841
Police Station	D3032		1234493 Condensing Unit/Heat Pump, 3.5 TON, Replace	15	9	6	1	EA	\$4,129.27	\$4,129							\$4,129															\$4,129	
Police Station	D3032		1234511 Condensing Unit/Heat Pump, 3.5 TON, Replace	15	2	13	1	EA	\$4,129.27	\$4,129															\$4,129							\$4,129	
Police Station	D3051		1234508 Unit Heater, Hydronic, 8 to 12 MBH, Replace	20	17	3	3	EA	\$880.85	\$2,643					\$2,643																	\$2,643	
Police Station	D3051		1234533 Furnace, Electric, 180 MBH, Replace	20	2	18	1	EA	\$10,024.52	\$10,025																		\$10,025				\$10,025	
Police Station	D3051		1234465 Radiator, Cast Iron, Replace	50	30	20	21	EA	\$677.60	\$14,230																				\$14,230		\$14,230	
Police Station	D4031		1234479 Fire Extinguisher, , Replace	15	5	10	6	EA	\$356.54	\$2,139																							\$2,139
Police Station	D5012		1234489 Transfer Switch, Automatic (ATS), 600 V, 150 Amp, Replace	18	12	6	1	EA	\$8,478.33	\$8,478							\$8,478															\$8,478	
Police Station	D5012		1234482 Distribution Panel, 600 AMP, Replace	30	20	10	1	EA	\$12,023.82	\$12,024														\$12,024								\$12,024	
Police Station	D5012		1234492 Distribution Panel, 100 AMP, Replace	30	20	10	1	EA	\$5,079.93	\$5,080															\$5,080							\$5,080	
Police Station	D5012		1234529 Distribution Panel, 100 AMP, Replace	30	20	10	1	EA	\$5,079.93	\$5,080															\$5,080							\$5,080	
Police Station	D5012		1234510 Distribution Panel, 125 AMP, Replace	30	20	10	1	EA	\$7,906.20	\$7,906															\$7,906							\$7,906	
Police Station	D5019		1234516 Electrical Distribution System, Office Building, Upgrade	40	35	5	5912	SF	\$27.25	\$161,102																						\$161,102	
Police Station	D5029		1239390 Lighting System, Interior, Office Building, Upgrade	25	20	5	5912	SF	\$9.24	\$54,627																						\$54,627	
Police Station	D5037		1234515 Fire Alarm Control Panel, Addressable, Replace	15	10	5	1	EA	\$20,297.59	\$20,298																						\$20,298	
Police Station	D5037		1234485 Fire Alarm System, Office Building, Install	20	14	6	5912	SF	\$2.36	\$13,952																						\$13,952	
Police Station	D5092		1234514 Exit Lighting Fixture, w/ Battery, Replace or Install	10	10	0	4	EA	\$418.95	\$1,676	\$1,676																					\$1,676	
Police Station	D5092		1234470 Generator, Gas or Gasoline, 35 kW to 60 kW, Replace	25	23	2	1	EA	\$41,300.30	\$41,300																						\$41,300	
Police Station	E1094		1234521 Residential Appliances, Range, Gas, Replace	15	12	3	1	EA	\$768.11	\$768					\$768														\$768			\$1,536	
Police Station	E1094		1234528 Residential Appliances, Range Hood, Vented or Ventless, Replace	15	12	3	1	EA	\$271.61	\$272					\$272																	\$543	
Police Station	E1094		1234477 Residential Appliances, Refrigerator, 14-18 CF, Replace	15	1	14	1	EA	\$956.04	\$956																						\$956	
Police Station	E2012		1234520 Kitchen Counter, Plastic Laminate, Postformed, Replace	10	1	9	15	LF	\$43.90	\$659																						\$659	
Police Station	E2012		1234505 Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30", Replace	20	3	17	15	EA	\$1,062.84	\$16,243																						\$16,243	
Police Station	G2022		1234480 Parking Lots, Asphalt Pavement, Seal & Stripe	5	3	2	5490	SF	\$0.38	\$2,086		\$2,086																\$2,086				\$2,086	
Police Station	G2022		1234495 Parking Lots, Asphalt Pavement, Mill & Overlay	25	10	15																											

Facility	Uniformat Code	ID	Cost Description	Lifespan (EUL)	Age	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019		2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate		
Town Hall	D2018	1234818	Drinking Fountain, Refrigerated, Replace	10	1	9	6	E	\$1,257.51	\$7,545											\$7,545									\$7,545		\$15,090			
Town Hall	D2021	1234803	Backflow Preventer, Domestic, 0.75", Replace	15	1	14	1	E	\$1,010.43	\$1,010																\$1,010						\$1,010			
Town Hall	D2023	1234846	Water Heater, Electric, Commercial, 20 GAL, Replace	15	1	14	1	E	\$6,963.24	\$6,963																\$6,963						\$6,963			
Town Hall	D2023	1234860	Domestic Circulator or Booster Pump, 2 HP, Replace	20	1	19	1	E	\$5,945.45	\$5,945																					\$5,945	\$5,945			
Town Hall	D2023	1234840	Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	E	\$8,839.12	\$8,839																					\$8,839	\$8,839			
Town Hall	D2023	1234798	Domestic Circulator or Booster Pump, 1 HP, Replace	20	1	19	1	E	\$4,287.43	\$4,287																					\$4,287	\$4,287			
Town Hall	D2023	1234829	Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	E	\$8,839.12	\$8,839																					\$8,839	\$8,839			
Town Hall	D2043	1234876	Sump Pump, 3 HP, Replace	15	1	14	1	E	\$2,062.81	\$2,063																\$2,063						\$2,063			
Town Hall	D3021	1234887	Boiler, Gas, 101 to 125 MBH, Replace	25	8	17	1	E	\$11,460.41	\$11,460																						\$11,460			
Town Hall	D3032	1234884	Condensing Unit/Heat Pump, Split System, 10 Ton, Replace	15	1	14	1	E	\$15,825.28	\$15,825															\$15,825							\$15,825			
Town Hall	D3032	1234847	Condensing Unit/Heat Pump, Split System, 1 Ton, Replace	15	1	14	1	E	\$2,118.94	\$2,119															\$2,119							\$2,119			
Town Hall	D3032	1234881	Condensing Unit/Heat Pump, Split System, 1 Ton, Replace	15	1	14	1	E	\$2,118.94	\$2,119															\$2,119							\$2,119			
Town Hall	D3032	1234838	Condensing Unit/Heat Pump, Split System, 10 Ton, Replace	15	1	14	1	E	\$15,825.28	\$15,825															\$15,825							\$15,825			
Town Hall	D3032	1234814	Condensing Unit/Heat Pump, Split System, 8 Ton, Replace	15	1	14	1	E	\$15,825.28	\$15,825															\$15,825							\$15,825			
Town Hall	D3032	1234811	Condensing Unit/Heat Pump, Split System, 1 Ton, Replace	15	0	15	1	E	\$2,118.94	\$2,119																	\$2,119						\$2,119		
Town Hall	D3041	1234839	Make-Up Air Unit, 6,000 CFM, Replace	20	1	19	1	E	\$44,658.41	\$44,658																					\$44,658	\$44,658			
Town Hall	D3042	1234821	Exhaust Fan, Centrifugal, 5,001 to 8,000 CFM, Replace	15	1	14	1	E	\$5,570.04	\$5,570															\$5,570							\$5,570			
