

# FACILITY CONDITION ASSESSMENT

### **TOWN OF TOPSFIELD**

8 West Common Street Topsfield, Massachusetts 01983



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#### PREPARED BY:

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#### **ONSITE DATE:**

May 2, 3 and 6, 2019







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# 1 Executive Summary

### 1.1 Portfolio Overview and Assessment Details

| General Information |   |
|---------------------|---|
| Property Type/s     | Municipal campus  |
| Main Addresses      | Water Treatment Plant: 279 Boston Street Fire Station: 27 High Street Old Highway Garage: 10 School Ave DPW Building: 279 Boston Street Water Pump Station Perkins: 250 Perkins Row Water Pump Station North: 10 North Street Park and Cemetery Building: 8 Haverhill Road Town Hall: 8 West Common Street Police Station: 210 Boston Street Library: 1 South Common Street |
| Sites Developed     | Water Treatment Plant: 2019 Fire Station: 1969 Old Highway Garage: 1941 DPW Building: 2000 Water Pump Station Perkins: 1960 Water Pump Station North: 1960 Park and Cemetery Building: 1978 Town Hall: 1873 Police Station: 1930 Library: 1935  |
| Number of Buildings | Ten   |
| Current Occupants   | Town of Topsfield   |
| Percent Utilization | Water Treatment Plant: 100% Fire Station: 100% Old Highway Garage: 20% (storage only) DPW Building: 100% Water Pump Station Perkins: 100% Water Pump Station North: 100% Park and Cemetery Building: 100% Town Hall: 100% Police Station: 100% Library: 100%  |
| Dates of Visit      | May 2, 3 and 6 2019   |

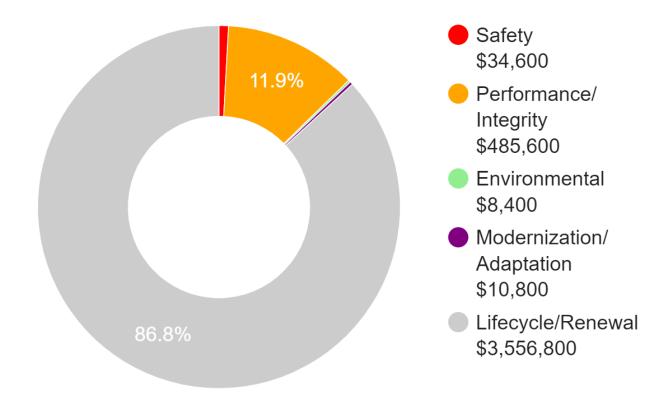
| General Information               |   |  |  |  |  |  |
|-----------------------------------|---|--|--|--|--|--|
| Management Point of Contact       | Donna Rich, Community Development/Procurement Officer Town of Topsfield 978.887.1504 phone drich@topsfield-ma.gov email |  |  |  |  |  |
| On-site Point of Contact (POC)    | same as above   |  |  |  |  |  |
| Assessment and Report Prepared By | Mary Endsley  |  |  |  |  |  |
| Reviewed By                       | Brian Vickers Program Manager 800.733.0660 x6243 bvickers@emgcorp.com   |  |  |  |  |  |

### 1.2 Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the "why" part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the "best" fit, typically the one with the greatest significance.

| Plan Type Descriptions   |   |   |  |  |  |  |  |
|--------------------------|---|---|--|--|--|--|--|
| Safety                   | • | An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk. |  |  |  |  |  |
| Performance/Integrity    | • | Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.    |  |  |  |  |  |
| Accessibility            |   | Does not meet ADA, UFAS, and/or other handicap accessibility requirements.  |  |  |  |  |  |
| Environmental            |   | Improvements to air or water quality, including removal of hazardous materials from the building or site.   |  |  |  |  |  |
| Modernization/Adaptation | • | Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.                |  |  |  |  |  |
| Lifecycle/Renewal        |   | Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.          |  |  |  |  |  |

### **Plan Type Distribution (by Cost)**



10-YEAR TOTAL: \$4,096,200



### 1.3 Portfolio-Level Findings and Deficiencies

### **Historical Summary**

There are ten municipal buildings and sites in the Town of Topsfield.

The oldest building is the Town Hall, which was constructed in 1873. It recently underwent a complete interior renovation and constructed a new three-story addition. The work was completed in the fall of 2018. The building is on the National Register of Historic Places.

The newest building is the Water Treatment Plant, which was completed this year. It shares a site with the Department of Public Works building. The Department of Public Works building, which was constructed in 2000, is in good condition. Due to age and use, some equipment is now in being replaced. The Old Highway Garage, which was constructed in 1941, originally housed the Department of Public Works. It is currently unoccupied and is used for storage. Several storage buildings are located on the Department of Public Works site. There are two Pump Houses located off site on large water shed properties. These single story buildings were constructed in 1961.

The Parks and Cemetery building consists of an engineered metal building constructed in 1978. On the site there is a wood barn constructed in 1895, which is in the process of being converted to a chapel.

The Fire Department was constructed in 1969 and the Police Department was constructed in 1930. The buildings have not fundamentally changed although equipment, finishes and systems have been upgraded through the years.

The Library was constructed in 1935 as part of the WPA construction program. Original artwork remains in the lobby. In 1998, a two-story addition was added. The building has been well maintained and the interiors and equipment have been replaced as needed.

#### **Architectural**

The Town Hall is a wood framed structure with a slate roof in the original section and with an asphalt-shingled roof at the new addition. The connector between the two buildings has a flat roof with an EPDM membrane. The original wood windows have been maintained and restored. The exterior walls are painted wood and split faced block. The interior ceilings are painted plaster and suspended tile. The walls are painted plaster with wood wainscoting and drywall in the new section and the floors are wood, ceramic tile, carpet and vinyl tile. All the restrooms have been renovated.

The Water Treatment Plant is a masonry building with a full basement and a standing seam metal roof. The exterior walls are split faced CMU and metal panel. The interiors are painted exposed structure and painted hard ceiling. There are no restrooms and a small lab for testing equipment. The director's office is located in the DPW building.

The Department of Public Works building is a steel framed building without a basement. The roof is standing seam metal and the exterior walls are CMU and metal panel. The windows and doors are metal framed. Most of the building is used for vehicle storage and repair and the spaces are exposed structure. The office area located at the front of the building has suspended acoustic tile ceilings, painted drywall partitions and vinyl tile flooring. There are two restrooms and a breakroom. The Pump Houses located off site are masonry buildings with unfinished interiors. The buildings are used for equipment only. The Pump House - Perkins has a flat roof with a built-up membrane and the Pump House - North has a gable roof with asphalt shingles.

The Old Highway Building is a wood framed building with brick veneer and asphalt shingle roof. The exterior is in very poor condition. The brick veneer, windows and doors are broken, missing and deteriorating.

The Fire Department is a masonry building with an asphalt shingle roof and a flat roof with an EPDM membrane. The windows and doors have been replaced. The second floor is used for the personnel but not as a dormitory. The Police Station is a masonry building with a slate roof.

The Library is a masonry and wood framed building with a slate roof on the original portion of the building and an asphalt roof over the new addition. The exterior consists of brick veneer and painted wood siding. The original section of the building still has the historical details from the 1930's including decorative plaster, oversized wood windows, skylights, painted murals and wood paneling. The new portion of the building has suspended acoustic ceiling tiles, painted drywall and carpeted floors. The bathrooms are ceramic tile.



### Mechanical, Electrical, Plumbing and Fire (MEPF)

The Town Hall has new split system heat pumps located on the connector roof. An existing boiler provides heat to the cast iron radiators in the original building. There is a natural gas water heater for the restrooms and kitchen. There is a new electric traction elevator serving all three stories and a wheelchair lift at the community room stage. The building is protected by a fire sprinkler and fire alarm system.

The Water Treatment plant houses equipment and is heated by suspended unit heaters. There is a natural gas water heater for the eyewash stations and dishwashers. The building is protected by a fire sprinkler and fire alarm system.

The DPW Building has a split system for the office area with furnaces located above the ceiling tiles and the condensing unit located at the building exterior. The vehicle storage and repair areas are heated by suspended units and there is a carbon monoxide detection and exhaust system. There is a natural gas water heater for the restrooms and kitchen. The building is protected by a fire sprinkler and fire alarm system.

The mechanical, electrical, plumbing and fire alarm systems at the Old Maintenance Garage are not in use at this time.

The Pump Houses are used for housing equipment only. There are unit heaters and electrical service. The fire protection system consists of fire extinguishers.

The Park and Cemetery Building is heated by suspended units and the storage and barn buildings are not heated or air-conditioned. There is a small water heater for the restrooms and kitchens. The building is protected by a fire alarm system.

The Police Department has split systems for the office areas. An existing boiler provides heat to the cast iron radiators located throughout the building. There is a natural gas water heater for the restrooms, locker rooms and kitchen. The building does not have an elevator. The building is protected by a fire sprinkler and fire alarm system.

The Fire Department has an aged forced hot air heating system. Cooling is provided by window air conditioners. An existing boiler provides heat to the unit ventilators and cast iron radiators in the original building. There is a natural gas water heater for the restrooms and kitchens. The building is protected by a fire alarm system.

The Library has a forced hot air system with a natural gas boiler for heat and a chiller located on the roof for cooling. A make-up air unit is located at the building exterior. Unit ventilators are located along the perimeter walls. Hot water for the restrooms is provided by 10-gallon electric water heaters primarily located above the ceilings at the restrooms and janitors closets. There is a hydraulic elevator serving all floors. The building is protected by a fire sprinkler and fire alarm system.

#### **Site**

Town Hall is located on a landscaped parcel with new parking lots and perimeter concrete sidewalks. The main entrance is in the rear side of the building. A new concrete sloped walkway was constructed to improve access.

The Water Treatment Plant and the Department of Public Works share an access roadway and parking area. The property is used for storage of material and equipment. There is limited landscaping.

The Old Highway Building is located near the center of town. There is an asphalt parking area and roadway.

The Pump houses are located on undeveloped properties and the site improvements consist of an access road.

The Fire Department and the Police Department have limited parking areas for the public. The Police Department is landscaped at the front of the building but there is no ramp to the main entrance. The concrete sidewalks and steps are worn and there are trip hazards.

The Library has an employee parking lot at the side of the building and parking is provided at the street. The site is landscaped and there are several benches. Concrete sidewalks connect the parking areas to the main entrance.

### **Recommended Additional Studies**

The basement at the Library has had a history of flooding during severe rainstorms. The cause has not been determined. The wallboard has been removed from the bottom two feet of the partition walls and has not been replaced. The basement can no longer be used for book and material storage. A professional engineer/consultant must be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. A budgetary cost allowance to add additional drainage at the foundation perimeter is also included.



### 1.4 Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building's Facility Condition Index (FCI), which provides a theoretical objective indication of a building's overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cutoff points.

| FCI Ranges and Description |   |  |  |  |  |  |
|----------------------------|---|--|--|--|--|--|
| 0 – 5%                     | In new or well-maintained condition, with little or no visual evidence of wear or deficiencies. |  |  |  |  |  |
| 5 – 10%                    | Subjected to wear but is still in a serviceable and functioning condition.                      |  |  |  |  |  |
| 10 – 30%                   | Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.         |  |  |  |  |  |
| 30% and above              | Has reached the end of its useful or serviceable life. Renewal is now necessary.                |  |  |  |  |  |

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. The FCIs presented below are unabated and assumes that none of the replacement costs are undertaken throughout the years and costs are carried over cumulatively onto the next year. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. Alternatively, if the capital plan outlined in this report were executed as prescribes, the FCI for each building would be 0.0% each year indefinitely. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as standalone values. The table below summarizes the individual findings for this FCA:

| Facility (year built)               | Cost/SF | Total SF | Replacement Value | Current | 3-Year | 5-Year | 10-Year |
|-------------------------------------|---------|----------|-------------------|---------|--------|--------|---------|
| DPW Building - New (2000)           | \$231   | 10,800   | \$2,492,964       | 0.6%    | 4.7%   | 7.8%   | 17.6%   |
| Fire Station (1969)                 | \$217   | 10,210   | \$2,217,306       | 0.4%    | 1.7%   | 9.7%   | 25.5%   |
| Library (1935)                      | \$215   | 14,916   | \$3,203,211       | 2.0%    | 3.0%   | 9.1%   | 17.6%   |
| Old Highway Garage (1941)           | \$130   | 3,969    | \$514,621         | 24.2%   | 24.5%  | 40.7%  | 41.8%   |
| Park & Cemetery Building (1978)     | \$231   | 1,600    | \$369,328         | 1.9%    | 7.0%   | 15.0%  | 47.4%   |
| Police Station (1930)               | \$301   | 5,912    | \$1,782,113       | 2.4%    | 8.0%   | 11.1%  | 31.8%   |
| Town Hall (1873)                    | \$216   | 19,364   | \$4,186,303       | 0.0%    | 0.0%   | 0.6%   | 6.4%    |
| Water Pump Station - North (1960)   | \$157   | 616      | \$96,749          | 14.9%   | 15.0%  | 34.0%  | 54.1%   |
| Water Pump Station - Perkins (1960) | \$157   | 768      | \$120,622         | 14.3%   | 17.1%  | 18.1%  | 45.9%   |
| Water Treatment Plant (2019)        | \$231   | 7,500    | \$1,731,225       | 0.0%    | 0.0%   | 0.0%   | 3.1%    |



### 1.5 Immediate Needs

| Facility/Building            | Total Items | Total Cost |
|------------------------------|-------------|------------|
| DPW Building - New           | 1           | \$14,010   |
| Fire Station                 | 1           | \$9,414    |
| Library                      | 4           | \$65,210   |
| Old Highway Garage           | 7           | \$124,607  |
| Park & Cemetery Building     | 3           | \$6,988    |
| Police Station               | 4           | \$42,087   |
| Water Pump Station - North   | 2           | \$14,390   |
| Water Pump Station - Perkins | 2           | \$17,261   |
| Total                        | 24          | \$293,966  |

#### DPW Building - New

| ID              | Location           | Location Description | UF Code | Description         | Condition | Plan Type             | Cost     |
|-----------------|--------------------|----------------------|---------|---------------------|-----------|-----------------------|----------|
| 1239302         | DPW Building - New | Roof                 | B3011   | Roof, Metal, Repair | Poor      | Performance/Integrity | \$14,010 |
| Total (1 items) |                    |                      |         |                     |           |                       | \$14,010 |

#### Fire Station

| ID            | Location     | Location Description | UF Code | Description  | Condition | Plan Type             | Cost    |
|---------------|--------------|----------------------|---------|--|-----------|-----------------------|---------|
| 1234224       | Fire Station | Attic                | D3041   | Air Handler, Interior, 1,301 to 2,500 CFM, Replace | Poor      | Performance/Integrity | \$9,414 |
| Total (1 item | ıs)          |                      |         |  |           |                       | \$9,414 |

#### Library

| ID            | Location        | Location Description | UF Code | Description  | Condition | Plan Type             | Cost     |
|---------------|-----------------|----------------------|---------|--|-----------|-----------------------|----------|
| 1279276       | Library         | Basement             | A2022   | Basement Wall, Waterproofing of Exterior Face, Replace | NA        | Performance/Integrity | \$30,362 |
| 1234324       | Library         | Roof                 | B3011   | Roof, Slate, Replace                                   | Fair      | Lifecycle/Renewal     | \$16,088 |
| 1412486       | Library         | Building Perimeter   | G2052   | Landscaping, French Drain, Install                     | NA        | Performance/Integrity | \$11,600 |
| 1279277       | Library         | Basement             | P000X   | Engineer, Civil, Site/Storm Drainage, Evaluate/Report  | NA        | Performance/Integrity | \$7,160  |
| Total (4 item | Total (4 items) |                      |         |  |           |                       |          |

#### Old Highway Garage

| ID           | Location           | <b>Location Description</b> | UF Code | Description   | Condition | Plan Type             | Cost      |
|--------------|--------------------|-----------------------------|---------|---|-----------|-----------------------|-----------|
| 1234379      | Old Highway Garage | Building Exterior           | B2011   | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair   | Poor      | Performance/Integrity | \$60,234  |
| 1234415      | Old Highway Garage | Building Exterior           | B2011   | Exterior Wall, Glass Block, Replace                         | Poor      | Performance/Integrity | \$4,436   |
| 1234414      | Old Highway Garage | Building Exterior           | B2021   | Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories, Replace | Failed    | Performance/Integrity | \$12,399  |
| 1234401      | Old Highway Garage | Throughout interior         | D3051   | Unit Heater, Electric, 20 kW, Replace                       | Failed    | Performance/Integrity | \$6,710   |
| 1234412      | Old Highway Garage | Throughout interior         | D5037   | Fire Alarm System, School, Install                          | NA        | Performance/Integrity | \$12,423  |
| 1238366      | Old Highway Garage | Site                        | G2022   | Parking Lots, Asphalt Pavement, Seal & Stripe               | Poor      | Performance/Integrity | \$4,005   |
| 1238364      | Old Highway Garage | Site                        | G2041   | Fences & Gates, Chain Link, 6' High, Replace                | NA        | Safety                | \$24,400  |
| Total (7 ite | ms)                |                             |         |   |           |                       | \$124,607 |