Town Hall	D3051	1234809	Unit Heater, Hydronic, 37 to 85 MBH, Replace	20	1	19	6	E	\$1,900.28	\$11,402																					\$11,402	\$11,402			
Town Hall	D3051	1234850	Furnace, Electric, 51 to 75 MBH, Replace	20	1	19	1	E	\$4,625.78	\$4,626																					\$4,626	\$4,626			
Town Hall	D3051	1234822	Unit Heater, Hydronic, 24 MBH, Replace	20	1	19	14	E	\$1,516.80	\$21,235																					\$21,235	\$21,235			
Town Hall	D3068	1234877	HVAC Controls, Building Automation System (BAS), Upgrade	20	1	19	19364	SF	\$5.36	\$103,791																					\$103,791	\$103,791			
Town Hall	D4011	1234888	Backflow Preventer, Fire Suppression, 6", Replace	20	1	19	1	E	\$9,528.08	\$9,528																					\$9,528	\$9,528			
Town Hall	D4012	1234889	Fire Pump, 10 HP, Replace	20	1	19	1	E	\$7,088.99	\$7,089																					\$7,089	\$7,089			
Town Hall	D4019	1234813	Sprinkler Heads (per SF), . Replace	20	1	19	19364	SF	\$1.33	\$25,754																					\$25,754	\$25,754			
Town Hall	D4031	1234851	Fire Extinguisher - Type ABC, . Replace	15	1	14	10	E	\$314.93	\$3,149															\$3,149							\$3,149			
Town Hall	D5037	1234864	Fire Alarm Control Panel, Addressable, Replace	15	1	14	1	E	\$20,297.59	\$20,298															\$20,298							\$20,298			
Town Hall	D5037	1234880	Fire Alarm System, Office Building, Install	20	1	19	19364	SF	\$2.36	\$45,699																					\$45,699	\$45,699			
Town Hall	D5092	1234872	Exit Lighting Fixture, w/ Battery, Replace	10	1	9	22	E	\$418.95	\$9,217												\$9,217									\$9,217	\$18,434			
Town Hall	E1093	1234882	Commercial Kitchen, Commercial Microwave, Replace	10	1	9	1	E	\$1,037.50	\$1,038																					\$1,038	\$2,075			
Town Hall	E1093	1234879	Commercial Kitchen, Food Warmer, Replace	15	1	14	1	E	\$1,551.91	\$1,552																\$1,552						\$1,552			
Town Hall	E1094	1234819	Residential Appliances, Refrigerator, 14-18 CF, Replace	15	1	14	1	E	\$956.04	\$956																	\$956						\$956		
Town Hall	G2022	1234861	Parking Lots, Asphalt Pavement, Seal & Stripe	5	0	5	15250	SF	\$3.38	\$5,795							\$5,795										\$5,795					\$5,795	\$23,180		
Water Pump Station - North	B2011	1234712	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	25	10	15	100	SF	\$41.28	\$4,128																						\$4,128	\$4,128		
Water Pump Station - North	B2032	1234740	Exterior Door, Steel, Replace	25	10	15	1	E	\$950.12	\$950																						\$950	\$950		
Water Pump Station - North	B3011	1234730	Roof, Modified Bituminous, Replace	20	15	5	625	SF	\$9.00	\$5,625							\$5,625															\$5,625	\$5,625		
Water Pump Station - North	D2019	1234733	Emergency Eye Wash & Shower Station, . Replace	15	5	10	1	E	\$2,114.70	\$2,115												\$2,115										\$2,115	\$2,115		
Water Pump Station - North	D2023	1234713	Domestic Circulation/Booster Pump, 50 HP, Replace	25	15	10	1	E	\$17,000.00	\$17,000												\$17,000										\$17,000	\$17,000		
Water Pump Station - North	D2023	1234742	Domestic Circulation/Booster Pump, 50 HP, Replace	25	15	10	1	E	\$17,000.00	\$17,000												\$17,000										\$17,000	\$17,000		
Water Pump Station - North	D2043	1234720	Sump Pump, 20 HP, Replace	20	10	10	1	E	\$7,158.47	\$7,158												\$7,158											\$7,158	\$7,158	
Water Pump Station - North	D3049	1279224	Full HVAC System Upgrade, Medium Complexity, Replace	40	40	0	616	SF	\$21.00	\$12,936	\$12,936																						\$12,936	\$12,936	
Water Pump Station - North	D3051	1234725	Unit Heater, Natural Gas, 11 to 25 MBH, Replace	20	15	5	1	E	\$3,928.36	\$3,928							\$3,928																\$3,928	\$3,928	
Water Pump Station - North	D4031	1234705	Fire Extinguisher - Type ABC, . Replace	15	5	10	2	E	\$314.93	\$630												\$630											\$630	\$630	
Water Pump Station - North	D5012	1234750	Transfer Switch, Automatic (ATS), 800 V, 600 Amp, Replace	18	15	3	1	E	\$16,318.29	\$16,318																							\$16,318	\$16,318	
Water Pump Station - North	D5012	1234718	Motor Control Center w/ Main Breaker, AMP, Replace	30	15	15	1	E	\$26,276.97	\$26,277																	\$26,277						\$26,277	\$26,277	
Water Pump Station - North	D5029	1238368	Lighting System, Interior, Office Building, Upgrade	25	20	5	616	SF	\$9.24	\$5,692							\$5,692																\$5,692	\$5,692	
Water Pump Station - North	D5037	1234749	Fire Alarm System, Office Building, Install	20	20	0	616	SF	\$2.36	\$1,454	\$1,454																					\$1,454	\$2,908		
Water Pump Station - North	D5092	1234716	Generator, Gas or Gasoline, 65 kW to 125 kW, Replace	25	15	10	1	E	\$71,930.70	\$71,930												\$71,930											\$71,930	\$71,930	
Water Pump Station - North	G2012	1279225	Roadways, Asphalt Pavement	25	10	15	800	SF	\$2.00	\$1,596																		\$1,596					\$1,596	\$1,596	
Water Pump Station - Perkins	B2011	1234794	Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint	10	7	3	240	SF	\$3.83	\$918																\$918							\$918	\$1,836	
Water Pump Station - Perkins	B2011	1238439	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint	25	7	18	480	SF	\$41.28	\$19,816																							\$19,816	\$19,816	
Water Pump Station - Perkins	B3011	1234751	Roof, Asphalt Shingle, Replace	20	18	2	855	SF	\$3.42	\$2,924																							\$2,924	\$2,924	
Water Pump Station - Perkins	C3021	1234793	Interior Floor Finish, Epoxy Coating, Prep & Paint	10	5	5	768	SF	\$8.74	\$6,712							\$6,712											\$6,712					\$13,424	\$13,424	
Water Pump Station - Perkins	D2019	1234797	Emergency Eye Wash, . Replace	15	7	8	1	E	\$1,417.04	\$1,417												\$1,417											\$1,417	\$1,417	
Water Pump Station - Perkins	D2023	1234785	Domestic Circulation/Booster Pump, 50 HP, Replace	25	12	13	1	E	\$17,000.00	\$17,000															\$17,000								\$17,000	\$17,000	
Water Pump Station - Perkins	D3045	1234761	Flow Control Valve, Motorized, 10", Replace	15	8	7	1	E	\$15,144.66	\$15,145																							\$15,145	\$15,145	
Water Pump Station - Perkins	D3049	1279230	Full HVAC System Upgrade, Medium Complexity, Replace	40	40	0	768	SF	\$21.00	\$16,128	\$16,128																							\$16,128	\$16,128