#### Park & Cemetery Building

| ID           | Location                    | Location<br>Description | UF<br>Code | Description  | Condition | Plan Type                | Cost    |
|--------------|-----------------------------|-------------------------|------------|--|-----------|--------------------------|---------|
| 1234433      | Park & Cemetery<br>Building | Building Exterior       | B2011      | Exterior Wall, Metal/Insulated Sandwich Panels to Vinyl Siding, 1-2 Stories, Replace with vinyl siding | Fair      | Modernization/Adaptation | \$2,320 |
| 1234431      | Park & Cemetery<br>Building | Barn                    | B2011      | Exterior Wall, Wood Shakes/Shingles, 1-2 Stories, Replace  | Poor      | Performance/Integrity    | \$1,873 |
| 1234422      | Park & Cemetery<br>Building | Barn                    | B3011      | Roof, Wood Shake/Shingle, Replace  | Poor      | Performance/Integrity    | \$2,795 |
| Total (3 ite | ems)                        |                         |            |  |           |                          | \$6,988 |

#### Police Station

| ID            | Location       | Location Description | UF Code | Description  | Condition | Plan Type             | Cost     |
|---------------|----------------|----------------------|---------|--|-----------|-----------------------|----------|
| 1234518       | Police Station | Roof                 | B3011   | Roof, Slate, Replace   | Poor      | Performance/Integrity | \$10,270 |
| 1234484       | Police Station | Basement             | D3021   | Boiler, 699 MBH, Replace                                     | Poor      | Performance/Integrity | \$23,841 |
| 1234514       | Police Station | Throughout interior  | D5092   | Exit Lighting Fixture, w/ Battery, Replace or install        | Poor      | Safety                | \$1,676  |
| 1234474       | Police Station | Site                 | G2031   | Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace | Poor      | Safety                | \$6,300  |
| Total (4 iter | ms)            |                      |         |  |           |                       | \$42,087 |

#### Water Pump Station - North

| ID            | Location                   | <b>Location Description</b> | UF Code | Description  | Condition | Plan Type             | Cost     |
|---------------|----------------------------|-----------------------------|---------|--|-----------|-----------------------|----------|
| 1279224       | Water Pump Station - North | Throughout interior         | D3049   | Full HVAC System Upgrade, Medium Complexity, Replace | NA        | Performance/Integrity | \$12,936 |
| 1234749       | Water Pump Station - North | Main building               | D5037   | Fire Alarm System, Office Building, Install          | NA        | Performance/Integrity | \$1,454  |
| Total (2 iter | ms)                        |                             |         |  |           |                       | \$14,390 |

#### Water Pump Station - Perkins

| ID              | Location                     | <b>Location Description</b> | UF Code | Description  | Condition | Plan Type             | Cost     |
|-----------------|------------------------------|-----------------------------|---------|--|-----------|-----------------------|----------|
| 1279230         | Water Pump Station - Perkins | Throughout interior         | D3049   | Full HVAC System Upgrade, Medium Complexity, Replace | NA        | Performance/Integrity | \$16,128 |
| 1238438         | Water Pump Station - Perkins | Main building               | D5037   | Fire Alarm System, Office Building, Install          | NA        | Performance/Integrity | \$1,133  |
| Total (2 items) |                              |                             |         |  |           |                       | \$17,261 |

### 1.6 Key Findings



# **Exit Lighting Fixture in Poor condition.**

w/ Battery Police Station Throughout interior

Uniformat Code: D5092

Recommendation: Replace or install in 2019

Priority Score: 97.0

Plan Type: Safety

Cost Estimate: \$1,700

**5**\$\$\$

Many of the fire exit signs are not lighted and there may be missing signs. - AssetCALC ID: 1234514





# Pedestrian Pavement in Poor condition.

Sidewalk, Concrete Large Areas Police Station Site

Uniformat Code: G2031

Recommendation: Replace in 2019

Priority Score: 95.0

Plan Type: Safety

Cost Estimate: \$6,300

**\$\$\$\$** 

The sidewalks are worn and there are numerous trip hazards. The aggregate is exposed on the treads. A handicapped ramp could be constructed when the sidewalks are replaced. - AssetCALC ID: 1234474



### **Fences & Gates**

Chain Link, 6' High Old Highway Garage Site

Uniformat Code: G2041

Recommendation: Replace in 2019

Priority Score: 93.0

Plan Type: Safety

Cost Estimate: \$24,400

**\$\$\$\$** 

Due to the condition of the building and the easy access to the roof the building site should enclosed with fencing to ensure the safety of the public using the parking lot or walking through the site. - AssetCALC ID: 1238364



### Roof in Poor condition.

Metal DPW Building - New Roof

Uniformat Code: B3011

Recommendation: Repair in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$14,000

**\$\$\$\$** 

According to the site POC, the roof leaks at the plumbing vents, curbs and exhaust fan penetrations. Additional repairs are required. - AssetCALC ID: 1239302



### **Exterior Wall in Poor condition.**

Brick or Brick Veneer, 1-2 Stories Old Highway Garage Building Exterior

Uniformat Code: B2011

Recommendation: Repair in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$60,200

\$\$\$\$



The exterior brick is deteriorating. There are significant areas of missing mortar and broken, spalled brick. - AssetCALC ID: 1234379



### **Exterior Wall in Poor condition.**

Wood Shakes/Shingles, 1-2 Stories Park & Cemetery Building Barn

Uniformat Code: B2011

Recommendation: Replace in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$1,900

**\$**\$\$\$

The barn is scheduled to be completely renovated. - AssetCALC ID: 1234431



### Roof in Poor condition.

Wood Shake/Shingle
Park & Cemetery Building Barn

Uniformat Code: B3011

Recommendation: Replace in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$2,800

**\$**\$\$\$

The barn is under contract to be renovated and turned into a chapel for the cemetery. The work is scheduled to begin in June 2019. - AssetCALC ID: 1234422



#### Exterior Wall in Poor condition.

Glass Block Old Highway Garage Building Exterior

Uniformat Code: B2011

Recommendation: Replace in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$4,400

**\$**\$\$\$

The glass block at the opening at the building are broken in most places and immediate replacement is recommended. - AssetCALC ID: 1234415



### Roof in Poor condition.

Slate Police Station Roof

Uniformat Code: B3011

Recommendation: Replace in 2019

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$10,300

**\$\$\$\$** 



The slate roof is aged and require replacement. The snow guards are corroded and according to the site POC, pieces are falling from the roof. The top floor ceilings and walls are leaking at the dormers and the chimney indicating that the flashing may be compromised. - AssetCALC ID: 1234518



### Roof in Poor condition.

Asphalt Shingle Water Pump Station - Perkins Roof

Uniformat Code: B3011

Recommendation: Replace in 2021

Priority Score: 90.0

Plan Type:

Performance/Integrity

Cost Estimate: \$2,900

**\$**\$\$\$

The roof needs to be replaced. The shingles are damaged and brittle. - AssetCALC ID: 1234751



### **Basement Wall**

Waterproofing of Exterior Face Library Basement

Uniformat Code: A2022

Recommendation: Replace in 2019

Priority Score: 89.0

Plan Type:

Performance/Integrity

Cost Estimate: \$30,400

**\$\$\$\$** 

Due to flooding at the basement, waterproofing along the foundation walls is recommended. An engineering study is also recommended to determine the exact cause and location of the infiltration. - AssetCALC ID: 1279276



### Window in Failed condition.

Vinyl-Clad Double-Glazed 12 SF, 3+ Stories Old Highway Garage Building Exterior

Uniformat Code: B2021

Recommendation: Replace in 2019

Priority Score: 88.0

Plan Type:

Performance/Integrity

Cost Estimate: \$12,400

**\$\$**\$\$

The windows are broken or boarded up. This building is not occupied and is only used for storage. - AssetCALC ID: 1234414

# 2 Water Treatment Plant





### **Water Treatment Plant: Systems Summary**

| Address                   | 279 Boston Street   |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 2018  |           |
| Building Size             | 7,500 SF  |           |
| Number of Stories         | One   |           |
| Site Area                 | Located on DPW property   |           |
| Parking Spaces            | 10 total spaces all in open lot   |           |
| System                    | Description   | Condition |
| Structure                 | Masonry bearing walls and steel framed roof   | Excellent |
| Façade                    | Exposed CMU with aluminum windows   | Excellent |
| Roof                      | Primary: Gable construction with metal finish   | Excellent |
| Interiors                 | Walls: Painted gypsum board & CMU, Floors: Sealed concrete Ceilings: Unfinished/exposed | Excellent |
| Elevators                 | None  | Excellent |



| Diamak in n                   | Copper supply and DVC wests 8 vention   | F         |
|-------------------------------|---|-----------|
| Plumbing                      | Copper supply and PVC waste & venting Sinks   | Excellen  |
| HVAC                          | Central system with boiler feeding suspended hydronic radiators and cabinets, Individual split system units Supplemental components: ductless split system, laboratory exhaust hood | Excellen  |
| Fire Suppression              | Wet-pipe sprinkler system; fire extinguishers, fire pump  | Excellen  |
| Electrical                    | Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: LED Emergency: Natural gas generator and UPS, ATS   | Excellen  |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs  | Excellen  |
| Equipment/Special             | Water treatment equipment Commercial kitchen equipment Laboratory equipment and cabinetry   | Excellen  |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs  | Excellen  |
| Site Development              | Concrete sidewalks  | Excellen  |
| Landscaping and<br>Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout   | Excellen  |
| Utilities                     | Municipal water Septic tank Local utility-provided electric and natural gas   | Excellent |
| Site Lighting                 | Pole-mounted: LED, Building-mounted: LED  | Excellen  |
| Ancillary Structures          | None  |           |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.  |           |
| Key Issues and<br>Findings    | The building is new and was completed in 2019. The site work is still under cons  | truction. |

### **Water Treatment Plant: Systems Expenditure Forecast**

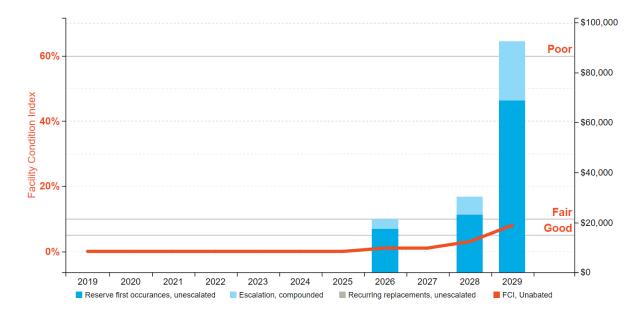
| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL       |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-------------|
| Facade            | -         | -                    | -                   | -                   | -                    | -           |
| Roofing           | -         | -                    | -                   | -                   | -                    | -           |
| Interiors         | -         | -                    | -                   | \$131,600           | \$175,200            | \$306,800   |
| Plumbing          | -         | -                    | -                   | -                   | \$799,500            | \$799,500   |
| Fire Suppression  | -         | -                    | -                   | -                   | \$48,500             | \$48,500    |
| HVAC              | -         | -                    | -                   | -                   | \$218,100            | \$218,100   |
| Electrical        | -         | -                    | -                   | \$3,700             | \$153,700            | \$157,400   |
| Fire Alarm & Comm | -         | -                    | -                   | -                   | \$61,700             | \$61,700    |
| Equipment/Special | -         | -                    | -                   | \$8,800             | \$305,900            | \$314,600   |
| Utilities         | -         | -                    | -                   | -                   | -                    | -           |
| TOTALS            | -         | -                    | -                   | \$144,100           | \$1,762,600          | \$1,906,600 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

#### **FCI Analysis: Water Treatment Plant**

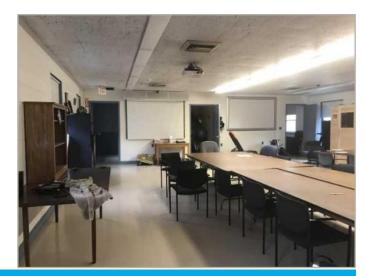
Replacement Value: \$ 1,731,225; Inflation rate: 3.0%





## 3 Fire Station





## **Fire Station : Systems Summary**

| Address                   | 27 High Street  |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 1969/1990   |           |
| <b>Building Size</b>      | 10,210 SF   |           |
| Number of Stories         | Two   |           |
| Site Area                 | 1.94 acres (estimated)  |           |
| Parking Spaces            | 20 total spaces all in open lots; one of which is accessible  |           |
| System                    | Description   | Condition |
| Structure                 | Conventional wood frame structure on concrete slab  | Fair      |
| Façade                    | Brick with vinyl windows  | Fair      |
| Roof                      | Primary: Gable construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane                                      | Fair      |
| Interiors                 | Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, Unfinished Ceilings: Painted gypsum board, Acoustical Ceiling Tile, Unfinished/exposed | Fair      |
| Elevators                 | None  |           |



| Fire Station : Syste          | ems Summary   |      |
|-------------------------------|---|------|
| Plumbing                      | Copper supply and cast-iron waste & venting Gas water heater Gas domestic boilers with storage tanks Steam to domestic hot water heat exchangers Toilets, sinks, urinal in restrooms, shower in bathroom                            | Fair |
| HVAC                          | Central system with boilers feeding hydronic baseboard radiators and unit ventilators Individual air handler acting as ventilator/blower for outside air Supplemental components: suspended unit heaters, exhaust fans, air handler | Fair |
| Fire Suppression              | Fire extinguishers  | Good |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL Emergency: Natural gas generator and UPS, ATS   | Fair |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, and back-up emergency lights   | Fair |
| Equipment/Special             | Commercial laundry equipment, residential kitchen appliances  | Good |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs  | Fair |
| Site Development              | Building-mounted signage  | Fair |
| Landscaping and<br>Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout   | Fair |
| Utilities                     | Municipal water Septic tank Local utility-provided electric and natural gas   | Fair |
| Site Lighting                 | Pole-mounted: None<br>Building-mounted: Metal halide  | Fair |
| Ancillary Structures          | None  |      |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.  |      |

### **Fire Station: Systems Summary**

### Key Issues and **Findings**

Exterior wall surfaces at the rear elevation are peeling and stained, the air handler is beyond useful age and not providing sufficient air to all areas, replacement of the boiler and generator is recommended, a new ventilation system is needed at hose drying tower, the building has an aged and inefficient heating and ventilation system, the second floor vinyl tile was replaced and the asbestos was abated in 2018, the ladder at the hose drying tower should have a cage for safety. As of the date of this report, the installation of a ladder cage is planned for execution.

According to the site POC, the existing doors are too small for modern fire-fighting equipment, parking lot marking is faded and new seal coat is recommended

### Fire Station: Systems Expenditure Forecast

| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL       |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-------------|
| Facade            | -         | \$9,800              | \$28,800            | -                   | \$13,200             | \$51,900    |
| Roofing           | -         | \$14,400             | -                   | -                   | \$31,300             | \$45,700    |
| Interiors         | -         | \$21,700             | -                   | \$27,900            | \$45,900             | \$95,400    |
| Plumbing          | -         | -                    | \$12,000            | \$78,300            | \$28,300             | \$118,600   |
| Fire Suppression  | -         | -                    | -                   | \$2,400             | -                    | \$2,400     |
| HVAC              | \$9,400   | \$50,800             | \$48,900            | \$17,600            | \$93,300             | \$220,000   |
| Electrical        | -         | \$56,300             | -                   | \$138,600           | \$503,200            | \$698,200   |
| Fire Alarm & Comm | -         | -                    | \$27,100            | \$26,500            | -                    | \$53,600    |
| Equipment/Special | -         | -                    | \$1,000             | \$12,400            | \$35,400             | \$48,800    |
| Utilities         | -         | -                    | -                   | \$11,900            | -                    | \$11,900    |
| Pavement          | -         | \$9,000              | -                   | \$97,500            | \$26,000             | \$132,500   |
| TOTALS            | \$9,400   | \$162,000            | \$117,800           | \$413,100           | \$776,600            | \$1,479,000 |