Water Pump Station - Perkins	D3051	1234760	Unit Heater, Electric, 10 kW, Replace	20	12	8	1	E	\$1,974.37	\$1,974												\$1,974											\$1,974	\$1,974	
Water Pump Station - Perkins																																			

	Uniform Code	Cost Description	Lifespan	EU/E	Age	RUL	Quantity	Unit	Unit Cost	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency	Repair Estimate	
Water Treatment Plant	D2021	1234580 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234623 Backflow Preventer, 6 INCH, Replace	15	1	14	1	EA		\$9,528.08	\$9,528															\$9,528								\$9,528	
Water Treatment Plant	D2021	1234601 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234552 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234574 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234695 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234631 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234589 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234681 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234652 Backflow Preventer, 6 INCH, Replace	15	1	14	1	EA		\$9,528.08	\$9,528															\$9,528								\$9,528	
Water Treatment Plant	D2021	1234685 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234611 Backflow Preventer, 6 INCH, Replace	15	1	14	1	EA		\$9,528.08	\$9,528															\$9,528								\$9,528	
Water Treatment Plant	D2021	1234551 Backflow Preventer, 6 INCH, Replace	15	1	14	1	EA		\$9,528.08	\$9,528															\$9,528								\$9,528	
Water Treatment Plant	D2021	1234548 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234596 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234686 Backflow Preventer, 4 INCH, Replace	15	1	14	1	EA		\$9,528.08	\$9,528															\$9,528								\$9,528	
Water Treatment Plant	D2021	1234549 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234628 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234637 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234642 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234561 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234545 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234660 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234600 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234643 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234588 Flow Control Valve, Motorized, 2", Replace	15	1	14	1	EA		\$1,855.27	\$1,855															\$1,855								\$1,855	
Water Treatment Plant	D2021	1234635 Backflow Preventer, Domestic, 4", Replace	15	1	14	1	EA		\$6,001.42	\$6,001															\$6,001								\$6,001	
Water Treatment Plant	D2023	1234620 Water Heater, Gas, Commercial, 80 GAL, Replace	15	1	14	1	EA		\$10,698.82	\$10,699															\$10,699								\$10,699	
Water Treatment Plant	D2023	1234638 Water Filter, , Replace	15	1	14	1	EA		\$8,975.51	\$8,976															\$8,976								\$8,976	
Water Treatment Plant	D2023	1234666 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																					\$3,414		\$3,414	
Water Treatment Plant	D2023	1234554 Domestic Circulator or Booster Pump, 100 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234639 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234647 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234582 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234645 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234567 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234634 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234559 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234654 Domestic Circulator or Booster Pump, 2 HP, Replace	20	1	19	1	EA		\$5,945.45	\$5,945																						\$5,945		\$5,945
Water Treatment Plant	D2023	1234605 Domestic Circulator or Booster Pump, 1 HP, Replace	20	1	19	1	EA		\$4,287.43	\$4,287																						\$4,287		\$4,287
Water Treatment Plant	D2023	1234581 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234674 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234646 Domestic Circulator or Booster Pump, 2 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234678 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234602 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234539 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234694 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234591 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234563 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234557 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234606 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234586 Domestic Circulator or Booster Pump, 15 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234633 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234655 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234691 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																						\$3,414		\$3,414
Water Treatment Plant	D2023	1234594 Domestic Circulator or Booster Pump, 3 HP, Replace	20	1	19	1	EA		\$8,839.12	\$8,839																						\$8,839		\$8,839
Water Treatment Plant	D2023	1234625 Domestic Circulator or Booster Pump, 2 HP, Replace	20	1	19	1	EA		\$15,632.22	\$15,632																						\$15,632		\$15,632
Water Treatment Plant	D2023	1234651 Domestic Circulator or Booster Pump, 0.5 HP, Replace	20	1	19	1	EA		\$3,414.40	\$3,414																								

Facility	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate					
Water Treatment Plant	D5012		1234592 Variable Frequency Drive (VFD), 20 HP, Replace/Install	20	1	19	1	EA	\$9,180.20	\$9,180																				\$9,180		\$9,180					
Water Treatment Plant	D5012		1234669 Variable Frequency Drive (VFD), 20 HP, Replace/Install	20	1	19	1	EA	\$9,180.20	\$9,180																				\$9,180		\$9,180					
Water Treatment Plant	D5037		1234683 Fire Alarm Control Panel, Addressable, Replace	15	1	14	1	EA	\$20,297.59	\$20,298																\$20,298							\$20,298				
Water Treatment Plant	D5037		1234593 Fire Alarm System, Office Building, Install	20	1	19	7500	SF	\$2.36	\$17,700																				\$17,700		\$17,700					
Water Treatment Plant	D5092		1234562 Exit Lighting Fixture, LED, Replace	10	1	9	7	EA	\$405.01	\$2,835											\$2,835									\$2,835		\$5,670					
Water Treatment Plant	E1027		1234682 Dishwasher, Laboratory, Replace	10	1	9	1	EA	\$5,205.70	\$5,206											\$5,206									\$5,206		\$10,411					
Water Treatment Plant	E1027		1234564 Laboratory Exhaust Hood, 4 LF, Replace	15	1	14	1	EA	\$2,633.87	\$2,634															\$2,634							\$2,634					
Water Treatment Plant	E1093		1234583 Commercial Kitchen, Refrigerator, 2-Door Reach-In, Replace	15	1	14	1	EA	\$4,256.00	\$4,256																\$4,256							\$4,256				
Water Treatment Plant	E2012		1234615 Kitchen Counter, Solid Surface, Replace	10	1	9	15	LF	\$101.62	\$1,524																				\$1,524		\$3,049					
Water Treatment Plant	E2012		1234693 Kitchen Cabinet, Base and Wall Section, Metal, Replace	20	1	19	15	LF	\$467.63	\$7,014																				\$7,014		\$7,014					
Water Treatment Plant	F1041		1234613 Dehumidifier & Control, 4,500 CFM, 150 LB, Replace	15	1	14	1	EA	\$89,695.56	\$89,696																\$89,696							\$89,696				
Water Treatment Plant	F1041		1234553 Dehumidifier & Control, 4,500 CFM, 150 LB, Replace	15	1	14	1	EA	\$89,695.56	\$89,696																\$89,696							\$89,696				
Totals, Unescalated												\$293,966	\$107,839	\$157,898	\$414,124	\$167,816	\$488,069	\$434,340	\$228,873	\$37,255	\$226,220	\$873,688	\$331,377	\$138,246	\$93,242	\$567,066	\$399,011	\$93,434	\$143,759	\$232,073	\$1,109,098	\$932,732	\$7,470,125				
Totals, Escalated (3.0% inflation, compounded annually)												\$293,966	\$111,074	\$167,514	\$452,524	\$188,878	\$565,805	\$518,624	\$281,486	\$47,193	\$295,165	\$1,174,164	\$458,703	\$197,106	\$136,930	\$857,738	\$621,646	\$149,935	\$237,612	\$395,089	\$1,944,810	\$1,684,618					\$10,780,578

Appendix F: Equipment Inventory List

D10 CONVEYING													
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Datplate Yr	Barcode	Qty	
1	1234351	D1011	Elevator [288-P-14]	2500 LB	Library	Elevator	Magnetek	SS-88	No tag/plate found	1999			
2	1234848	D1011	Elevator	No tag/plate found	Town Hall	Elevator	ThyssenKrupp	TAC32T	No tag/plate found	2018			
D20 PLUMBING													
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Datplate Yr	Barcode	Qty	
1	1234803	D2021	Backflow Preventer	3/4 IN	Town Hall	Mechanical room	Watts	LF900	038462	2018			
2	1234696	D2021	Backflow Preventer	4 INCH	Water Treatment Plant	Water treatment	Pratt	No tag/plate found	No tag/plate found	2018			
3	1234585	D2021	Backflow Preventer	4 INCH	Water Treatment Plant	Water treatment	Pratt	No tag/plate found	No tag/plate found	2018			
4	1234597	D2021	Backflow Preventer	4 INCH	Water Treatment Plant	Water treatment	Pratt	No tag/plate found	No tag/plate found	2018			
5	1234686	D2021	Backflow Preventer	4 INCH	Water Treatment Plant	Water treatment	Pratt	No tag/plate found	No tag/plate found	2018			
6	1234543	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
7	1234663	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
8	1234565	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
9	1234569	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
10	1234623	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
11	1234652	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
12	1234611	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
13	1234551	D2021	Backflow Preventer	6 INCH	Water Treatment Plant	Water treatment	Pratt	0600-581A-1	No tag/plate found	2018			
14	1234635	D2021	Backflow Preventer	4 INCH	Water Treatment Plant	Booster station	Cia val	50-01B	No tag/plate found	2018			
15	1234548	D2021	Flow Control Valve [CV12]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
16	1234660	D2021	Flow Control Valve [CV-13]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
17	1234628	D2021	Flow Control Valve [CV15]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
18	1234637	D2021	Flow Control Valve [CV-22]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
19	1234643	D2021	Flow Control Valve [CV-25]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
20	1234644	D2021	Flow Control Valve [CV-26]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
21	1234580	D2021	Flow Control Valve [CV-33]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
22	1234552	D2021	Flow Control Valve [CV-33]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
23	1234600	D2021	Flow Control Valve [FV501]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
24	1234588	D2021	Flow Control Valve [FV502]	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
25	1234546	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
26	1234576	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
27	1234601	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
28	1234574	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
29	1234695	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
30	1234631	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
31	1234589	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
32	1234681	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
33	1234685	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
34	1234596	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
35	1234549	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
36	1234642	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
37	1234561	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
38	1234545	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
39	1234547	D2021	Flow Control Valve	No tag/plate found	Water Treatment Plant	Water treatment	Limitorque	QX-2	No tag/plate found	2018			
40	1234570	D2021	Water Flow Meter	4 HP	Water Treatment Plant	Booster station	Siemens	SITRANS F M MAG 500	N1K1150025	2018			
41	1234620	D2021	Water Flow Meter [FIT-420]	No tag/plate found	Water Treatment Plant	Water treatment	Siemens	SITRANS F M MAG 5000	N1K21400048	2018			
42	1234156	D2021	Water Flow Meter	No tag/plate found	DPW Building - New	Mechanical room	Sensus	No tag/plate found	75035647	2000			