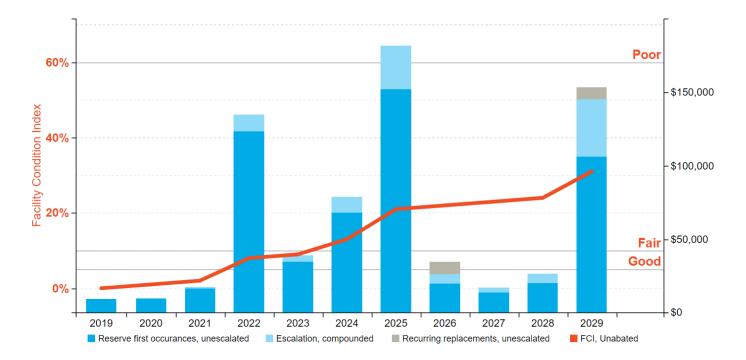


The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

### FCI Analysis: Fire Station

Replacement Value: \$ 2,217,306; Inflation rate: 3.0%





# 4 Old Highway Garage





### **Old Highway Garage: Systems Summary**

| Address                   | 10 School Ave.   |               |
|---------------------------|--|---------------|
| Constructed/<br>Renovated | 1941   |               |
| Building Size             | 3969 SF  |               |
| Number of Stories         | One  |               |
| Site Area                 | 0.64 acres (estimated)   |               |
| Parking Spaces            | 15 total spaces all in open lot; there is no accessible parking (the building is             | not occupied) |
| System                    | Description  | Condition     |
| Structure                 | Conventional wood frame structure on concrete slab   | Fair          |
| Façade                    | Brick with wood and glass block openings, vinyl-clad windows                                 | Poor          |
| Roof                      | Primary: Gable construction with asphalt shingles  | Fair          |
| Interiors                 | Walls: Painted gypsum board, Unfinished Floors: VCT, Unfinished Ceilings: Unfinished/exposed | Poor          |
| Elevators                 | None   |               |



| Plumbing                      | Plumbing is not connected.   |                          |
|-------------------------------|--|--------------------------|
| HVAC                          | Suspended electric unit heaters not in operation   | Failed                   |
| Fire Suppression              | None   |                          |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: T-8 Emergency: None  | Poor                     |
| Fire Alarm                    | None   |                          |
| Equipment/Special             | None   |                          |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs   | Poor                     |
| Site Development              | None   |                          |
| Landscaping and<br>Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout  | Poor                     |
| Utilities                     | Local utility-provided electric  | Fair                     |
| Site Lighting                 | Pole-mounted: None Building-mounted: None  |                          |
| Ancillary Structures          | Wood-framed garage   | Fair                     |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.   |                          |
| Key Issues and<br>Findings    | Used only for storage, unit heaters are not operating, the windows are broken, the access the roof from the rear roadways, the property should be fenced in trespassing, faded parking lot markings, the glass blocks are broken, the brick ve door openings is spalling and broken and the mortar is missing in large areas of there is no fire alarm | to prever<br>eneer at th |

### **Old Highway Garage: Systems Expenditure Forecast**

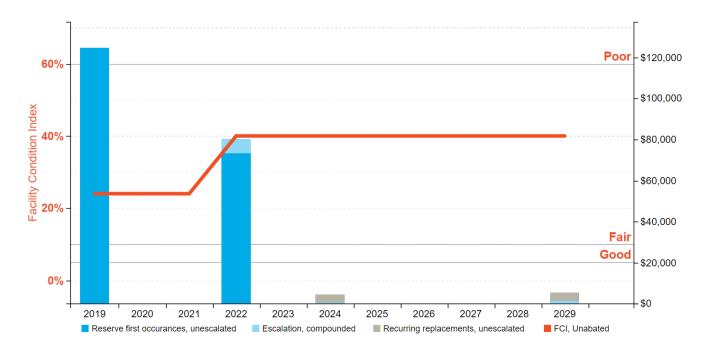
| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL     |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-----------|
| Facade            | \$77,100  | \$22,200             | -                   | -                   | -                    | \$99,300  |
| Roofing           | -         | \$20,200             | -                   | -                   | -                    | \$20,200  |
| HVAC              | \$6,700   | -                    | -                   | -                   | \$12,100             | \$18,800  |
| Fire Alarm & Comm | \$12,400  | -                    | -                   | -                   | \$22,400             | \$34,900  |
| Site Development  | \$24,400  | -                    | -                   | -                   | \$6,400              | \$30,800  |
| Pavement          | \$4,000   | \$37,800             | \$4,600             | \$5,400             | \$13,500             | \$65,300  |
| TOTALS            | \$124,600 | \$80,200             | \$4,600             | \$5,400             | \$54,400             | \$269,300 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

### FCI Analysis: Old Highway Garage

Replacement Value: \$514,621; Inflation rate: 3.0%



# 5 DPW Building





## **DPW Building: Systems Summary**

| Address                   | 279 Boston Street   |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 2000  |           |
| Building Size             | 10,800 SF   |           |
| Number of Stories         | On  |           |
| Site Area                 | 20.43 acres (estimated)   |           |
| Parking Spaces            | 18 total spaces all in open lots; one of which is accessible  |           |
| System                    | Description   | Condition |
| Structure                 | Engineered metal building   | Good      |
| Façade                    | Exposed CMU with aluminum steel windows   | Fair      |
| Roof                      | Primary: Gable construction with metal finish   | Good      |
| Interiors                 | Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, carpet, Unfinished Ceilings: Acoustical Ceiling Tile, Unfinished/exposed | Fair      |
| Elevators                 | None  |           |



| DPW Building: Sy              | stems Summary  |               |
|-------------------------------|--|---------------|
| Plumbing                      | Copper supply and cast-iron waste & venting Gas commercial water heater Toilets, urinals, and sinks in all restrooms, shower | Fair          |
| HVAC                          | Individual split-system furnaces and condensing units Supplemental components: suspended gas unit heaters, exhaust fans      | Fair          |
| Fire Suppression              | Sprinkler system, fire extinguishers   | Fair          |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: Natural gas generator and UPS, ATS    | Fair          |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs                       | Fair          |
| Equipment/Special             | Residential refrigerator   | Fair          |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs   | Poor          |
| Site Development              | Property entrance signage  | Good          |
| Landscaping and<br>Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout                            | Fair          |
| Utilities                     | Municipal water Septic tank Local utility-provided electric and natural gas  | Fair          |
| Site Lighting                 | Pole-mounted: LED Building-mounted: LED  | Good          |
| Ancillary Structures          | Wood-framed pole barn for sand storage   | Good          |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.   |               |
| Key Issues and Findings       | The roof leaks at the penetrations for the plumbing and heating vents The pascheduled to be milled and repaved this summer.  | arking lot is |

Pavement

Utilities

**TOTALS** 

| PPW Building: Systems Expenditure Forecast |           |                      |                     |                     |                      |          |
|--|-----------|----------------------|---------------------|---------------------|----------------------|----------|
| System                                     | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL    |
| Facade                                     | -         | -                    | -                   | -                   | \$15,600             | \$15,60  |
| Roofing                                    | \$14,000  | -                    | -                   | -                   | -                    | \$14,000 |
| Interiors                                  | -         | -                    | \$108,500           | \$15,800            | \$135,000            | \$259,30 |
| Plumbing                                   | -         | \$18,100             | \$4,600             | \$4,300             | \$25,500             | \$52,500 |
| Fire Suppression                           | -         | \$15,200             | -                   | \$3,400             | -                    | \$18,600 |
| HVAC                                       | -         | \$23,600             | -                   | -                   | \$74,800             | \$98,400 |
| Electrical                                 | -         | -                    | -                   | \$67,400            | \$18,100             | \$85,500 |
| Fire Alarm & Comm                          | -         | \$27,900             | -                   | \$24,200            | -                    | \$52,10  |
| Equipment/Special                          | -         | -                    | \$5,400             | \$1,200             | -                    | \$6,60   |
| Site Development                           | -         | -                    | -                   | -                   | \$194,600            | \$194,60 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

\$118,500

\$86,200

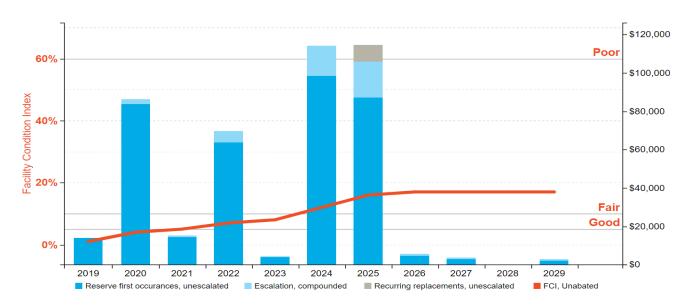
\$171,000

### **Needs by Year with Unaddressed FCI Over Time**

\$14,000

FCI Analysis: DPW Building - New

Replacement Value: \$ 2,492,964; Inflation rate: 3.0%





\$10,400

\$126,700

\$26,000

\$13,800

\$503,400

\$122,500

\$13,800

\$933,500

# 6 Water Pump Station - Perkins





### Water Pump Station – Perkins: Systems Summary

| Address                   | 250 Perkins Row  |           |
|---------------------------|--|-----------|
| Constructed/<br>Renovated | 1961   |           |
| <b>Building Size</b>      | 768 SF   |           |
| Number of Stories         | One  |           |
| Site Area                 | 49.40 acres (estimated)  |           |
| Parking Spaces            | Two total spaces at the front of the building  |           |
| System                    | Description  | Condition |
| Structure                 | Masonry bearing walls and wood-framed roofs  | Fair      |
| Façade                    | Brick without windows  | Fair      |
| Roof                      | Primary: Gable construction with asphalt shingles  | Poor      |
|                           |  |           |
| Interiors                 | Walls: Painted gypsum board & CMU Floors: Epoxy coating, Unfinished Ceilings: Painted gypsum board | Fair      |



| Water Pump Station         | on – Perkins: Systems Summary  |                           |
|----------------------------|--|---------------------------|
| Plumbing                   | Copper supply and cast iron waste & venting No hot water   | Fair                      |
| HVAC                       | Suspended electric unit heaters  | Fair                      |
| Fire Suppression           | Fire extinguishers   | Fair                      |
| Electrical                 | Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, Emergency: None   | Fair                      |
| Fire Alarm                 | Smoke detectors  | Fair                      |
| Equipment/Special          | None   |                           |
| Site Pavement              | Asphalt lot  | Fair                      |
| Site Development           | The building is unmarked   |                           |
| Landscaping and Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout  | Fair                      |
| Utilities                  | Local utility-provided electric  | Fair                      |
| Site Lighting              | Pole-mounted: None<br>Building-mounted: HSP  | Fair                      |
| Ancillary Structures       | None   |                           |
| Accessibility              | Presently it does not appear an accessibility study is needed for this property.   |                           |
| Key Issues and Findings    | The building is older and houses water-pumping equipment. The building will reproof because the shingles are damaged and brittle. The mechanical systems are according to the site POC are inadequate. There is no cooling or humidi Modernization and upgrading is recommended. Building lacks a fire alarm system primarily undeveloped. | original and ty controls. |

### Water Pump Station - Perkins: Systems Expenditure Forecast

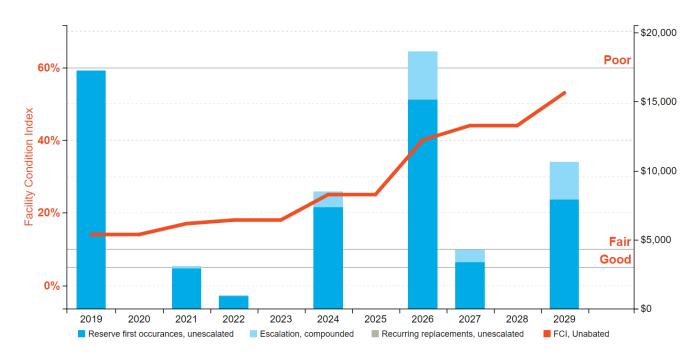
| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL     |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-----------|
| Facade            | -         | \$1,000              | -                   | -                   | \$35,100             | \$36,100  |
| Roofing           | -         | \$3,100              | -                   | -                   | -                    | \$3,100   |
| Interiors         | -         | -                    | \$7,800             | -                   | \$10,500             | \$18,200  |
| Plumbing          | -         | -                    | -                   | \$1,800             | \$25,000             | \$26,800  |
| Fire Suppression  | -         | -                    | \$700               | -                   | \$1,100              | \$1,900   |
| HVAC              | \$16,100  | -                    | -                   | \$21,100            | -                    | \$37,300  |
| Electrical        | -         | -                    | -                   | \$10,600            | \$89,700             | \$100,400 |
| Fire Alarm & Comm | \$1,100   | -                    | -                   | -                   | \$2,000              | \$3,200   |
| Pavement          | -         | -                    | -                   | -                   | \$2,500              | \$2,500   |
| TOTALS            | \$17,200  | \$4,100              | \$8,500             | \$33,500            | \$165,900            | \$229,500 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

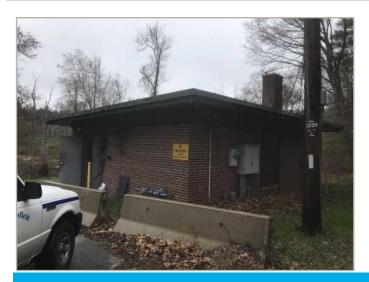
### **Needs by Year with Unaddressed FCI Over Time**

### FCI Analysis: Water Pump Station - Perkins

Replacement Value: \$ 120,622; Inflation rate: 3.0%



# 7 Water Pump Station - North





### Water Pump Station – North: Systems Summary

| Address                   | 10 North Street   |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 1961  |           |
| Building Size             | 616 SF  |           |
| Number of Stories         | One   |           |
| Site Area                 | 64.31 acres (estimated)   |           |
| Parking Spaces            | Two total spaces at the front of building                             |           |
| System                    | Description   | Condition |
| Structure                 | Masonry bearing walls and wood-framed roofs                           | Fair      |
| Façade                    | Brick without windows   | Fair      |
| Roof                      | Primary: Flat construction with modified bituminous finish            | Fair      |
| Interiors                 | Walls: Painted CMU, Floors: Unfinished Ceilings: Painted gypsum board | Fair      |
| Elevators                 | None  |           |



| Water Pump Statio             | on – North: Systems Summary   |      |
|-------------------------------|---|------|
| Plumbing                      | Copper supply and cast-iron waste & venting   | Fair |
| HVAC                          | Suspended gas unit heaters  | Fair |
| Fire Suppression              | Fire extinguishers  | Fair |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: T-8 Emergency: Natural gas generator and UPS, ATS | Fair |
| Fire Alarm                    | Smoke detectors, alarms, strobes, pull stations, back-up emergency lights   | Fair |
| Equipment/Special             | None  |      |
| Site Pavement                 | Asphalt lot   | Fair |
| Site Development              | The building is unmarked  |      |
| Landscaping and<br>Topography | No significant landscaping features Irrigation not present Low to moderate site slopes throughout                         | Fair |
| Utilities                     | Municipal water Septic tank Local utility-provided electric   | Fair |
| Site Lighting                 | Pole-mounted: None<br>Building-mounted: HPS   | Fair |
| Ancillary Structures          | None  |      |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.  |      |

# Key Issues and Findings

The building is older and houses water-pumping equipment. The building will require a new roof because the shingles are damaged and brittle. The mechanical systems are original and according to the site POC are inadequate. There is no cooling or humidity controls. Modernization and upgrading is recommended. Building lacks a fire alarm system. The site is primarily undeveloped.

### Water Pump Station - North: Systems Expenditure Forecast

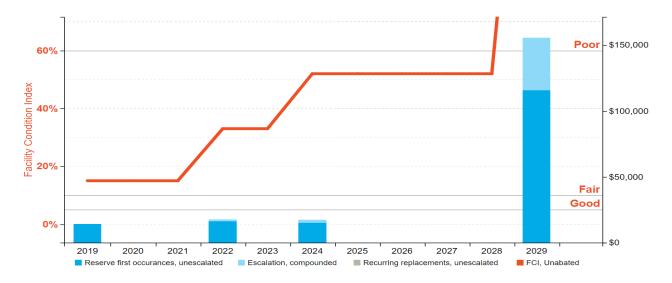
|                   | Immediate | Short Term | Near Term | Med Term  | Long Term |           |
|-------------------|-----------|------------|-----------|-----------|-----------|-----------|
| System            |           | (3 yr)     | (5 yr)    | (10 yr)   | (20 yr)   | TOTAL     |
| Facade            | -         | -          | -         | -         | \$7,900   | \$7,900   |
| Roofing           | -         | -          | \$6,500   | -         | -         | \$6,500   |
| Plumbing          | -         | -          | -         | \$58,200  | -         | \$58,200  |
| Fire Suppression  | -         | -          | -         | \$800     | -         | \$800     |
| HVAC              | \$12,900  | -          | \$4,600   | -         | -         | \$17,500  |
| Electrical        | -         | \$17,800   | \$6,600   | \$96,700  | \$40,900  | \$162,000 |
| Fire Alarm & Comm | \$1,500   | -          | -         | -         | \$2,600   | \$4,100   |
| Pavement          | -         | -          | -         | -         | \$2,500   | \$2,500   |
| TOTALS            | \$14,400  | \$17,800   | \$17,700  | \$155,700 | \$53,900  | \$259,500 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

FCI Analysis: Water Pump Station - North

Replacement Value: \$ 96,749; Inflation rate: 3.0%





# 8 Park and Cemetary Building





### Park and Cemetery Building: Systems Summary

| Address                   | 8 Haverhill Road  |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 1895/1978/2019  |           |
| Building Size             | 1600 SF   |           |
| Number of Stories         | One   |           |
| Site Area                 | 38.53 acres (estimated)   |           |
| Parking Spaces            | 7 total spaces all in open lots   |           |
| System                    | Description   | Condition |
| Structure                 | Steel frame structure on concrete slab  | Fair      |
| Façade                    | Metal siding with vinyl windows   | Fair      |
| Roof                      | Primary: Gable construction with metal finish Secondary: Gable construction with wood shake/shingle finish                  | Fair      |
| Interiors                 | Walls: Painted gypsum board & CMU, Unfinished Floors: VCT, Unfinished Ceilings: Acoustical Ceiling Tile, Unfinished/exposed | Fair      |
| Elevators                 | None  |           |



| Park and Cemeter              | y Building: Systems Summary  |           |
|-------------------------------|--|-----------|
| Plumbing                      | Copper supply and cast-iron waste & venting Gas domestic water heater Toilets, urinals, and sinks in all restrooms | Fair      |
| HVAC                          | Suspended gas unit heaters   | Excellent |
| Fire Suppression              | Fire extinguishers   | Good      |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED Emergency: None                   | Fair      |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs             | Fair      |
| Equipment/Special             | None   |           |
| Site Pavement                 | Asphalt lots for parking and vehicle storage   | Fair      |
| Site Development              | Property entrance signage Limited park benches, picnic tables, trash receptacles                                   | Good      |
| Landscaping and<br>Topography | Moderate landscaping features Irrigation not present Low to moderate site slopes throughout                        | Fair      |
| Utilities                     | Municipal water Septic tank Local utility-provided electric  | Fair      |
| Site Lighting                 | Pole-mounted: None Building-mounted: LED   | Fair      |
| Ancillary Structures          | Wood-framed garage and two pre-fabricated storage sheds  | Fair      |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property                                    | /.        |

### **Park and Cemetery Building: Systems Summary**

# Key Issues and Findings

Sealing and striping of parking lot and entrance drive, is recommended, the wooden shakes/shingle exterior wall and roof sections are in poor condition.