43	1234713	D2023	Domestic Circulation/Booster Pump	50 HP	Water Pump Station - North		Baldor Reliance	No tag/plate found	No tag/plate found				
44	1234785	D2023	Domestic Circulation/Booster Pump	50 HP	Water Pump Station - Perkins	Main building	Toshiba	No tag/plate found	92504405				
45	1234742	D2023	Domestic Circulation/Booster Pump	50 HP	Water Pump Station - North	Main building	Baldor Reliance	No tag/plate found	8050464.F.U.M.H				
46	1234581	D2023	Domestic Circulation/Booster Pump	3 HP	Water Treatment Plant	Water treatment	Saitcho	No tag/plate found	342-CVCL				
47	1234554	D2023	Domestic Circulator or Booster Pump [1]	100 HP	Water Treatment Plant	Booster station	Baldor Reliance	No tag/plate found	718083	2018			
48	1234602	D2023	Domestic Circulator or Booster Pump [2]	3 HP	Water Treatment Plant	Booster station	Baldor Reliance	No tag/plate found	C1803011317	2018			
49	1234594	D2023	Domestic Circulator or Booster Pump [3]	3 HP	Water Treatment Plant	Booster station	Baldor Reliance	No tag/plate found	Super E	2018			
50	1234694	D2023	Domestic Circulator or Booster Pump [4]	3 HP	Water Treatment Plant	Booster station	Baldor Reliance	No tag/plate found	Super E	2018			
51	1234605	D2023	Domestic Circulator or Booster Pump	1 HP	Water Treatment Plant	Water treatment	Saitcho	342-CVCL	Inaccessible	2018			
52	1234666	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	KOH room	LMI	AD951-930SI	17034279958-2	2018			
53	1234582	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	KOH room	LMI	AD951-930SI	18014418596-4	2018			
54	1234645	D2023	Domestic Circulator or Booster Pump	0.5 HP	Water Treatment Plant	Water treatment	Saitcho	342-CVCL	7180837	2018			
55	1234634	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	Phosphate	LMI	AD951-930SI	18014418596-2	2018			
56	1234559	D2023	Domestic Circulator or Booster Pump	Inaccessible	Water Treatment Plant	Potassium permagnatate room	LMI	AD951-930SI	Inaccessible	2018			
57	1234539	D2023	Domestic Circulator or Booster Pump	0.5 HP	Water Treatment Plant	Potassium permagnatate room	Baldor Reliance	05C063W162G1	No tag/plate found	2018			
58	1234557	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	KOH room	LMI	AD951-930SI	18014418600-2	2018			
59	1234633	D2023	Domestic Circulator or Booster Pump	0.5 HP	Water Treatment Plant	Chlorine room	Saitcho	342-CVCL	Inaccessible	2018			
60	1234655	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	Potassium permagnatate room	LMI	AD951-930SI	Inaccessible	2018			
61	1234691	D2023	Domestic Circulator or Booster Pump	0.5 HP	Water Treatment Plant	Potassium permagnatate room	Marathon Electric	SXK56T17X632B83	No tag/plate found	2018			
62	1234651	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	KOH room	LMI	AD951-930SI	18014418596-2	2018			
63	1234587	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	Phosphate	LMI	AD951-930SI	18014418596-2	2018			
64	1234798	D2023	Domestic Circulator or Booster Pump	1 HP	Town Hall	Mechanical room	Interlek	Magna1 32-100 F 165	10005213	2018			
65	1234647	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706365-100	No tag/plate found	2018			
66	1234567	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706367-100	No tag/plate found	2018			
67	1234674	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706367-100	No tag/plate found	2018			
68	1234591	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706367-100	No tag/plate found	2018			
69	1234563	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706367-100	No tag/plate found	2018			
70	1234606	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706367-100	No tag/plate found	2018			
71	1234598	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706144-100	No tag/plate found	2018			
72	1234542	D2023	Domestic Circulator or Booster Pump	15 HP	Water Treatment Plant	Water treatment	US motors	17706144-100	No tag/plate found	2018			
73	1234860	D2023	Domestic Circulator or Booster Pump	5 HP	Town Hall	Mechanical room	Spiritherm	9052	8907	2018			
74	1234854	D2023	Domestic Circulator or Booster Pump	No tag/plate found	Water Treatment Plant	Booster station	Dakota pump	No tag/plate found	No tag/plate found	2018			
75	1234646	D2023	Domestic Circulator or Booster Pump	2 HP	Water Treatment Plant	Water treatment	Toshiba	0024SDSR41A-P	17110311518	2018			
76	1234625	D2023	Domestic Circulator or Booster Pump	2 HP	Water Treatment Plant	Water treatment	Toshiba	0024SDSR41A-P	17110311517	2018			
77	1234639	D2023	Domestic Circulator or Booster Pump	5 HP	Water Treatment Plant	Chlorine room	Flex-pro	M-324-SNR	000910516-180719	2018			
78	1234840	D2023	Domestic Circulator or Booster Pump	3 HP	Town Hall	Mechanical room	Grundfos	Magna 32-100F 165	No tag/plate found	2018			
79	1234678	D2023	Domestic Circulator or Booster Pump	3 HP	Water Treatment Plant	Chlorine room	Flex-pro	M-324-SNR	000910516-180719	2018			
80	1234577	D2023	Domestic Circulator or Booster Pump	30 HP	Water Treatment Plant	Water treatment	US motors	17706364-100	No tag/plate found	2018			
81	1234829	D2023	Domestic Circulator or Booster Pump [P-3]	3 HP	Town Hall	Mechanical room	Grundfos	UPS 30-80 F	No tag/plate found	2018			
82	1234638	D2023	Water Filter		Water Treatment Plant	Booster station	Harmonic Guard	HGPO1000AW1C0000	No tag/plate found	2018			
83	1234354	D2023	Water Heater	10 GAL	Library	Throughout building	State	P6 10 10MS912 K	Inaccessible	2016			
84	1234341	D2023	Water Heater	10 GAL	Library	Throughout building	State		Inaccessible	2016			
85	1234419	D2023	Water Heater	40 GAL	Park & Cemetery Building	Restrooms	American Water Heater Co.	EBN-40LB100	1651104368524	2017			
86	1234491	D2023	Water Heater	40 GAL	Basement	Police Station	A. O. Smith	GCV 40 100	9211681001	2007			
87	1234846	D2023	Water Heater	20 GAL	Town Hall	Boiler room	Ruud	EGSP20	Q351726617	2018			
88	1234197	D2023	Water Heater	50 GAL	DPW Building - New	Mechanical room	AO Smith	FCG 50 246	MC0000-0042220-544				

89	1234239	D2023	Water Heater		GAL	Fire Station	Boiler room	American Water Heater Co.	BFG6140S403NOV	08081408543	2008		
90	1234620	D2023	Water Heater		80 GAL	Mechanical room	Boiler room	HTP	GSU-80	No tag/plate found	2018		