The existing wood framed barn is being converted into a chapel. A new parking lot and covered connector to restrooms will also be constructed. The work is scheduled to begin in June 2019. A new metal framed storage shed is being constructed on the east side of the existing building. These items are not included in cost tables.

### Park and Cemetery Building: Systems Expenditure Forecast

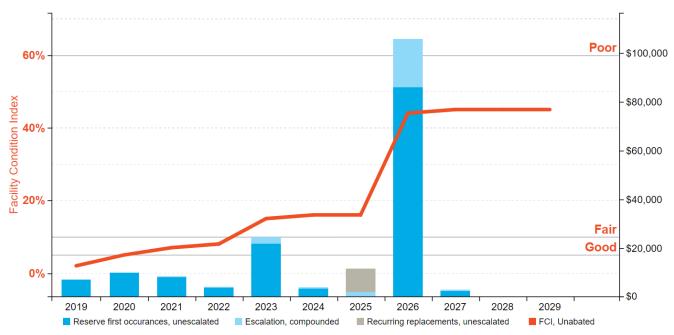
| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL     |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-----------|
| Facade            | \$4,200   | -                    | \$1,800             | -                   | \$4,300              | \$10,300  |
| Roofing           | \$2,800   | \$8,500              | -                   | -                   | -                    | \$11,300  |
| Interiors         | -         | -                    | \$2,100             | \$5,000             | \$6,800              | \$13,900  |
| Plumbing          | -         | -                    | \$13,300            | \$3,000             | \$15,800             | \$32,100  |
| Fire Suppression  | -         | -                    | -                   | -                   | \$1,500              | \$1,500   |
| HVAC              | -         | -                    | -                   | -                   | \$15,700             | \$15,700  |
| Electrical        | -         | -                    | -                   | -                   | \$14,300             | \$14,300  |
| Fire Alarm & Comm | -         | \$4,100              | -                   | -                   | \$29,800             | \$33,900  |
| Site Development  | -         | -                    | -                   | -                   | \$161,700            | \$161,700 |
| Pavement          | -         | \$10,000             | -                   | \$112,400           | \$29,000             | \$151,400 |
| Utilities         | -         | -                    | \$11,200            | -                   | -                    | \$11,200  |
| TOTALS            | \$7,000   | \$22,600             | \$28,400            | \$120,400           | \$278,900            | \$457,300 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

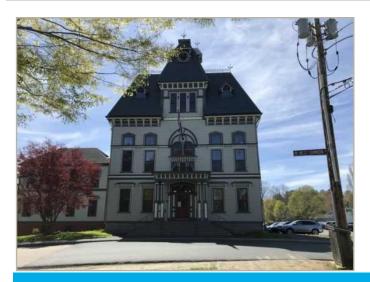
### FCI Analysis: Park & Cemetery Building

Replacement Value: \$ 369,328; Inflation rate: 3.0%





# 9 Town Hall





| Town Hall, C. | ∕stems Summarv        |
|---------------|-----------------------|
| TOWIT Hall. S | /Steilis Sullillial y |

| Address                   | 8 West Common Street  |           |
|---------------------------|---|-----------|
| Constructed/<br>Renovated | 1873/2019   |           |
| Building Size             | 19,364 SF   |           |
| Number of Stories         | Three   |           |
| Site Area                 | 0.939 acres (estimated)   |           |
| Parking Spaces            | 50 total spaces all in open lots; two of which are accessible   |           |
| System                    | Description   | Condition |
| Structure                 | Conventional wood frame structure with raised floor   | Good      |
| Façade                    | Brick with aluminum and wood windows  | Good      |
| Roof                      | Primary: Gable construction with slate covering Secondary: Gable construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane                  | Good      |
| Interiors                 | Walls: Painted gypsum board, wood paneling, and ceramic tile Floors: Carpet, VCT, ceramic tile, wood strip, quarry tile Ceilings: Painted gypsum board, Acoustical Ceiling Tile | Good      |
| Elevators                 | Electric Traction: One car serving all three floors Wheelchair lifts  | Excellent |



| Town Hall: System             | ns Summary   |           |
|-------------------------------|--|-----------|
| Plumbing                      | Copper supply and cast iron waste & venting Gas commercial water heaters Toilets, urinals, and sinks in all restrooms  | Excellent |
| HVAC                          | Central system with boiler, feeding unit ventilators units Individual split-system units Supplemental components: ductless split-systems, suspended unit heaters, exhaust fans | Excellent |
| Fire Suppression              | Wet-pipe sprinkler system; hydrants, fire extinguishers  | Excellent |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: None  | Excellent |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs   | Excellent |
| Equipment/Special             | Residential and commercial kitchen equipment   | Excellent |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs   | Excellent |
| Site Development              | Building-mounted signage Limited park benches, trash receptacles   | Excellent |
| Landscaping and<br>Topography | Moderate landscaping features Irrigation not present Low to moderate site slopes throughout  | Good      |
| Utilities                     | Municipal water Septic tank Local utility-provided electric and natural gas  | Excellent |
| Site Lighting                 | Pole-mounted: LED Building-mounted: LED  | Excellent |
| Ancillary Structures          | None   |           |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.   |           |

# **Town Hall: Systems Summary**

Key Issues and Findings

None.



### **Town Hall: Systems Expenditure Forecast**

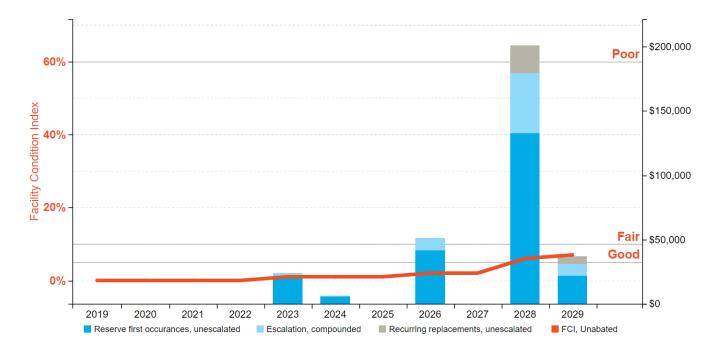
| System            | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL       |
|-------------------|-----------|----------------------|---------------------|---------------------|----------------------|-------------|
| Facade            | -         | -                    | -                   | \$30,500            | \$41,000             | \$71,500    |
| Roofing           | -         | -                    | \$24,100            | \$28,000            | \$80,400             | \$132,500   |
| Interiors         | -         | -                    | -                   | \$195,500           | \$370,700            | \$566,200   |
| Elevators         | -         | -                    | -                   | \$3,900             | \$5,300              | \$9,200     |
| Plumbing          | -         | -                    | -                   | \$9,800             | \$106,400            | \$116,200   |
| Fire Suppression  | -         | -                    | -                   | -                   | \$79,100             | \$79,100    |
| HVAC              | -         | -                    | -                   | -                   | \$434,500            | \$434,500   |
| Electrical        | -         | -                    | -                   | \$12,000            | \$16,200             | \$28,200    |
| Fire Alarm & Comm | -         | -                    | -                   | -                   | \$110,800            | \$110,800   |
| Equipment/Special | -         | -                    | -                   | \$1,400             | \$5,600              | \$7,000     |
| Pavement          | -         | -                    | \$6,700             | \$7,800             | \$19,500             | \$34,000    |
| Utilities         | -         | -                    | -                   | -                   | -                    | -           |
| TOTALS            | -         | -                    | \$30,800            | \$288,900           | \$1,269,500          | \$1,589,200 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

## **Needs by Year with Unaddressed FCI Over Time**

### FCI Analysis: Town Hall

Replacement Value: \$ 4,186,303; Inflation rate: 3.0%



# 10 Police Station





# **Police Station: Systems Summary**

| Address                   | 210 Boston Street  |           |
|---------------------------|--|-----------|
| Constructed/<br>Renovated | 1930 / 1990  |           |
| <b>Building Size</b>      | 5,912 SF   |           |
| Number of Stories         | Three  |           |
| Site Area                 | 1.066 acres (estimated)  |           |
| Parking Spaces            | 20 total spaces all in open lots; one of which is accessible   |           |
| System                    | Description  | Condition |
| Structure                 | Masonry bearing walls and wood-framed roofs  | Fair      |
| Façade                    | Brick with wood windows  | Good      |
| Roof                      | Primary: Gable construction with slate covering  | Poor      |
| Interiors                 | Walls: Painted gypsum board Floors: Carpet, VCT, epoxy coating Ceilings: Painted gypsum board, concrete, Acoustical Ceiling Tile | Poor      |
| Elevators                 | None   |           |



| Plumbing             | Copper supply and cast-iron waste & venting   | Poor |
|----------------------|---|------|
|                      | Gas commercial water heater   |      |
|                      | Toilets, urinals, and sinks in all restrooms, Showers   |      |
| IVAC                 | Central system with boilers feeding hydronic baseboard radiators and cabinets, cast iron radiator                               | Poor |
|                      | Individual condensing units/heat pumps  |      |
|                      | Supplemental components: suspended gas unit heaters, electric furnace   |      |
| Fire Suppression     | Hydrants, fire extinguishers  | Good |
| Electrical           | Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, Emergency: Natural gas generator and UPS, ATS | Poor |
| Fire Alarm           | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up   | Poor |
|                      | emergency lights, and exit signs  |      |
| Equipment/Special    | None  |      |
| Site Pavement        | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs  | Fair |
| Site Development     | Building-mounted  | Good |
| Landscaping and      | Moderate landscaping features   | Good |
| Topography           | Irrigation not present  |      |
|                      | Low to moderate site slopes throughout  |      |
| Utilities            | Municipal water   | Fair |
|                      | Septic tank   |      |
|                      | Local utility-provided electric and natural gas   |      |
| Site Lighting        | Pole-mounted: CFL   | Fair |
|                      | Building-mounted: LED, CFL  |      |
| Ancillary Structures | None  |      |
| Accessibility        | Presently it does not appear an accessibility study is needed for this property.  |      |

#### **Police Station: Systems Summary**

# Key Issues and Findings

Sidewalks are worn with numerous trip hazards, slate roof is aged and requires replacement, boiler is at end of its life with rusted and leaking base, plumbing is failing in numerous places due to aged cast iron piping ,according to POC, generator is not reliable, some exits signs do not light up and there may be missing signs, garage ceiling tiles are stained and crumbling

The Police Station has not been renovated since the 1990's. The original slate roof covering is at the end of its estimated life and the snow guards are deteriorating creating problems in the winter. At the chimney and dormer flashing the roof leaks.

New boiler and generator are recommended. There is no ramp at the front of the building, which could be constructed if the sidewalks are repaired. There is an accessible entrance in the back of the building.

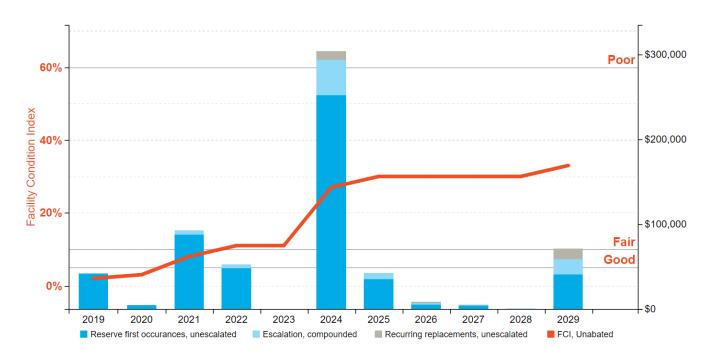
| Police Station: Systems Expenditure Forecast |           |                      |                     |                     |                      |           |
|--|-----------|----------------------|---------------------|---------------------|----------------------|-----------|
| System                                       | Immediate | Short Term<br>(3 yr) | Near Term<br>(5 yr) | Med Term<br>(10 yr) | Long Term<br>(20 yr) | TOTAL     |
| Facade                                       | -         | \$24,800             | -                   | -                   | -                    | \$24,800  |
| Roofing                                      | \$10,300  | -                    | \$11,900            | \$13,800            | \$34,500             | \$70,500  |
| Interiors                                    | -         | \$17,400             | \$12,400            | \$21,300            | \$89,600             | \$140,700 |
| Plumbing                                     | -         | \$48,300             | \$6,000             | \$13,300            | \$31,500             | \$99,100  |
| Fire Suppression                             | -         | -                    | -                   | \$2,900             | -                    | \$2,900   |
| HVAC   | \$23,800  | \$2,900              | -                   | \$4,900             | \$48,800             | \$80,500  |
| Electrical                                   | \$1,700   | \$43,800             | \$250,100           | \$52,800            | \$3,000              | \$351,400 |
| Fire Alarm & Comm                            | -         | -                    | \$23,500            | \$16,700            | \$36,700             | \$76,800  |
| Equipment/Special                            | -         | \$1,100              | -                   | \$900               | \$31,200             | \$33,200  |
| Site Development                             | -         | -                    | -                   | -                   | \$7,900              | \$7,900   |
| Pavement                                     | \$6,300   | \$2,200              | -                   | \$2,600             | \$34,500             | \$45,600  |
| Utilities                                    | -         | \$10,600             | -                   | -                   | -                    | \$10,600  |
| TOTALS                                       | \$42,100  | \$151,100            | \$303,900           | \$129,200           | \$317,700            | \$944,000 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

## **Needs by Year with Unaddressed FCI Over Time**

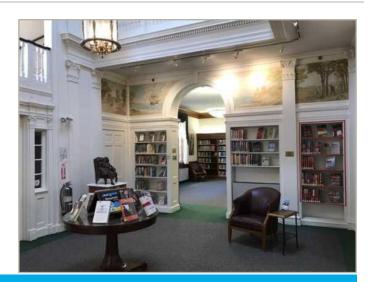
## FCI Analysis: Police Station

Replacement Value: \$ 1,782,113; Inflation rate: 3.0%



# 11 Library





# **Library: Systems Summary**

| Address                   | 1 South Common Street  |               |
|---------------------------|--|---------------|
| Constructed/<br>Renovated | 1935 / 1998  |               |
| Building Size             | 14,916 SF  |               |
| Number of Stories         | Two  |               |
| Site Area                 | 1.29 acres (estimated)   |               |
| Parking Spaces            | 16 spaces along the road; 5 spaces in employee parking lot; two of which a   | re accessible |
| System                    | Description  | Condition     |
| Structure                 | Masonry bearing walls and wood-framed roofs  | Good          |
| Façade                    | Brick with vinyl clad and historical wood windows  | Good          |
| Roof                      | Primary: Gable construction with asphalt shingles Secondary: Gable construction with slate covering Secondary: Flat construction with single-ply EPDM membrane | Fair          |
| Interiors                 | Walls: Painted gypsum board, ceramic tile and wood paneling Floors: Carpet, ceramic tile Ceilings: Painted gypsum board, Acoustical Ceiling Tile               | Good          |
| Elevators                 | Hydraulic: one cars serving all floors   | Fair          |



| Plumbing                      | Copper supply and cast-iron waste & venting  | Fair |
|-------------------------------|--|------|
|                               | Electric domestic water heaters  | · an |
|                               | Toilets, urinals, and sinks in all restrooms   |      |
| HVAC                          | Central system with boilers, air cooled chiller feeding hydronic baseboard radiators and perimeter unit ventilator cabinets    | Fair |
|                               | Individual rooftop package units, split systems  |      |
|                               | Supplemental components: suspended unit heaters, exhaust fans  |      |
| Fire Suppression              | Wet-pipe sprinkler system; hydrants, fire extinguishers, fire pump   | Fair |
| Electrical                    | Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED Emergency: Natural gas generator and UPS, ATS | Fair |
| Fire Alarm                    | Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs                         | Good |
| Equipment/Special             | None   |      |
| Site Pavement                 | Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs   | Good |
| Site Development              | Building-mounted signage Limited park benches, trash receptacles   | Good |
| Landscaping and<br>Topography | Moderate landscaping features Irrigation not present Low to moderate site slopes throughout                                    | Good |
| Utilities                     | Municipal water Septic tank Local utility-provided electric and natural gas  | Good |
| Site Lighting                 | Pole-mounted: LED, CFL Building-mounted: LED   | Fair |
| Ancillary Structures          | None   |      |
| Accessibility                 | Presently it does not appear an accessibility study is needed for this property.   |      |

#### **Library: Systems Summary**

# Key Issues and Findings

The basement floods and has created moisture issues downstairs. The cause of the flooding has not been determined. Additionally, in keeping with the analysis the Town has previously conducted regarding the basement water infiltration issue, EMG concurs that the installation of a French drain around the perimeter of the facility will decrease the probability of water infiltration by diverting storm water runoff away from the building perimeter.

### **Library: Systems Expenditure Forecast**

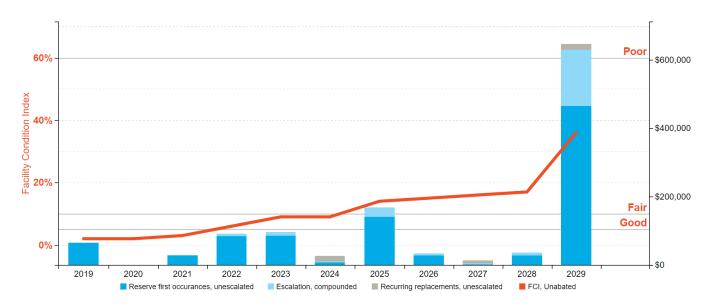
| System            | Immediate | Short Term | Near Term | Med Term  | Long Term   | TOTAL       |
|-------------------|-----------|------------|-----------|-----------|-------------|-------------|
| System            |           | (3 yr)     | (5 yr)    | (10 yr)   | (20 yr)     | TOTAL       |
| Structure         | \$30,400  | -          | -         | -         | -           | \$30,400    |
| Facade            | -         | -          | -         | \$13,400  | \$53,800    | \$67,200    |
| Roofing           | \$16,100  | \$33,100   | \$18,600  | \$21,600  | \$100,200   | \$189,600   |
| Interiors         | -         | \$59,700   | -         | \$67,600  | \$294,700   | \$422,100   |
| Elevators         | -         | -          | -         | \$194,200 | -           | \$194,200   |
| Plumbing          | -         | -          | \$5,800   | \$7,500   | \$179,500   | \$192,800   |
| Fire Suppression  | -         | \$10,400   | -         | \$4,300   | \$37,300    | \$52,000    |
| HVAC              | -         | \$10,200   | \$99,800  | \$478,100 | \$687,400   | \$1,275,400 |
| Electrical        | -         | -          | -         | \$76,200  | \$29,300    | \$105,500   |
| Fire Alarm & Comm | -         | -          | -         | \$26,500  | \$64,600    | \$91,100    |
| Equipment/Special | -         | \$1,500    | -         | \$1,800   | \$4,500     | \$7,800     |
| Landscaping       | \$11,600  | -          | -         | -         | -           | \$11,600    |
| Pavement          | -         | \$7,300    | -         | \$8,500   | \$32,900    | \$48,700    |
| Utilities         | -         | -          | -         | -         | \$17,000    | \$17,000    |
| Follow-up Studies | \$7,200   | -          | -         | -         | -           | \$7,200     |
| TOTALS            | \$65,300  | \$122,200  | \$124,200 | \$899,700 | \$1,501,200 | \$2,712,600 |

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

### **Needs by Year with Unaddressed FCI Over Time**

#### **FCI Analysis: Library**

Replacement Value: \$ 3,203,211; Inflation rate: 3.0%





# 12 Property Space Use and Observed Areas

### **Unit Allocation**

All of the properties are occupied by the Town of Topsfield. The spaces are mostly a combination of offices, service areas, library and meeting rooms, equipment rooms, vehicle garages, storage, with supporting restrooms, administrative offices, and mechanical and other utility spaces.

#### **Areas Observed**

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

### **Key Spaces Not Observed**

All key areas of the property were accessible and observed.

## 13 ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of "areas of public accommodations" and "public facilities" on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

- Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities:
- Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
- Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG's undertaking. Only a representative sample of areas was observed and actual measurements were not taken to verify compliance.

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of "areas of public accommodations" and "commercial facilities" on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to barrier removal must be made.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG's undertaking. Only a representative sample of areas was observed, and actual measurements were not taken to verify compliance.

The facilities that are open to the public were originally constructed in the years from 1873 to 1935. The facility was significantly renovated in the 1998 and in 2019. Complaints about accessibility issues have not been received by the property management. The property does not have associated prior or pending litigation related to existing barriers or previously removed barriers.

An accessibility study has not been performed at the site. Although no significant issues were identified, a comprehensive ADA Compliance Survey would reveal specific aspects of the property that are not in full compliance.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.



| Water Treatment Plant: Accessibility Issues                   |  |   |                      |  |  |  |
|---|--|---|----------------------|--|--|--|
|   | Major Issues                           | Moderate Issues                         | Minor/No Issues      |  |  |  |
|   | (ADA study recommended)                | (ADA study recommended)                 |                      |  |  |  |
| Parking   |  |   | $\boxtimes$          |  |  |  |
| Exterior Path of Travel                                       |  |   | $\boxtimes$          |  |  |  |
| Interior Path of Travel                                       |  |   | $\boxtimes$          |  |  |  |
| Public Use Restrooms  |  |   | $\boxtimes$          |  |  |  |
| Elevators   |  |   | $\boxtimes$          |  |  |  |
| Kitchens/Kitchenettes   |  |   | $\boxtimes$          |  |  |  |
|   |  |   |                      |  |  |  |
| Fire Otation Assess   | 21-220-1                               |   |                      |  |  |  |
| Fire Station : Access   | sibility Issues                        |   |                      |  |  |  |
| Fire Station : Access   | sibility Issues  Major Issues          | Moderate Issues                         | Minor/No Issues      |  |  |  |
| Fire Station : Access   |  | Moderate Issues (ADA study recommended) | Minor/No Issues      |  |  |  |
| Fire Station : Access   | Major Issues                           |   | Minor/No Issues<br>⊠ |  |  |  |
|   | Major Issues (ADA study recommended)   | (ADA study recommended)                 |                      |  |  |  |
| Parking   | Major Issues (ADA study recommended) □ | (ADA study recommended)                 | ×                    |  |  |  |
| Parking<br>Exterior Path of Travel                            | Major Issues (ADA study recommended)   | (ADA study recommended)                 | ⊠<br>⊠               |  |  |  |
| Parking<br>Exterior Path of Travel<br>Interior Path of Travel | Major Issues (ADA study recommended)   | (ADA study recommended)                 | ⊠<br>⊠<br>⊠          |  |  |  |

| Old Highway Garage: Accessibility Issues |                                      |   |                 |  |  |  |
|--|--------------------------------------|---|-----------------|--|--|--|
|  | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |  |  |
| Parking                                  |                                      |   |                 |  |  |  |
| <b>Exterior Path of Travel</b>           |                                      |   | $\boxtimes$     |  |  |  |
| Interior Path of Travel                  |                                      |   |                 |  |  |  |
| Public Use Restrooms                     |                                      |   |                 |  |  |  |
| Elevators                                |                                      |   |                 |  |  |  |
| Kitchens/Kitchenettes                    |                                      |   |                 |  |  |  |

| DPW Building: Accessibility Issues |                         |                         |                 |  |
|------------------------------------|-------------------------|-------------------------|-----------------|--|
|                                    | Major Issues            | Moderate Issues         | Minor/No Issues |  |
|                                    | (ADA study recommended) | (ADA study recommended) |                 |  |
| Parking                            |                         |                         | $\boxtimes$     |  |





| DPW Building: Accessibility Issues |                                      |   |                 |  |
|------------------------------------|--------------------------------------|---|-----------------|--|
|                                    | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| <b>Exterior Path of Travel</b>     |                                      |   | $\boxtimes$     |  |
| Interior Path of Travel            |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms               |                                      |   | $\boxtimes$     |  |
| Elevators                          |                                      |   |                 |  |
| Kitchens/Kitchenettes              |                                      |   |                 |  |
|                                    |                                      |   |                 |  |

| Water Pump Station – Perkins: Accessibility Issues |                                      |   |                 |  |
|--|--------------------------------------|---|-----------------|--|
|  | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking  |                                      |   |                 |  |
| <b>Exterior Path of Travel</b>                     |                                      |   | $\boxtimes$     |  |
| Interior Path of Travel                            |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms                               |                                      |   | $\boxtimes$     |  |
| Elevators  |                                      |   | $\boxtimes$     |  |
| Kitchens/Kitchenettes                              |                                      |   | $\boxtimes$     |  |

| Water Pump Station – North: Accessibility Issues |                                      |   |                 |  |
|--|--------------------------------------|---|-----------------|--|
|  | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking  |                                      |   | $\boxtimes$     |  |
| <b>Exterior Path of Travel</b>                   |                                      |   | $\boxtimes$     |  |
| Interior Path of Travel                          |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms                             |                                      |   |                 |  |
| Elevators  |                                      |   | $\boxtimes$     |  |
| Kitchens/Kitchenettes                            |                                      |   | $\boxtimes$     |  |

| Park and Cemetery Building: Accessibility Issues |                                      |   |                 |  |
|--|--------------------------------------|---|-----------------|--|
|  | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking  |                                      |   | $\boxtimes$     |  |
| Exterior Path of Travel                          |                                      |   | $\boxtimes$     |  |



| Park and Cemetery Building: Accessibility Issues |                                      |   |                 |  |
|--|--------------------------------------|---|-----------------|--|
|  | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Interior Path of Travel                          |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms                             |                                      |   | $\boxtimes$     |  |
| Elevators  |                                      |   |                 |  |
| Kitchens/Kitchenettes                            |                                      |   | $\boxtimes$     |  |
|  |                                      |   |                 |  |

| Town Hall: Accessibility Issues |                                      |   |                 |  |
|---------------------------------|--------------------------------------|---|-----------------|--|
|                                 | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking                         |                                      |   | $\boxtimes$     |  |
| <b>Exterior Path of Travel</b>  |                                      |   | $\boxtimes$     |  |
| Interior Path of Travel         |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms            |                                      |   | $\boxtimes$     |  |
| Elevators                       |                                      |   | $\boxtimes$     |  |
| Kitchens/Kitchenettes           |                                      |   |                 |  |

| Police Station : Accessibility Issues |                                      |   |                 |  |
|---------------------------------------|--------------------------------------|---|-----------------|--|
|                                       | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking                               |                                      |   |                 |  |
| <b>Exterior Path of Travel</b>        |                                      |   |                 |  |
| Interior Path of Travel               |                                      |   | $\boxtimes$     |  |
| Public Use Restrooms                  |                                      |   |                 |  |
| Elevators                             |                                      |   | $\boxtimes$     |  |
| Kitchens/Kitchenettes                 |                                      |   |                 |  |

| Library : Accessibility Issues |                                      |   |                 |  |
|--------------------------------|--------------------------------------|---|-----------------|--|
|                                | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Parking                        |                                      |   |                 |  |
| <b>Exterior Path of Travel</b> |                                      |   |                 |  |
| Interior Path of Travel        |                                      |   | $\boxtimes$     |  |





| Library : Accessibility Issues |                                      |   |                 |  |
|--------------------------------|--------------------------------------|---|-----------------|--|
|                                | Major Issues (ADA study recommended) | Moderate Issues (ADA study recommended) | Minor/No Issues |  |
| Public Use Restrooms           |                                      |   | $\boxtimes$     |  |
| Elevators                      |                                      |   | $\boxtimes$     |  |
| Kitchens/Kitchenettes          |                                      |   |                 |  |

The table below is intended to be used as a general reference guide to help differentiate the orders of magnitude between some of the more commonly observed accessibility issues. The table is not intended to be all-inclusive, and boxes checked in the tables above do not necessarily mean those specific problems or shortcomings cited as examples below exist at the subject buildings and sites. Reference the photolog (in the appendix) and/or *Key Findings* section for visuals and/or more specifics about the subject site conditions.

| Reference Guide         |  |  |  |
|-------------------------|--|--|--|
|                         | Major Issues (ADA study recommended)   | Moderate Issues (ADA study recommended)  | Minor/No Issues  |
| Parking                 | <ul> <li>Needs full reconstruction</li> <li>Excessive slopes over 3% require major re-grading</li> <li>No level locations to add required spaces</li> </ul>  | <ul> <li>No or non-compliant curb cuts</li> <li>Moderate difficulty to add<br/>required accessible spaces</li> <li>Slopes close to compliant</li> </ul>  | <ul><li>Painting of markings needed</li><li>Signage height non-compliant</li><li>Signage missing</li></ul>   |
| Exterior Path of Travel | Large areas of sidewalks with excessive slopes     No ramp when needed     Ramps with excessive slopes   | <ul> <li>Ramps need rails</li> <li>Ramps need rail extensions</li> <li>Need significant # of lever handles</li> <li>All or most entrance door exterior maneuvering clearance areas with excessive slopes</li> </ul>  | <ul> <li>One entrance door exterior maneuvering clearance area with excessive slope</li> <li>A few door knobs instead of lever handles</li> <li>Non-compliant signage</li> </ul>   |
| Interior Path of Travel | - All or most interior doors<br>appear less than 32" wide<br>- Corridors less than 36" wide<br>- No ramp when needed<br>- Ramps with excessive slopes<br>- Non-compliant treads/risers at<br>means of egress stairways | <ul> <li>Single height drinking fountains</li> <li>Drinking fountain too high or protrudes into accessible route</li> <li>Ramps need rails</li> <li>Ramps need rail extensions</li> <li>Need significant # of lever handles</li> <li>Non-compliant rail extensions at egress stairways</li> <li>All/most door thresholds high</li> </ul> | <ul> <li>One door threshold too high</li> <li>A few door knobs instead of lever handles</li> <li>Non-compliant door pressures</li> <li>Non-compliant signage</li> <li>Switches not within reach range</li> </ul>                                       |
| Public Use Restrooms    | No ADA RR on each accessible floor     Restroom(s) too small     Entire restroom(s) requires renovation     Water closet clearance requires moving walls   | Interior doors appear less than 32" wide     Missing or non-compliant grab bars     Easily fixable clearance issues  | <ul> <li>Minor height adjustments required</li> <li>Non-compliant door pressures</li> <li>Missing a visual strobe (only required if audible fire alarm already present)</li> <li>Missing lavatory pipe wraps</li> <li>Signage not compliant</li> </ul> |

| Reference Guide       |   |  |  |
|-----------------------|---|--|--|
|                       | Major Issues (ADA study recommended)  | Moderate Issues (ADA study recommended)  | Minor/No Issues  |
| Elevators             | No elevator present when required     Elevator cab too small                                  | <ul> <li>Panel control buttons not at compliant height</li> <li>No hands-free emergency communication system</li> <li>Elevator only has mechanical stops</li> </ul>                          | <ul> <li>Audible/visual signals at every<br/>floor may be lacking</li> <li>Minor signage / Braille issues</li> </ul>               |
| Kitchens/Kitchenettes | Clear space for each appliance not present     Clearance between opposing counters too narrow | <ul> <li>Sink and counter too high</li> <li>Sink knee and toe clearance<br/>not provided where required<br/>(built-in)</li> <li>Less than 50% of cabinetry<br/>within reach range</li> </ul> | - Dispensers not within reach range - Switches not within reach range - Missing sink pipe wraps if knee and toe clearance required |



## 14 Purpose and Scope

#### 14.1 Purpose

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

| Condition Ratings |   |
|-------------------|---|
| Excellent         | New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.   |
| Good              | Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.   |
| Fair              | Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.  |
| Poor              | Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life. |
| Failed            | Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.   |
| Not Applicable    | Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.  |

#### 14.2 Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans
  with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for
  further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding
  of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior
  common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.



## 15 Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means, CBRE Whitestone*, and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

#### 15.1 Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of EMG's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

#### 15.2 Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

#### 15.3 Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.



Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

#### 15.4 Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

#### 15.5 Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed too far into the future.





#### 16 Certification

Town of Topsfield (the Client) retained EMG to perform this Facility Condition Assessment in connection with its continued operation of 8 West Common Street, Topsfield, Massachusetts, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of the Client for the purpose stated within the *Purpose and Scope* section of this report. The report, or any excerpt thereof, shall not be used by any party other than the Client or for any other purpose than that specifically stated in our agreement or within the *Purpose and Scope* section of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at the Client and the recipient's sole risk, without liability to EMG.