91	1234720	D2043	Sump Pump		5 HP	Water Pump Station - North	Main building	No tag/plate found	No tag/plate found	No tag/plate found			
92	1234550	D2043	Sump Pump		3 HP	Water Treatment Plant	Water treatment	No tag/plate found	No tag/plate found	No tag/plate found	2018		
93	1234876	D2043	Sump Pump		3 HP	Town Hall	Basement	No tag/plate found	No tag/plate found	No tag/plate found	2018		

D30 HVAC													
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty	
1	1234570	D3021	Boiler	399 MBH	Water Treatment Plant	Mechanical room	Lochinvar	WHN100	1807 109183462	2018			
2	1234257	D3021	Boiler	1010 MBH	Boiler room	Fire Station	Well-McLain	488	No tag/plate found	1997			
3	1234327	D3021	Boiler	399 MBH	Library	Sprinkler room	Lochinvar	KBNA400	114H10318115	2014			
4	1234484	D3021	Boiler	699 MBH	Police Station	Basement	Well-McLain	488R	No tag/plate found	1993			
5	1234887	D3021	Boiler	125 MBH	Town Hall	Mechanical room	Burnham	No tag/plate found	No tag/plate found	2011			
6	1234314	D3022	Condensate Return Station	No tag/plate found	Sprinkler room	Library	Bell & Gossett	658459	No tag/plate found	1998			
7	1234575	D3022	Deaerator	950 gpm	Water Treatment Plant	Water treatment	Delta	A7-080SA	No tag/plate found	2018			
8	1234333	D3031	Chiller	50 TON	Library	Roof	Trane	CGAF-C50EAAA1TW	J98E81456	1998			
9	1234511	D3032	Condensing Unit/Heat Pump	3.5 TON	Police Station	Site	Carrier	24AB8348A510	1717E03751	2017			
10	1234493	D3032	Condensing Unit/Heat Pump	3.5 TON	Police Station	Site	International Comfort Products	CAE032537277	E032537277	2010			
11	1234207	D3032	Condensing Unit/Heat Pump	TON	DPW Building - New	Site	Rheem	RAWD-076CAZ	6416 M1900 19302				
12	1234881	D3032	Condensing Unit/Heat Pump [AccU-3]	1 TON	Town Hall	Roof	Mitsubishi Electric	PUY-A12NKA7	72U06850A	2018			
13	1234847	D3032	Condensing Unit/Heat Pump [ACCU-4]	1 TON	Town Hall	Roof	Mitsubishi Electric	SUZ-KA12NA	No tag/plate found	2018			
14	1234811	D3032	Condensing Unit/Heat Pump [ACCU-5]	1 TON	Town Hall	Roof	Mitsubishi Electric	PUZ-A12NKA7	62U00436A	2019			
15	1234661	D3032	Condensing Unit/Heat Pump [Heat pump 2]	Inaccessible	Water Treatment Plant	Building exterior	Mitsubishi	Inaccessible	Inaccessible	2018			
16	1234641	D3032	Condensing Unit/Heat Pump	4 TON	Water Treatment Plant	Site	Trane	4TRT704BA1000BA	183144GD2F	2018			
17	1234884	D3032	Condensing Unit/Heat Pump	10 TON	Town Hall	Roof	Mitsubishi	PURY-P120TKMU-A	77W03026	2018			
18	1234838	D3032	Condensing Unit/Heat Pump	10 TON	Town Hall	Roof	Mitsubishi	PURY-P120TKMU-A	79W03106	2018			
19	1234610	D3032	Condensing Unit/Heat Pump	3 TONS	Water Treatment Plant	Booster station	Bard	W36A2-C15BWXXXJ	311C183529021-02	2018			
20	1234377	D3032	Condensing Unit/Heat Pump	TON	Library	Site	Reznor	No tag/plate found	No tag/plate found	2014			
21	1234814	D3032	Condensing Unit/Heat Pump	8 TON	Town Hall	Roof	Mitsubishi	PURY-P96TKMU-A	79W03321	2018			
22	1234640	D3032	Ductless Split System	Inaccessible	Water Treatment Plant	Building exterior	Mitsubishi	Inaccessible	Inaccessible	2018			
23	1234224	D3041	Air Handler	No tag/plate found	Fire Station	Attic	Hartzel	DN24-6M	9388				
24	1234334	D3041	Make-Up Air Unit	No tag/plate found	Library	Roof	Reznor	No tag/plate found	No tag/plate found	2014			
25	1234839	D3041	Make-Up Air Unit	6000 CFM	Town Hall	Attic	Mitsubishi	CMB-P1016NU-HA1	72W03475	2018			
26	1234269	D3041	Unit Ventilator	CFM	Fire Station	Throughout interior							5
27	1234373	D3041	Unit Ventilator	CFM	Library	Second floor							10
28	1234371	D3041	Unit Ventilator	No tag/plate found	Library	First floor	No tag/plate found	No tag/plate found	No tag/plate found	2014			10
29	1238362	D3041	Variable Air Volume (VAV) Unit	Inaccessible	Library	Throughout interior	No tag/plate found	Inaccessible	Inaccessible	2014			30
30	1234175	D3042	Exhaust Fan	CFM	DPW Building - New	Garage				2018			
31	1234345	D3042	Exhaust Fan [EF-1]	No tag/plate found	Library	Roof	Greenheck	GB-140-4X-OD	98G07662				
32	1234821	D3042	Exhaust Fan [EF-2]	5000 CFM	Town Hall	Attic	Greenheck	SQ-97-V6-4-X	15276033	2018			
33	1234349	D3042	Exhaust Fan [EF-3]	2000 CFM	Library	Utility closet	Greenheck	BSO-130-4	9808086				
34	1234303	D3042	Exhaust Fan	Inaccessible	Library	Roof	Greenheck	Inaccessible	Inaccessible				
35	1234208	D3042	Exhaust Fan	No tag/plate found	DPW Building - New	Vehicle repair	No tag/plate found	No tag/plate found	No tag/plate found	2018			
36	1234230	D3042	Exhaust Fan	Inaccessible	Fire Station	Hose drying tower	Pyro Vent	Inaccessible	Inaccessible				
37	1234336	D3045	Distribution Pump [P-1]	3 HP	Library	Sprinkler room	Bell & Gossett	2RCX-X	2111398	1999			
38	1234360	D3045	Distribution Pump [P-2]	3 HP	Library	Sprinkler room	Bell & Gossett	2RCX-X	2111399	1999			
39	1234761	D3045	Flow Control Valve	No tag/plate found	Water Pump Station - Perkins	Main building	No tag/plate found	No tag/plate found	No tag/plate found				
40	1234533	D3051	Furnace	180 MBH	Police Station	Electrical room	Carrier	FV4CNB005	1617A82429	2017			
41	1234850	D3051	Furnace	No tag/plate found	Town Hall	Attic	No tag/plate found	No tag/plate found	No tag/plate found	2018			
42	1234162	D3051	Furnace	25 MBH	DPW Building - New	Administration	Rheem	Criterion II	Inaccessible				5
43	1234465	D3051	Radiator	kW	Police Station	Throughout interior				1935			21
44	1234508	D3051	Unit Heater	kW	Police Station	Throughout interior							3
45	1234809	D3051	Unit Heater	kW	Town Hall	Throughout interior							6
46	1234204	D3051	Unit Heater		DPW Building - New	Throughout interior				2018			
47	1234760	D3051	Unit Heater	No tag/plate found	Water Pump Station - Perkins	Main building	Modine	No tag/plate found	No tag/plate found	2016			6
48	1234401	D3051	Unit Heater	Inaccessible	Old Highway Garage	Throughout interior	Inaccessible	Inaccessible	Inaccessible				2
49	1234344	D3051	Unit Heater	20 kW	Library	Throughout interior	TPI Corporation	F1F5103N	No tag/plate found				
50	1234687	D3051	Unit Heater	8 MBH	Water Treatment Plant	Throughout interior	Trane	UHS8A081TAA1C00000A	No tag/plate found	2018			10