Prepared by: Mary Endsley,

**Project Manager** 

Reviewed by:

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Brian Vickers

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# 17 Appendices

Appendix A: Photographic Record

Appendix B: Site Plans

Appendix C: Pre-Survey Questionnaire

Appendix D: Component Condition Report

Appendix E: Replacement Reserves

Appendix F: Equipment Inventory List

# Appendix A: Photographic Record





#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 REFURBISHED FIRE ESCAPE



#6 REAR PARKING LOT





#7 **GARAGE** 



#8 **HOLDING CELLS** 



#9 OFFICE



#10 OVERHEAD DOORS



FRONT STEPS



#12 **BOILER** 





#13 WATER HEATER



#14 RESTROOM



#15 LOCKER ROOM



TRAINING ROOM

#16



#17 EXHAUST DUCTWORK



#18 LIGHTING





#19 EMERGENCY GENERATOR



#20 LOBBY



#21 OFFICE



#22 CONFERENCE ROOM



#23 OFFICES



#24 THIRD FLOOR HALLWAY





#1 FRONT ELEVATION



#2 EMERGENCY GENERATOR



#3 UNIT HEATER

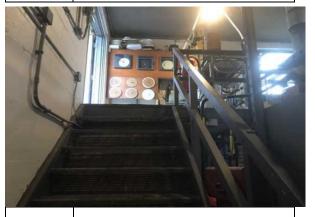


WATER TREATMENT EQUIPMENT

#4



#5 WATER TREATMENT EQUIPMENT



#6 STAIRCASE





#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 SAND STORAGE SHED FRONT ELEVATION



#6 SAND STORAGE SHED SIDE ELEVATION





#7 STORAGE SHED

#8 REAR PARKING LOT



#9 STRUCTURE

#10 METAL ROOF





#11 WALLS

#12 HVAC CENTRAL



#13 HOT WATER HEATER



#14 LOCKER ROOM



#15 MAIN PANEL



EMERGENCY GENERATOR



#17 GARAGE



#18 GARAGE

#16







#19 SIDE ENTRANCE



#20 CONFERENCE ROOM



#21 STORAGE



#22 STAIR TO MEZZANINE



#23 STORAGE ROOM



#24 GARAGE







#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 EMPLOYEE PARKING LOT



#6 FLATWORK





#7 FLATWORK



#8 LANDSCAPING



#9 STRUCTURE



#10 STRUCTURE



#11 FLAT ROOF



#12 PAINTED CMU WALLS





#13 PAINTED CMU



#14 RESTROOM

#16



#15 LOCKER ROOM



EMERGENCY GENERATOR



#17 TRAINING ROOM



#18 HOSE DRYING TOWER





#19 TRAINING ROOM



#20 SECOND FLOOR ROOM



#21 APPARATUS ROOM



#22 KITCHEN



#23 ATTIC



#24 BREAK ROOM



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 REAR ELEVATION



#6 ROADWAY





#7 BOAT STORAGE



#8 ROOF

#10



#9 BROKEN WINDOWS AT RIGHT ELEVATION



BROKEN GLASS BLOCK OPENINGS



#11 DAMAGED BRICK VENEER



#12 DAMAGED FAÇADE





#13 DAMAGED PILASTERS AT GARAGE DOOR OPENINGS



#14 SMALL ENGINE STORAGE



#15 BOAT STORAGE



**EQUIPMENT STORAGE** 

#16



#17 EQUIPMENT STORAGE



#18 STORAGE SHED



#1

ORIGINAL HURST BARN UNDER RENOVATION



#2

NEW PAINT AT FRONT ELEVATION



#3

BARN - REAR ELEVATION



#4

FRONT ELEVATION OF PARKS AND CEMETERY BUILDING



#5

REAR ELEVATION - PARKS AND CEMETERY BUILDING



#6

STRUCTURE



#7 RIGHT ELEVATION NEW CONSTRUCTION FOR EQUIPMENT STORAGE



#8 STORAGE SHED



#9 STORAGE SHED



#10 ROADWAY



#11 ENTRANCE TO REAR STORAGE YARD



#12 STORAGE YARD



#13 WALLS



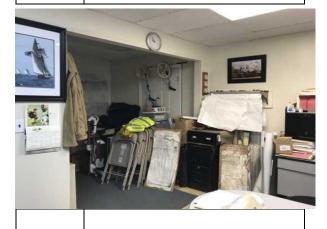
#14 BARN INTERIOR



#15 GARAGE



#16 ENTRANCE HALLWAY



#17 OFFICE



#18 OFFICE





#1 FRONT ELEVATION



#2 EMERGENCY GENERATOR



#3 UNIT HEATER



WATER TREATMENT EQUIPMENT

#4



#5 WATER TREATMENT EQUIPMENT



#6 STAIRCASE



#1 FRONT ELEVATION



#2 RIGHT ELEVATION



#3 LEFT ELEVATION



REAR ELEVATION

#4



#5 PUMP HOUSE



#6 METAL ROOF





#7 CMU SIDING



#8 SPLIT SYSTEM HEAT PUMP



#9 AERATOR



#10 ELECTRICAL DISTRIBUTION



#11 INTERIOR STAIRCASE



WATER TREATMENT EQUIPMENT

#12





#13 BOOSTER STATION



#14 WATER TESTING LAB



#15 TANKS



MAIN ENTRANCE LOBBY



#17 CHEMICAL TREATMENT DOORS



#18 UNIT HEATER

#16



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 RIGHT ELEVATION



#4 RIGHT ELEVATION



#5 REAR ELEVATION



#6 MAIN ENTRANCE



**#7** STAFF PARKING LOT



#8 UNIT VENTILATOR



#9 MAKE-UP AIR UNIT



#10 EMERGENCY GENERATOR



#11 CIRCULATION DESK



#12 LOBBY





#13 COMMUNITY ROOM



#14 READING ROOM



#15 ORIGINAL LOBBY



#16 LIGHT FIXTURE AT BALCONY



#17 CHILDREN'S RESTROOM



#18 HALLWAY IN BASEMENT





#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 RIGHT ELEVATION



#4 REAR ELEVATION



#5 MAIN ENTRANCE



#6 FRONT DOOR









#8 PARKING LOT



#9 ACCESSIBLE PARKING SPACE



#10 NEW SIDEWALKS



#11 RAMP FROM PARKING LOT



#12 NEW CONCRETE STEPS





#13 ORIGINAL FRONT ENTRY



#14 SLATE ROOF



#15 ASPHALT ROOF



NEW OFFICE SPACE

#16



#17 HOT WATER HEATER



#18 COMMON AREA RESTROOM





#19

WHEEL CHAIR LIFT AT COMMUNITY ROOM



#20

0 LOBBY



#21

**BOARD ROOM** 



#22

**KITCHEN** 



#23

HALLWAY ON FIRST FLOOR



#24

**MEETING ROOM** 







#25 FIRE STAIR



#26 COMMUNITY ROOM



#27 THIRD FLOOR HALLWAY IN CLOCKTOWER



#28 WAITING AREA



#29 COUNCIL ON AGING



BASEMENT STRUCTURE BELOW VAULT

#30

# Appendix B: Site Plans





|    | 1111 | 21 | 1 |
|----|------|----|---|
| 16 |      | Ш  |   |
| ٣  |      | J  | , |

Project Name:
Town Hall | Library | Fire Department |
Old Maintenance Garage
Town of Topsfield

Project Number:

137641.19R000-001.322

Source:
Google Maps

On-Site Date:

May 2, 3 and 6, 2019





| <u>Project Name:</u>                |
|-------------------------------------|
| PW Building   Water Treatment Plant |
| own of Tonefield                    |

Project Number: 137641.19R000-001.322

Source:
Google Maps

On-Site Date: May 2, 3 and 6, 2019





| Project Name:     | Project Number:       |
|-------------------|-----------------------|
| Park and Cemetery | 137641.19R000-001.322 |
| Town of Topsfield |                       |

Source:On-Site Date:Google MapsMay 2, 3 and 6, 2019





| Project Name:     | Project Number:       |
|-------------------|-----------------------|
| Police Station    | 137641.19R000-001.322 |
| Town of Topsfield |                       |

| Source:     | On-Site Date:        |
|-------------|----------------------|
| Google Maps | May 2, 3 and 6, 2019 |

# Appendix C: Pre-Survey Questionnaire



### EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

| Building / Facility Name:              | Public Works Facility |
|--|-----------------------|
| Name of person completing form:        | David Bond            |
| Title / Association with property:     | Highway Supt          |
| Length of time associated w/ property: | 19 years              |
| Date Completed:                        | 4/30/19               |
| Phone Number:                          | 978-887-1542          |

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

|   | DATA OVERVIEW  | RESPONSE  |                   |                                 |  |  |  |
|---|--|---|-------------------|---------------------------------|--|--|--|
| 1 | Year/s constructed   | 2000  |                   |                                 |  |  |  |
| 2 | Building size in SF  | 10,800 sf   |                   |                                 |  |  |  |
|   | 8  |   | Year              | Additional Detail               |  |  |  |
|   |  | Façade  |                   | None                            |  |  |  |
|   |  | Roof  | -                 | None                            |  |  |  |
|   | 3 Major Renovation/Rehabilitation  | Interiors   |                   | None                            |  |  |  |
| 3 |  | HVAC  |                   | None                            |  |  |  |
|   |  | Electrical  |                   | None                            |  |  |  |
|   |  | Site Pavement   |                   | None                            |  |  |  |
|   |  | Accessibility   |                   | None                            |  |  |  |
|   | QUESTION   |   | RI                | ESPONSE                         |  |  |  |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date).         | Two new overhead doors installed in 2018 (\$13K) Carbon monoxide detection system replaced in 2017 (\$9K) Replaced all lighting in vehicle storage area with LED lighting 2016 (\$8K) Replaced all of the gas fired unit heaters in garage area in 2015 (\$10K) |                   |                                 |  |  |  |
| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | Plan to mill and pave entire parking lot and roadways, Summer 2019 (\$75K) Yes  |                   |                                 |  |  |  |
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | Roof leaks at the ro  | of penetrations t | for plumbing and heating vents. |  |  |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "*Not Applicable*", **Unk** indicates "*Unknown*")

|    | QUESTION  | RESPONSE |    |     | COMMENTS |  |
|----|---|----------|----|-----|----------|--|
|    |   |          | No | Unk | NA       |  |
| 7  | Are there any problems with foundations or structures, like excessive settlement?   |          | х  |     |          |  |
| 8  | Are there any wall, window, basement or roof leaks?   | х        |    |     |          | Roof penetrations as stated above        |
| 9  | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |          | х  |     |          |  |
| 10 | Are your elevators unreliable, with frequent service calls?   |          |    |     | х        |  |
| 11 | Are there any plumbing leaks, water pressure, or clogging/back-up problems?   |          | х  |     |          |  |
| 12 | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  | Х        |    |     |          | A/C supply line leaked and was repaired. |
| 13 | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  |          | ×  |     |          |  |
| 14 | Is the electrical service outdated, undersized, or otherwise problematic?   |          | х  |     |          | -  |
| 15 | Are there any problems or inadequacies with exterior lighting?  |          | X  |     |          |  |
| 16 | Is site/parking drainage<br>inadequate, with excessive<br>ponding or other problems?  | x        |    |     |          |  |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    |          | X  |     |          |  |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.   |          |    | 8   | х        | Building is fully handicapped accessible |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |          |    |     | х        |  |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?   |          | х  |     |          | None                                     |

#### EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Town Hall Topsfield

Name of person completing form: Donna Rich

Title / Association with property: Purchasing Agent / Community Development

Length of time associated with property: 12 years

Date Completed: May 2, 2019

Phone Number: 978-887-1504

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

|   | DATA OVERVIEW  | RESPONSE   |      |                   |  |
|---|--|--|------|-------------------|--|
| 1 | Year/s constructed   | 1873 / 2019  |      |                   |  |
| 2 | Building size in SF  | 19,364   |      |                   |  |
|   |  |  | Year | Additional Detail |  |
|   |  | Façade   |      |                   |  |
|   |  | Roof   |      |                   |  |
|   |  | Interiors  |      |                   |  |
| 3 | 3 Major Renovation/Rehabilitation  | HVAC   |      |                   |  |
|   |  | Electrical   |      |                   |  |
|   |  | Site Pavement  |      |                   |  |
|   |  | Accessibility  |      |                   |  |
|   | QUESTION   |  | RE   | ESPONSE           |  |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date).         | We just moved back 9/18 after a major renovation/addition project.   |      |                   |  |
| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | New door at historic entrance, acquistic panels in the Public Hall, none are budgeted for, however, we are seeking alternate funding |      |                   |  |
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | None are obvious to date   |      |                   |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

|    | QUESTION  |     | RESPONSE |   |  | Not Applicable", Unk indicates "Unknown")  COMMENTS                  |
|----|---|-----|----------|---|--|--|
|    | QUEUTION  | Yes | No       |   |  | COMMENTO   |
| 7  | Are there any problems with foundations or structures, like excessive settlement?   |     |          | Х |  |  |
| 8  | Are there any wall, window, basement or roof leaks?   |     | Х        |   |  |  |
| 9  | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |     | X        |   |  |  |
| 10 | Are your elevators unreliable, with frequent service calls?   |     | ×        |   |  |  |
| 11 | Are there any plumbing leaks, water pressure, or clogging/back-up problems?   |     | X        |   |  |  |
| 12 | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  |     | Х        |   |  |  |
| 13 | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  |     | X        |   |  |  |
| 14 | Is the electrical service outdated, undersized, or otherwise problematic?   |     | X        |   |  |  |
| 15 | Are there any problems or inadequacies with exterior lighting?  |     | X        |   |  |  |
| 16 | Is site/parking drainage inadequate, with excessive ponding or other problems?  | X   |          |   |  | The slope in the parking area on the south west side is not perfect. |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    |     | X        |   |  |  |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.   |     | X        |   |  |  |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |     |          |   |  |  |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?   |     | Х        |   |  |  |

#### EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Topsfield Fire Department

Name of person completing form: Jen Collins-Brown

Title / Association with property: Fire Chief

Length of time associated w/ property: 32 Years

Date Completed: 4/30/19

Phone Number: 978-887-5148

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

| -55 | DATA OVERVIEW  |                   | R                 | ESPONSE   |  |  |
|-----|--|-------------------|-------------------|---|--|--|
| 1   | Year/s constructed   | 1969              |                   |   |  |  |
| 2   | Building size in SF  | 5,866             |                   |   |  |  |
|     | 6  |                   | Year              | Additional Detail                                   |  |  |
|     |  | Façade            |                   | Original  |  |  |
|     |  | Roof              |                   | Unsure  |  |  |
|     | 3 Major Renovation/Rehabilitation  | Interiors         | 2018              | Asbestos abatement and new flooring on second floor |  |  |
| 3   |  | HVAC              |                   | Original  |  |  |
|     |  | Electrical        |                   | Original  |  |  |
|     |  | Site Pavement     |                   | Original  |  |  |
|     |  | Accessibility     |                   | Not accessible                                      |  |  |
|     | QUESTION   |                   | R                 | ESPONSE   |  |  |
| 4   | List other significant capital improvements (focus on recent years; provide approximate date).         | *                 |                   |   |  |  |
| 5   | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | Not budgeted. Roo | of leaks, HVAC ir | nefficient, No collection tanks for floor drains.   |  |  |

Describe any on-going extremely problematic, historically chronic, or immediate facility needs.

Leaking roof, HVAC

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "*Not Applicable*". Unk indicates "*Unknown*")

|    | QUESTION  | RESPONSE |    |     | COMMENTS |  |
|----|---|----------|----|-----|----------|--|
|    |   | Yes      | No | Unk | NA       | CONTRACTOR DESIGNATION OF THE RESIDENCE OF THE PARTY OF T |
| 7  | Are there any problems with foundations or structures, like excessive settlement?   |          | Х  |     |          |  |
| 8  | Are there any wall, window, basement or roof leaks?   | ×        |    |     |          | Roof   |
| 9  | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |          | X  |     |          |  |
| 10 | Are your elevators unreliable, with frequent service calls?   |          |    |     | ×        |  |
| 11 | Are there any plumbing leaks, water pressure, or clogging/back-up problems?   | Х        |    |     |          | Occasionally drain in hose tower backs up, but is from upstairs kitchen sink.  |
| 12 | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  |          | х  |     |          |  |
| 13 | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  |          | X  |     |          | Heating is old and inefficient. No A/C so rely on many window units. Poor insulation identified on several energy audits.  |
| 14 | Is the electrical service outdated, undersized, or otherwise problematic?   | X        |    |     |          | Complicated system with relays makes upgrading difficult and expensive.  |
| 15 | Are there any problems or inadequacies with exterior lighting?  |          | Х  |     |          |  |
| 16 | Is site/parking drainage inadequate, with excessive ponding or other problems?  |          | Х  |     |          |  |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    |          | X  | 8   |          |  |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.   | х        |    |     |          | February 2013  |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |          | х  |     |          |  |

| N  | lark the column corresponding to the a<br>backup documentation for any  | appropria<br><b>Yes</b> res | ate respo<br>ponses. | onse. Pl<br>( <b>NA</b> ind | ease pr<br>licates " | ovide additional details in the Comments column, or Not Applicable", Unk indicates "Unknown") |
|----|---|-----------------------------|----------------------|-----------------------------|----------------------|---|
|    | QUESTION  | RESPONSE                    |                      |                             |                      | COMMENTS  |
|    |   | Yes                         | No                   | Unk                         | NA                   |   |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation? |                             | х                    |                             |                      |   |

\*

# EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Topsfield Town Library

Name of person completing form: Laura Zalewski

Title / Association with property: Library Director

Length of time associated w/ property: 6.5 years

Date Completed: May 2, 2019

Phone Number: 978.887.1528 x207

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

|   | DATA OVERVIEW  | RESPONSE  |           |   |  |  |  |  |
|---|--|---|-----------|---|--|--|--|--|
| 1 | Year/s constructed   | 1935/addition added in 1999   |           |   |  |  |  |  |
| 2 | Building size in SF  | 15,896  |           |   |  |  |  |  |
|   | Major Renovation/Rehabilitation  |   | Year      | Additional Detail   |  |  |  |  |
|   |  | Façade  | 1935/1999 | Brick   |  |  |  |  |
|   |  | Roof  | 1935/1999 | Slate and EPDM  |  |  |  |  |
|   |  | Interiors   | 1935/1999 | Plaster and drywall   |  |  |  |  |
| 3 |  | HVAC  | 2010/2014 | Chiller, condenser and make up air unit replaced in 2010. New boiler installed in December 2014. One pipe system. |  |  |  |  |
|   |  | Electrical  | 1999      |   |  |  |  |  |
|   |  | Site Pavement   | 1999      | Asphalt walk ways. Asphalt staff parking lot. On street parking.  |  |  |  |  |
|   |  | Accessibility   | 1999      | Main entrance at ground level   |  |  |  |  |
|   | QUESTION   | RESPONSE  |           |   |  |  |  |  |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date). | 2013 – Energy management system installed, wireless thermostats<br>2015 – Back up generator installed |           |   |  |  |  |  |

| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | FY2020 – Roof repair (\$10,000), repainting/recarpeting Periodical and Mystery rooms (\$6,500)  FY2021 – Recarpet Circulation area and Fiction area (\$15,000), New automatic ADA accessible front doors (\$30,000)  FY2022 – Recarpet Children's Room (\$10,000)  FY2023 – Recarpet 2 <sup>nd</sup> floor (\$15,000)  Only the FY2020 repainting and recarpeting is funded by the Gould B trust fund. |
|---|--|--|
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | Roof leaks, old roof, chiller problems, re-wrapping pipes in meeting room, water problems in basement  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown") QUESTION RESPONSE COMMENTS Yes No Unk NA Are there any problems with The library has experienced settling but I'm not sure 7 foundations or structures, like X if I would characterize as excessive. excessive settlement? Are there any wall, window, Basement has flooding issues. 8 X basement or roof leaks? Has any part of the facility ever For the first time, the library experienced a mold 9 contained visible suspect mold issue on the basement walls, in the meeting room. It growth, or have there been any X was remediated on 9/19/19. indoor air quality or mold related complaints from occupants? Are your elevators unreliable, with 10 X frequent service calls? Are there any plumbing leaks, 11 water pressure, or clogging/back-X up problems? Have there been any leaks or 12 pressure problems with natural X gas, HVAC supply/return lines, or steam service? Are any areas of the facility 13 inadequately heated, cooled or X ventilated? Any poorly insulated areas? Is the electrical service outdated, 14 undersized, or otherwise X problematic? Are there any problems or 15 X inadequacies with exterior lighting? Is site/parking drainage 16 inadequate, with excessive Х ponding or other problems?

|    | QUESTION   |               | RESP | ONSE |               | COMMENTS |
|----|--|---------------|------|------|---------------|----------|
|    |  | Yes           | No   | Unk  | NA            |          |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above? |               | х    |      |               |          |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.  | SOM DESCRIBES | х    |      | 60/40000711-0 |          |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?                                      |               |      |      | х             |          |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?                          |               | х    |      |               |          |

## EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

| Building / Facility Name:              | NOUGH STYLLET STAKEON  |          |
|--|------------------------|----------|
| Name of person completing form:        | GNEE KAON              |          |
| Title / Association with property:     | WATER SUPPOSITION SEAT |          |
| Length of time associated w/ property: | 31 YEARS               | 0.000000 |
| Date Completed:                        | 5-1-2019               |          |
| Phone Number:                          | 978 887 1517           |          |

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

|   | DAT/A OVERVIEW   | RESPONSE  |      |                   |  |  |  |
|---|--|---|------|-------------------|--|--|--|
| 1 | Year/s constructed   | 1949  |      |                   |  |  |  |
| 2 | Building size in SF  | 1600  |      |                   |  |  |  |
|   | ,  |   | Year | Additional Detail |  |  |  |
|   |  | Façade  | 1    |                   |  |  |  |
|   |  | Roof  | -    |                   |  |  |  |
|   | Major Renovation/Rehabilitation  | Interiors   | 1    |                   |  |  |  |
| 3 |  | HVAC  | -    |                   |  |  |  |
|   |  | Electrical  | 2004 |                   |  |  |  |
|   |  | Site Pavement   | 1,   |                   |  |  |  |
|   |  | Accessibility   | 1    |                   |  |  |  |
|   | QUESTION TO THE  |   |      | ESPONSE           |  |  |  |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date).         | REPLACES MASON ECENTRICAL COMPONERS, PUMPS<br>NAMES + AMAGE GENERAL |      |                   |  |  |  |
| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | NEW ROOF, HUNC SYSTEM. NO, NOT BUSIETTS YET.                        |      |                   |  |  |  |
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | HAS TO REMOVE SECTION OF ROOF OWELHARD                              |      |                   |  |  |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

|    | QUESTION  |     | RESP | ONSE |     | COMMENTS               |
|----|---|-----|------|------|-----|------------------------|
|    |   | Yes | No   | Unk  | NA. |                        |
| 7  | Are there any problems with foundations or structures, like excessive settlement?   |     | ×    |      |     |                        |
| 8  | Are there any wall, window, basement or roof leaks?   |     | *    |      |     |                        |
| 9  | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |     | K    |      |     | HUMOS + COLLOSSON      |
| 10 | Are your elevators unreliable, with frequent service calls?   |     |      |      | *   |                        |
| 11 | Are there any plumbing leaks, water pressure, or clogging/back-up problems?   |     | 74   |      |     |                        |
| 12 | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  |     | v    |      |     |                        |
| 13 | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  | ×   |      |      |     |                        |
| 14 | Is the electrical service outdated, undersized, or otherwise problematic?   |     | ×    |      |     | -                      |
| 15 | Are there any problems or inadequacies with exterior lighting?  |     | p    |      |     |                        |
| 16 | Is site/parking drainage inadequate, with excessive ponding or other problems?  |     | ×    |      |     |                        |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    |     | ×    |      |     |                        |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.   |     |      |      | ×   | NOT A PUBLICE BUTCOPIL |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |     |      |      |     |                        |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?   |     |      |      |     |                        |

## EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

| Building / Facility Name:              | PECKEUS (COL) STATION |
|--|-----------------------|
| Name of person completing form:        | GREG Killon           |
| Title / Association with property:     | warm surceptioned     |
| Length of time associated w/ property: | 31 YRANS              |
| Date Completed:                        | 5-1-2019              |
| Phone Number:                          | 978 887-1517          |

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

|   | DATIA OMERVIEW   |                           | i PN     | SPONSER                                      |
|---|--|---------------------------|----------|--|
| 1 | Year/s constructed   | 1969                      |          |  |
| 2 | Building size in SF  | 1200                      |          |  |
|   |  |                           | Year     | Additional Detail                            |
|   |  | Façade                    |          |  |
| 9 |  | Roof                      | 19905    | _  |
|   | Major Renovation/Rehabilitation  | Interiors                 |          |  |
| 3 |  | HVAC                      | 2000     | -  |
|   |  | Electrical                |          |  |
|   |  | Site Pavement             |          |  |
|   |  | Accessibility             |          |  |
|   | QUESTION   |                           | R        | ESPONSE: W                                   |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date).         | Nows                      |          |  |
| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | PENOVE NEPL<br>STANDBY PO | WE WATEN | unics composition, Plantok<br>EL HUAC SYSTEM |
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        |                           | •        |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

|    | QUESTION  | UESTION RESPONSE |    | COMMENTS |     |                               |
|----|---|------------------|----|----------|-----|-------------------------------|
|    |   | Yes              | No | Unk      | NA. |                               |
| 7  | Are there any problems with foundations or structures, like excessive settlement?   |                  | ×  |          |     |                               |
| 8  | Are there any wall, window, basement or roof leaks?   | ×                |    |          |     | SMALL ROOF (FAIL O CHEMPEX    |
| 9  | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |                  | ×  |          |     | BUT HUMOD                     |
| 10 | Are your elevators unreliable, with frequent service calls?   |                  |    |          | ×   |                               |
| 11 | Are there any plumbing leaks, water pressure, or clogging/back-up problems?   |                  | ×  |          |     |                               |
| 12 | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  |                  | K  |          |     |                               |
| 13 | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  | ×                |    |          | -   | TOO HUMED                     |
| 14 | Is the electrical service outdated,<br>undersized, or otherwise<br>problematic?   | ×                |    |          |     | MOTER CONTROL SYSTEM OBSOLETE |
| 15 | Are there any problems or inadequacies with exterior lighting?  |                  | ×  |          |     |                               |
| 16 | Is site/parking drainage inadequate, with excessive ponding or other problems?  |                  | Ø  |          |     |                               |
| 17 | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    |                  | ×  |          |     |                               |
| 18 | ADA: Has an accessibility study been performed at the site? If so, indicate when.   |                  |    | *        | ×   | NOT A PUBLIC BUSCOPAL         |
| 19 | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |                  |    |          |     |                               |
| 20 | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?   |                  |    |          |     |                               |

## EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Police Department

Name of person completing form: Katherine Jackson

Title / Association with property: Executive Assistant

Length of time associated w/ property: 4 Years

Date Completed: 4/30/19

Phone Number: 978-412-5353

**Directions:** Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

| * *   | DATA OVERVIEW  | RESPONSE  |                  |                                |  |  |  |  |
|---|--|---|------------------|--------------------------------|--|--|--|--|
| 1   | Year/s constructed   | 1935  |                  |                                |  |  |  |  |
| 2   | Building size in SF  | 5,912   |                  |                                |  |  |  |  |
|   | ·  |   | Year             | Additional Detail              |  |  |  |  |
|   |  | Façade  | 2018             | Painting (trim) & fire escapes |  |  |  |  |
| ***************************************   |  | Roof  | 2016             | Repairs                        |  |  |  |  |
|   | Major Renovation/Rehabilitation  | Interiors   |                  |                                |  |  |  |  |
| 3   |  | HVAC  | 2016             | 1 <sup>st</sup> floor          |  |  |  |  |
| ***************************************   |  | Electrical  |                  |                                |  |  |  |  |
| Charles and Charles and Charles   |  | Site Pavement   |                  |                                |  |  |  |  |
| A the control of the |  | Accessibility   |                  |                                |  |  |  |  |
|   | QUESTION   |   | R                | ESPONSE '                      |  |  |  |  |
| 4   | List other significant capital improvements (focus on recent years; provide approximate date).         | Landscaping, Tree work, replaced staircase with rubberized treads, cells replaced, gutters, major plumbing, exterior painting, kitchen walls repaired and painted, pump in kitchen sink and all heating vent cleaned. These repairs were completed in 2018-2019 |                  |                                |  |  |  |  |
| 5   | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | Plumbing repairs in phases for next 3 years, carpeting the 2 <sup>nd</sup> floor, cement repair to walkway, replace 1 <sup>st</sup> floor with LVT flooring, renovate booking room  |                  |                                |  |  |  |  |
| 6   | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | Major roofing repair  | , plumbing/pipin | g .                            |  |  |  |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

| QUESTION |   | RESPONSE |    |     |    | COMMENTS  |
|----------|---|----------|----|-----|----|---|
|          |   | Yes      | No | Unk | NA |   |
| 7        | Are there any problems with foundations or structures, like excessive settlement?   |          | *  |     |    |   |
| 8        | Are there any wall, window, basement or roof leaks?   |          | *  |     |    |   |
| 9        | Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants? |          | *  |     |    |   |
| 10       | Are your elevators unreliable, with frequent service calls?   |          | *  |     |    | N/A there are no elevators in the building              |
| 11       | Are there any plumbing leaks,<br>water pressure, or clogging/back-<br>up problems?  |          | *  |     |    | However, plumbing needs to be addressed                 |
| 12       | Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?  |          | *  |     |    |   |
| 13       | Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?  | *        |    |     |    | The building is not vented well and is poorly insulated |
| 14       | Is the electrical service outdated, undersized, or otherwise problematic?   |          | *  |     |    |   |
| 15       | Are there any problems or inadequacies with exterior lighting?  |          | *  |     |    | Replaced 2018   |
| 16       | Is site/parking drainage inadequate, with excessive ponding or other problems?  |          | *  |     |    |   |
| 17       | Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?                    | *        |    |     |    | Concrete repair to walkway                              |
| 18       | ADA: Has an accessibility study been performed at the site? If so, indicate when.   | *        |    |     |    | 2012  |
| 19       | ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?   |          | *  |     |    |   |
| 20       | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?   |          | *  |     |    |   |

| IV. | lark the column corresponding to the a<br>backup documentation for any  | appropria<br><b>Yes</b> res | ate resp<br>ponses. | onse. Pl<br>( <b>NA</b> inc | ease pro<br>licates " <i>N</i> | vide additional details in the Comments column, or lot Applicable", Unk indicates "Unknown") |
|-----|---|-----------------------------|---------------------|-----------------------------|--------------------------------|--|
| Ħ   | QUESTION  | RESPONSE                    |                     |                             |                                | COMMENTS   |
|     |   | Yes                         | No                  | Unk                         | NA                             |  |
| 20  | ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation? |                             | х                   | ,                           |                                |  |

\* \*

## EMG FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

| Building / Facility Name:              | WATER THENMENT PLANT |
|--|----------------------|
| Name of person completing form:        | Goke tran            |
| Title / Association with property:     | ward subleationer    |
| Length of time associated w/ property: | 2 YEARS              |
| Date Completed:                        | 5),/2019             |
| Phone Number:                          | 978 887 1517         |

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

|   | DATA OVERVIEW  |               | RE   | SPONSE            |  |  |  |  |
|---|--|---------------|------|-------------------|--|--|--|--|
| 1 | Year/s constructed   | 2017-2019     |      |                   |  |  |  |  |
| 2 | Building size in SF  | 8000          |      |                   |  |  |  |  |
|   | ,  |               | Year | Additional Detail |  |  |  |  |
|   |  | Façade        |      |                   |  |  |  |  |
|   |  | Roof          |      |                   |  |  |  |  |
|   | Major Renovation/Rehabilitation  | Interiors     |      |                   |  |  |  |  |
| 3 |  | HVAC          |      | -                 |  |  |  |  |
|   |  | Electrical    |      |                   |  |  |  |  |
|   |  | Site Pavement |      |                   |  |  |  |  |
|   |  | Accessibility |      |                   |  |  |  |  |
|   | QUESTION   | RESPONSE      |      |                   |  |  |  |  |
| 4 | List other significant capital improvements (focus on recent years; provide approximate date).         | NOW           |      |                   |  |  |  |  |
| 5 | List any major capital expenditures planned/requested for the next few years. Have they been budgeted? | NowR          |      |                   |  |  |  |  |
| 6 | Describe any on-going extremely problematic, historically chronic, or immediate facility needs.        | 5 HOW         |      |                   |  |  |  |  |

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown") COMMENTS RESPONSE QUESTION Yes No Unk NA Are there any problems with foundations or structures, like X excessive settlement? Are there any wall, window, 8 basement or roof leaks? Y Has any part of the facility ever contained visible suspect mold X growth, or have there been any indoor air quality or mold related complaints from occupants? Are your elevators unreliable, with 10 4 frequent service calls? Are there any plumbing leaks, 11 water pressure, or clogging/back-X up problems? Have there been any leaks or 12 pressure problems with natural M gas, HVAC supply/return lines, or steam service? Are any areas of the facility 13 inadequately heated, cooled or A ventilated? Any poorly insulated areas? Is the electrical service outdated, 14 4 undersized, or otherwise problematic? Are there any problems or 15 4 inadequacies with exterior lighting? Is site/parking drainage 16 inadequate, with excessive X ponding or other problems? Are there any other unresolved 17 construction defects or significant X issues/hazards at the property that have not yet been identified above? ADA: Has an accessibility study 18 been performed at the site? If so, A NOT A PUBLIC BUTCHEY indicate when. ADA: If a study has occurred, have 19 the associated recommendations been addressed? In full or in part? ADA: Have there been regular 20 complaints about accessibility issues, or associated previous or

pending litigation?