51	1234822	D3051	Unit Heater	24 MBH	Town Hall	Throughout interior	Sterling	HS-024	No tag/plate found	2018			14
52	1234231	D3051	Unit Heater	Inaccessible	Fire Station	Aparatus room	Modine Manufacturing	Inaccessible	Inaccessible				2
53	1234725	D3051	Unit Heater	No tag/plate found	Water Pump Station - North	Main building	Reznor	No tag/plate found	No tag/plate found	2004			
54	1234426	D3051	Unit Heater	No tag/plate found	Park & Cemetery Building	Grounds garage	No tag/plate found	No tag/plate found	No tag/plate found	2018			2

D40 FIRE PROTECTION													
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty	
1	1234568	D4011	Backflow Preventer	6 INCH	Water Treatment Plant	Mechanical room	Apollo Valves	DC4A	34816	2018			
2	1234888	D4011	Backflow Preventer	6 IN	Town Hall	Sprinkler room	No tag/plate found	No tag/plate found	No tag/plate found	2018			
3	1234325	D4011	Backflow Preventer	No tag/plate found	Library	Sprinkler room	No tag/plate found	No tag/plate found	No tag/plate found	2000			
4	1234361	D4012	Fire Pump	10 HP	Library	Sprinkler room	Bell & Gossett	1.5X3.5	1555010	2010			
5	1234889	D4012	Fire Pump	10 HP	Town Hall	Basement	Marathon	SOX 56B17D15524B	No tag/plate found	2018			
6	1234572	D4012	Fire Pump	10 HP	Water Treatment Plant	Mechanical room	Marathon	TDQ56C17D15569AP	No tag/plate found	2018			
7	1234479	D4031	Fire Extinguisher		Police Station	Throughout interior							6
8	1234198	D4031	Fire Extinguisher		DPW Building - New	Throughout interior							8
9	1234356	D4031	Fire Extinguisher		Library	Throughout interior							9
10	1234280	D4031	Fire Extinguisher		Fire Station	Throughout interior							5
11	1234442	D4031	Fire Extinguisher		Park & Cemetery Building	Throughout interior							3
12	1234851	D4031	Fire Extinguisher - Type ABC		Town Hall	Throughout interior				2018			10
13	1234705	D4031	Fire Extinguisher - Type ABC		Water Pump Station - North	Main building							2
14	1234560	D4031	Fire Extinguisher - Type ABC		Water Treatment Plant	Throughout interior				2018			4
15	1234775	D4031	Fire Extinguisher - Type ABC		Water Pump Station - Perkins	Main building							2

D50 ELECTRICAL													
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty	
1	1238441	D5012	Distribution Panel	225 AMPS	Water Pump Station - Perkins	Main building	Siemens	No tag/plate found	No tag/plate found				
2	1234342	D5012	Distribution Panel	225 AMP	Library	Utility closet	General Electric	No tag/plate found	No tag/plate found	1998			
3	1234805	D5012	Distribution Panel [298-W18382]	400 AMP	Town Hall	Mechanical room	Eaton	No tag/plate found	No tag/plate found	2018			
4	1234510	D5012	Distribution Panel [ELB1]	125 AMP	Police Station	Electrical room	GE	No tag/plate found	No tag/plate found				
5	1234529	D5012	Distribution Panel [L1-1]	100 AMP	Police Station	Electrical room	GE						
6	1234659	D5012	Distribution Panel [LP-1]	225 AMP	Water Treatment Plant	Electrical room	Eaton	No tag/plate found	No tag/plate found	2018			
7	1234372	D5012	Distribution Panel [MDP]	300 AMP	Library	Utility closet	General Electric	No tag/plate found	No tag/plate found	2014			
8	1234492	D5012	Distribution Panel	100 AMP	Police Station	Electrical room	GE	No tag/plate found	No tag/plate found				
9	1234447	D5012	Distribution Panel	200 AMP	Park & Cemetery Building	Office	Square D	No tag/plate found	No tag/plate found				
10	1234653	D5012	Distribution Panel	200 AMP	Water Treatment Plant	Booster station	Square D	No tag/plate found	No tag/plate found	2018			
11	1234867	D5012	Distribution Panel	200 AMP	Town Hall	Mechanical room	Eaton	No tag/plate found	No tag/plate found	2018			
12	1234807	D5012	Distribution Panel	225 AMP	Town Hall	Mechanical room	Eaton	No tag/plate found	No tag/plate found	2018			
13	1234873	D5012	Distribution Panel	225 AMP	Town Hall	Mechanical room	Eaton	No tag/plate found	No tag/plate found	2018			
14	1234828	D5012	Distribution Panel	225 AMP	Town Hall	Mechanical room	Eaton	No tag/plate found	No tag/plate found	2018			
15	1234308	D5012	Distribution Panel	225 AMP	Library	Utility closet	General Electric	No tag/plate found	No tag/plate found	2014			

16	1234823	D5012	Distribution Panel	225 AMP	Town Hall	Office	Eaton	No tag/plate found		No tag/plate found	2018	
17	1234210	D5012	Distribution Panel	400 AMP	DPW Building - New	Mechanical room	Siemens	No tag/plate found		No tag/plate found	2000	
18	1234259	D5012	Distribution Panel	400 AMP	Fire Station	Breakroom	General Electric	No tag/plate found		No tag/plate found	1995	
19	1234482	D5012	Distribution Panel [Panel MDP]	600 AMP	Police Station	Electrical room	GE	No tag/plate found		No tag/plate found		
20	1234703	D5012	Motor Control Center w/ Main Breaker	AMP	Water Pump Station - North	Main building						
21	1234649	D5012	Motor Control Center w/ Main Breaker [MCC-1]	1600 AMP	Water Treatment Plant	Electric room	Eaton	No tag/plate found			2018	
22	1234609	D5012	Motor Control Center w/ Main Breaker	No tag/plate found	Water Treatment Plant	Electrical room		No tag/plate found		No tag/plate found	2018	
23	1234780	D5012	Motor Control Center w/ Main Breaker	No tag/plate found	Water Pump Station - Perkins	Main building	Clarke	No tag/plate found				
24	1234718	D5012	Motor Control Center w/ Main Breaker	No tag/plate found	Water Pump Station - North	Main building	No tag/plate found	No tag/plate found		No tag/plate found		
25	1234690	D5012	Secondary Transformer	45 KVA	Water Treatment Plant	Electric room	Eaton	No tag/plate found		No tag/plate found	2018	
26	1234842	D5012	Secondary Transformer	15 KVA	Town Hall	Elevator	General Electric	No tag/plate found		No tag/plate found	2018	
27	1234302	D5012	Transfer Switch	200 AMP	Library	Basement	Emerson	No tag/plate found		1130317-009 RE	2015	
28	1234489	D5012	Transfer Switch	150 AMP	Police Station	Electrical room	Generac	88A02333-W	8297			
29	1234662	D5012	Transfer Switch	200 AMP	Water Treatment Plant	Booster station	Cummins	OTECSEC-1821272	C18M328325		2018	
30	1234214	D5012	Transfer Switch	400 AMP	DPW Building - New	Mechanical room	Kohler	No tag/plate found		No tag/plate found		
31	1234750	D5012	Transfer Switch	600 AMP	Water Pump Station - North	Main building	Cutler-Hammer	No tag/plate found		No tag/plate found	2004	
32	1234669	D5012	Variable Frequency Drive (VFD) [P-151]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
33	1234624	D5012	Variable Frequency Drive (VFD) [P-152]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
34	1234665	D5012	Variable Frequency Drive (VFD) [P-153]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
35	1234608	D5012	Variable Frequency Drive (VFD) [P-421]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
36	1234592	D5012	Variable Frequency Drive (VFD) [P-422]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
37	1234540	D5012	Variable Frequency Drive (VFD) [P-423]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
38	1234684	D5012	Variable Frequency Drive (VFD) [P-452]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
39	1234590	D5012	Variable Frequency Drive (VFD) [P-541]	20 HP	Water Treatment Plant	Electrical room	Eaton	DG1		No tag/plate found	2018	
40	1234365	D5022	LED Lighting Fixture		Library	Site						
41	1234437	D5037	Fire Alarm Control Panel		Park & Cemetery Building	Office					2017	5
42	1234172	D5037	Fire Alarm Control Panel		DPW Building - New	Electrical room	EST				2010	
43	1234515	D5037	Fire Alarm Control Panel	No tag/plate found	Police Station	Lobby	Simplex	Fire-lite		No tag/plate found		
44	1234864	D5037	Fire Alarm Control Panel	No tag/plate found	Town Hall	Main lobby	Honeywell	IFP-100		No tag/plate found	2018	
45	1234256	D5037	Fire Alarm Control Panel	No tag/plate found	Fire Station	Office	Fire-Lite	MS-4		No tag/plate found		
46	1234364	D5037	Fire Alarm Control Panel	No tag/plate found	Library	Utility closet	Simplex	No tag/plate found		No tag/plate found		
47	1234683	D5037	Fire Alarm Control Panel	No tag/plate found	Water Treatment Plant	Electric room	Edwards Systems Technology	No tag/plate found		No tag/plate found	2018	
48	1234562	D5092	Exit Lighting Fixture		Water Treatment Plant	Throughout interior					2018	7
49	1234872	D5092	Exit Lighting Fixture		Town Hall	Throughout interior					2018	22
50	1234278	D5092	Exit Lighting Fixture		Fire Station	Throughout interior						
51	1234514	D5092	Exit Lighting Fixture		Police Station	Throughout interior						4
52	1234218	D5092	Exit Lighting Fixture		DPW Building - New	Throughout interior						7
53	1234323	D5092	Exit Lighting Fixture		Library	Throughout interior						20
54	1234212	D5092	Generator	60 kW	DPW Building - New	Site	Kohler	60HZ	0668116		2000	
55	1234555	D5092	Generator	125 KW	Water Treatment Plant	Booster station	Cummins	C125D6C-1821273	D180342145		2018	
56	1234370	D5092	Generator	60 kW	Library	Site	Generac	No tag/plate found		No tag/plate found		
57	1234277	D5092	Generator	30 kW	Fire Station	Utility closet	Onan	30.09K-16B/28796B	L860850390			
58	1234470	D5092	Generator	30 kW	Police Station	Electrical room	Generac	88A02333-S	886759		1993	
59	1234716	D5092	Generator	100 kW	Water Pump Station - North	Site	Cummins	GKGD-5656440	A040587795		2004	
60	1234571	D5092	Generator	250 kW	Water Treatment Plant	Water treatment	Cummins	C25OFN6	SOFT 220983		2018	
61	1234267	D5092	Transfer Switch	100 AMP	Fire Station	Generator room	Onan	LTGCA1000-39U/26404G	L860859438			
E10 EQUIPMENT												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1234225	E1016	Commercial Laundry	60 LB	Fire Station	Kitchen	Wascomat	W655	No tag/plate found			
2	1234682	E1027	Dishwasher	No tag/plate found	Water Treatment Plant	Kitchen	Bosch	SHE3AR75UC/23	FD981203975	2018		
3	1234564	E1027	Laboratory Exhaust Hood	No tag/plate found	Water Treatment Plant	Laboratory	Labconco	303002	180963808	2018		
4	1234335	E1028	Defibrillator (AED)		Library	Community room						
5	1234882	E1093	Commercial Commercial Microwave		Town Hall	Kitchen				2018		
6	1234879	E1093	Commercial Food Warmer	No tag/plate found	Town Hall	Kitchen	No tag/plate found	No tag/plate found		2018		
7	1234583	E1093	Commercial Refrigerator, 2-Door Reach-In	19 CU	Water Treatment Plant	Kitchen	Whirlpool	MBF1958FEZ02	K84605387	2018		
8	1234234	E1094	Residential Dishwasher	No tag/plate found	Fire Station	Kitchen	Bosch	SHE3AR76UC/22	FD971201680			
9	1234274	E1094	Residential Microwave	No tag/plate found	Fire Station	Kitchen	Whirlpool	WMH53520CS-7	TR71733230			
10	1234528	E1094	Residential Range Hood, Vented or Ventless	No tag/plate found	Police Station	Kitchen	Broan	88E	No tag/plate found			
11	1234227	E1094	Residential Range, Electric	No tag/plate found	Fire Station	Kitchen	Frigidaire	No tag/plate found	No tag/plate found			
12	1234521	E1094	Residential Range, Gas	No tag/plate found	Police Station	Kitchen	General Electric	JGBS07PEAT7WW	TD112678P	2007		
13	1234477	E1094	Residential Refrigerator, 14-18 CF	18 CU	Police Station	Kitchen	General Electric	GTS16DTHMRBB	HL821316	2018		
14	1234819	E1094	Residential Refrigerator, 14-18 CF	No tag/plate found	Town Hall	Kitchen	General Electric	GNE29GSKISS	HL521266	2018		
15	1234271	E1094	Residential Refrigerator, 14-18 CF	No tag/plate found	Fire Station	Kitchen	Hotpoint	HTH17CBTZRWV	ZS737219			
16	1234171	E1094	Residential Refrigerator, 14-18 CF	17 CU	DPW Building - New	Breakroom	Frigidaire	CTF212SDRW	15009125YS			
F10 OTHER												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1234613	F1041	Dehumidifier & Control	No tag/plate found	Water Treatment Plant	Water treatment	Allen Bradley	2711P-RP9D	59823614	2018		
2	1234553	F1041	Dehumidifier & Control	No tag/plate found	Water Treatment Plant	Water treatment	Allen Bradley	2711P-T10C4DB	66404582	2018		
G30 SITE MECHANICAL												
Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1290715	G3026	Septic Tank		Fire Station	Site				1985		
2	1290716	G3026	Septic Tank		Library	Site				1997		
3	1290723	G3026	Septic Tank		Water Treatment Plant	Site				2018		
4	1290720	G3026	Septic Tank		Town Hall	Site				2018		
5	1290718	G3026	Septic Tank		Park & Cemetery Building	Site						
6	1290714	G3026	Septic Tank		DPW Building - New	Site				2000		
7	1290719	G3026	Septic Tank		Police Station	Site						