# Appendix D: Component Condition Report



## Component Condition Report

## DPW Building - New

| UF Code        | Location               | Condition | Asset/Component/Repair   | Quantity                                | RUL | ID      |
|----------------|------------------------|-----------|--|---|-----|---------|
| Facade         |                        |           |  |   |     |         |
| B2011          | Building Exterior      | Good      | Exterior Wall, Metal/Insulated Sandwich Panels, 2" Thick   | 2,525 SF                                | 21  | 1234169 |
| B2021          | Building Exterior      | Fair      | Window, Aluminum Double-Glazed Gas-Filled 12 SF, 1-2 Stories   | 20                                      | 11  | 1234220 |
| B2034          | Building Exterior      | Excellent | Overhead Door, Aluminum Roll-Up 288 SF   | 2                                       | 34  | 1234192 |
| Roofing        |                        |           |  |   |     |         |
| B3011          | Roof                   | Good      | Roof, Metal  | 14,500 SF                               | 21  | 1234153 |
| B3011          | Roof                   | Poor      | Roof, Metal, Repair  | 750 SF                                  | 0   | 1239302 |
| Interiors      |                        |           |  |   |     |         |
| C1021          | Throughout interior    | Fair      | Interior Door, Steel   | 10                                      | 6   | 1234191 |
| C1031          | Restrooms              | Good      | Toilet Partitions, Wood  | 1                                       | 5   | 1234176 |
| C1033          | Locker rooms           | Fair      | Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers  | 15                                      | 5   | 1234195 |
| C3012          | Throughout interior    | Fair      | Interior Wall Finish, Generic Surface, Prep & Paint  | 2,500 SF                                | 5   | 1234160 |
| C3021          | Garage                 | Fair      | Interior Floor Finish, Concrete, Prep & Paint  | 7,850 SF                                | 5   | 1234199 |
| C3024          | Throughout interior    | Fair      | Interior Floor Finish, Vinyl Tile (VCT)  | 1,250 SF                                | 5   | 1234165 |
| C3025          | Throughout interior    | Fair      | Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic   | 500 SF                                  | 7   | 1234203 |
| C3032          | Throughout interior    | Fair      | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)   | 1,250 SF                                | 4   | 1234209 |
| Plumbing       |                        |           |  |   |     |         |
| D2011          | Restrooms              | Fair      | Toilet, Tankless (Water Closet)  | 2                                       | 5   | 1234181 |
| D2012          | Restroom               | Fair      | Urinal, Vitreous China   | 1                                       | 5   | 1234177 |
| D2014          | Garage                 | Fair      | Sink/Lavatory, Plastic   | 2                                       | 3   | 1234155 |
| D2014          | Break room             | Fair      | Sink/Lavatory, Stainless Steel   | 1                                       | 5   | 1234159 |
| D2014          | Restrooms              | Fair      | Sink/Lavatory, Porcelain Enamel, Cast Iron   | 3                                       | 3   | 1234185 |
| D2017          | Locker rooms           | Fair      | Shower, Ceramic Tile   | 2                                       | 11  | 1234173 |
| D2018          | Lobby                  | Fair      | Drinking Fountain, Refrigerated  | 1                                       | 3   | 1234188 |
| D2019          | Vehicle repair         | Good      | Emergency Eye Wash & Shower Station  | 1                                       | 10  | 1234202 |
| D2021          | Mechanical room        | Fair      | Water Flow Meter, 1" [No tag/plate found]  | 1                                       | 6   | 1234156 |
| D2023          | Mechanical room        | Fair      | Water Heater, Gas, Commercial, 60 to 120 GAL [No tag/plate found]  | 1                                       | 3   | 1234197 |
| D2029          | Throughout interior    | Fair      | Plumbing System, Domestic Supply   | 10,800 SF                               | 21  | 1234180 |
| Fire Suppressi | •                      |           | 3.5,,  | .,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,, |     |         |
| D4019          | Throughout interior    | Fair      | Sprinkler Heads (per SF)   | 10,800 SF                               | 2   | 1234211 |
| D4031          | Throughout interior    | Fair      | Fire Extinguisher  | 8                                       | 6   | 1234198 |
| HVAC           | This agricult interior |           | The Example of the Control of the Co | <u> </u>                                |     | 1201100 |
| D3032          | Site                   | Fair      | Condensing Unit/Heat Pump, Split System, 6 to 7.5 Ton  | 1                                       | 3   | 1234207 |
| D3042          | Vehicle repair         | Excellent | Exhaust Fan, Centrifugal, 8,001 to 10,000 CFM [No tag/plate found]   | <br>1                                   | 14  | 1234208 |
| D3042<br>D3042 | Garage                 | Excellent | Exhaust Fan, Propeller, 10,000 CFM   | 1                                       | 14  | 1234206 |
| D3042<br>D3051 | Throughout interior    | Good      | Unit Heater, Natural Gas, 11 to 25 MBH   | 6                                       | 17  | 1234175 |
| D3051          | Administration         | Fair      |  | 5                                       | 3   |         |
|                | Auministration         | Гаш       | Furnace, Gas, 25 MBH [No tag/plate found]  | 5                                       | 3   | 1234162 |
| Electrical     |                        |           | Division Development of the Company  | ,                                       |     |         |
| D5012          | Mechanical room        | Fair      | Distribution Panel, 400 AMP [No tag/plate found]   | 1                                       | 11  | 1234210 |

#### **DPW Building - New**

| UF Code        | Location            | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
|----------------|---------------------|-----------|---|-----------|-----|---------|
| D5012          | Mechanical room     | Fair      | Transfer Switch, Automatic (ATS), 600 V, 400 Amp [No tag/plate found] | 1         | 6   | 1234214 |
| D5029          | Throughout interior | Fair      | Lighting System, Interior, Office Building, Upgrade                   | 10,800 SF | 24  | 1239301 |
| D5092          | Throughout interior | Fair      | Exit Lighting Fixture, w/ Battery                                     | 7         | 8   | 1234218 |
| D5092          | Site                | Fair      | Generator, 35 - 60 kW [No tag/plate found]                            | 1         | 6   | 1234212 |
| Fire Alarm & C | Comm                |           |   |           |     |         |
| D5037          | Throughout interior | Fair      | Fire Alarm System, Office Building, Install                           | 10,800 SF | 3   | 1234166 |
| D5037          | Electrical room     | Fair      | Fire Alarm Control Panel, Addressable                                 | 1         | 6   | 1234172 |
| Equipment/Spe  | ecial               |           |   |           |     |         |
| E1094          | Breakroom           | Fair      | Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]   | 1         | 7   | 1234171 |
| E2012          | Breakroom           | Fair      | Kitchen Cabinet, Base and Wall Section, Wood                          | 10 LF     | 5   | 1234219 |
| Pavement       |                     |           |   |           |     |         |
| G2022          | Site                | Poor      | Parking Lots, Asphalt Pavement, Seal & Stripe                         | 22,865 SF | 1   | 1234186 |
| G2022          | Site                | Poor      | Parking Lots, Asphalt Pavement, Mill & Overlay                        | 22,865 SF | 1   | 1234215 |
| Site Developm  | ent                 |           |   |           |     |         |
| G2049          | Site                | Good      | Shed, Wooden Framed, Asphalt Shingles                                 | 3,420 SF  | 11  | 1279218 |
| Utilities      |                     |           |   |           |     |         |
| G3026          | Site                | Fair      | Septic Tank, 1,000 GAL  | 1         | 11  | 1290714 |

#### Fire Station

| UF Code   | Location            | Condition | Asset/Component/Repair                                     | Quantity | RUL | ID      |
|-----------|---------------------|-----------|--|----------|-----|---------|
| Facade    |                     |           |  |          |     |         |
| B2011     | Building Exterior   | Poor      | Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint   | 2,500 SF | 1   | 1234247 |
| B2011     | Building Exterior   | Good      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint | 2,750 SF | 21  | 1234270 |
| B2021     | Building Exterior   | Good      | Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories         | 15       | 27  | 1234244 |
| B2032     | Building Exterior   | Fair      | Exterior Door, Wood Solid-Core w/ Safety Glass             | 4        | 5   | 1234246 |
| B2034     | Building Exterior   | Fair      | Overhead Door, Steel Insulated Roll-Up 288 SF              | 3        | 5   | 1234264 |
| Roofing   |                     |           |  |          |     |         |
| B3011     | Roof                | Fair      | Roof, Asphalt Shingle                                      | 3,850 SF | 3   | 1234245 |
| B3011     | Roof                | Good      | Roof, Single-Ply EPDM Membrane                             | 2,150 SF | 11  | 1234253 |
| Interiors |                     |           |  |          |     |         |
| C1021     | Throughout interior | Fair      | Interior Door, Wood Solid-Core                             | 5        | 8   | 1234275 |
| C3012     | Throughout interior | Fair      | Interior Wall Finish, Generic Surface, Prep & Paint        | 5,400 SF | 2   | 1234236 |
| C3024     | Training room       | Fair      | Interior Floor Finish, Vinyl Tile (VCT)                    | 2,000 SF | 14  | 1234248 |
| C3031     | Throughout interior | Fair      | Interior Ceiling Finish, Exposed/Generic, Prep & Paint     | 5,400 SF | 3   | 1234260 |
| C3032     | Training room       | Fair      | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)   | 2,000 SF | 10  | 1234243 |
| Plumbing  |                     |           |  |          |     |         |
| D2011     | Restrooms           | Good      | Toilet, Flush Tank (Water Closet)                          | 3        | 18  | 1234222 |
| D2012     | Restrooms           | Fair      | Urinal, Vitreous China                                     | 1        | 17  | 1234242 |
| D2014     | Restrooms           | Fair      | Sink/Lavatory, Vitreous China                              | 3        | 8   | 1234241 |
| D2015     | Locker room         | Good      | Bathtub & Shower Enclosure, Fiberglass                     | 1        | 8   | 1234255 |
| D2018     | Apparatus room      | Good      | Drinking Fountain, Refrigerated                            | 1        | 8   | 1234229 |

#### Fire Station

| UF Code        | Location            | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
|----------------|---------------------|-----------|---|-----------|-----|---------|
| D2023          | Boiler room         | Fair      | Water Heater, Gas, Commercial, 60 to 120 GAL [No tag/plate found]     | 1         | 4   | 1234239 |
| D2029          | Throughout interior | Fair      | Plumbing System, Domestic Supply                                      | 10,210 SF | 6   | 1234279 |
| Fire Suppress  | sion                |           |   |           |     |         |
| D4031          | Throughout interior | Good      | Fire Extinguisher   | 5         | 10  | 1234280 |
| HVAC           |                     |           |   |           |     |         |
| D3021          | Boiler room         | Fair      | Boiler, 1010 MBH [No tag/plate found]                                 | 1         | 3   | 1234257 |
| D3041          | Throughout interior | Fair      | Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton)                     | 5         | 5   | 1234269 |
| D3041          | Attic               | Poor      | Air Handler, Interior, 1,301 to 2,500 CFM [No tag/plate found]        | 1         | 0   | 1234224 |
| D3042          | Hose drying tower   | Fair      | Exhaust Fan, Centrifugal, 10,001 to 16,000 CFM [No tag/plate found]   | 1         | 7   | 1234230 |
| D3051          | Aparatus room       | Fair      | Unit Heater, Hydronic, 37 to 85 MBH [No tag/plate found]              | 2         | 10  | 1234231 |
| Electrical     |                     |           |   |           |     |         |
| D5012          | Breakroom           | Fair      | Distribution Panel, 400 AMP [No tag/plate found]                      | 1         | 6   | 1234259 |
| D5019          | Throughout interior | Fair      | Electrical Distribution System, Office Building, Upgrade              | 10,210 SF | 20  | 1239339 |
| D5029          | Throughout interior | Fair      | Lighting System, Interior, Office Building, Upgrade                   | 10,210 SF | 10  | 1239340 |
| D5092          | Generator room      | Fair      | Transfer Switch, Automatic (ATS), 600 V, 260 Amp [No tag/plate found] | 1         | 3   | 1234267 |
| D5092          | Throughout interior | Good      | Exit Lighting Fixture, w/ Battery                                     | 1         | 8   | 1234278 |
| D5092          | Utility closet      | Fair      | Generator, Gas or Gasoline, 30 kW [No tag/plate found]                | 1         | 3   | 1234277 |
| Fire Alarm & C | Comm                |           |   |           |     |         |
| D5037          | Throughout interior | Fair      | Fire Alarm System, Office Building, Install                           | 10,210 SF | 4   | 1234250 |
| D5037          | Office              | Good      | Fire Alarm Control Panel, Addressable [No tag/plate found]            | 1         | 9   | 1234256 |
| Equipment/Sp   | pecial              |           |   |           |     |         |
| E1016          | Kitchen             | Good      | Commercial Laundry, Washer, 51 to 60 LB [No tag/plate found]          | 1         | 7   | 1234225 |
| E1094          | Kitchen             | Fair      | Residential Appliances, Dishwasher [No tag/plate found]               | 1         | 7   | 1234234 |
| E1094          | Kitchen             | Good      | Residential Appliances, Microwave [No tag/plate found]                | 1         | 8   | 1234274 |
| E1094          | Kitchen             | Good      | Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]   | 1         | 12  | 1234271 |
| E1094          | Kitchen             | Good      | Residential Appliances, Range, Electric [No tag/plate found]          | 1         | 12  | 1234227 |
| E2012          | Kitchen             | Good      | Kitchen Cabinet, Base and Wall Section, Wood                          | 20 LF     | 16  | 1234254 |
| E2012          | Kitchen             | Good      | Kitchen Counter, Plastic Laminate, Postformed                         | 20 LF     | 5   | 1234261 |
| Pavement       |                     |           |   |           |     |         |
| G2012          | Site                | Fair      | Roadways, Asphalt Pavement, Mill & Overlay                            | 22,250 SF | 6   | 1234240 |
| G2022          | Site                | Fair      | Parking Lots, Asphalt Pavement, Seal & Stripe                         | 22,250 SF | 2   | 1234226 |
| Utilities      |                     |           |   |           |     |         |
| G3026          | Site                | Fair      | Septic Tank, 1,000 GAL  | 1         | 6   | 1290715 |

### Library

| UF Code   | Location          | Condition | Asset/Component/Repair                                     | Quantity | RUL | ID      |
|-----------|-------------------|-----------|--|----------|-----|---------|
| Structure |                   |           |  |          |     |         |
| A2022     | Basement          | NA        | Basement Wall, Waterproofing of Exterior Face              | 3,400 SF | 0   | 1279276 |
| Facade    |                   |           |  |          |     |         |
| B2011     | Building Exterior | Good      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint | 7,380 SF | 22  | 1234355 |
| B2011     | Building Exterior | Fair      | Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint   | 2,850 SF | 7   | 1234307 |

### Library

| UF Code      | Location                  | Condition | Asset/Component/Repair   | Quantity  | RUL | ID      |
|--------------|---------------------------|-----------|--|-----------|-----|---------|
| B2021        | Building Exterior         | Good      | Window, Wood Historical 24 SF  | 20        | 25  | 1234306 |
| B2031        | Building Exterior         | Good      | Exterior Door, Fully-Glazed Wood Solid-Core                            | 10        | 20  | 1234328 |
| Roofing      |                           |           |  |           |     |         |
| B3011        | Roof                      | Fair      | Roof, Slate  | 248 SF    | 0   | 1234324 |
| B3011        | Roof                      | Good      | Roof, Single-Ply EPDM Membrane   | 2,810 SF  | 15  | 1234309 |
| B3011        | Roof                      | Fair      | Roof, Asphalt Shingle  | 8,850 SF  | 3   | 1234359 |
| B3021        | Roof                      | Good      | Roof Skylight, Glass Single Unit                                       | 50 SF     | 25  | 1234376 |
| Interiors    |                           |           |  |           |     |         |
| C1021        | Throughout interior       | Good      | Interior Door, Wood Solid-Core   | 20        | 2   | 1234347 |
| C1031        | Common area restrooms     | Good      | Toilet Partitions, Metal Overhead-Braced                               | 3         | 20  | 1234320 |
| C3012        | Common area restrooms     | Good      | Interior Wall Finish, Ceramic Tile                                     | 1,800 SF  | 20  | 1234352 |
| C3012        | First floor reading rooms | Good      | Interior Wall Finish, Wood Paneling                                    | 1,250 SF  | 22  | 1279275 |
| C3012        | Throughout interior       | Good      | Interior Wall Finish, Generic Surface, Prep & Paint                    | 18,650 SF | 3   | 1234343 |
| C3024        | Common area restrooms     | Good      | Interior Floor Finish, Ceramic Tile                                    | 1,800 SF  | 50  | 1234331 |
| C3025        | Throughout interior       | Good      | Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic       | 7,800 SF  | 6   | 1234375 |
| C3032        | Throughout interior       | Good      | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)               | 12,500 SF | 15  | 1234316 |
| Elevators    |                           |           |  |           |     |         |
| D1011        | Elevator                  | Fair      | Elevator, Hydraulic, 1500 to 2500 LB, 3 Floors, Renovate [298-P-14]    | 1         | 10  | 1234351 |
| Plumbing     |                           |           |  |           |     | -       |
| D2011        | Common area restrooms     | Good      | Toilet, Tankless (Water Closet)  | 6         | 15  | 1234367 |
| D2012        | Common area restrooms     | Fair      | Urinal, Vitreous China   | 1         | 15  | 1234315 |
| D2014        | Common area restrooms     | Good      | Sink/Lavatory, Porcelain Enamel, Cast Iron                             | 5         | 15  | 1234353 |
| D2014        | Community room            | Good      | Sink/Lavatory, Stainless Steel   | 1         | 15  | 1234299 |
| D2018        | Throughout interior       | Good      | Drinking Fountain, Refrigerated  | 4         | 5   | 1234350 |
| D2023        | Throughout building       | Fair      | Water Heater, Electric, Residential, 5 to 15 GAL                       | 6         | 7   | 1234354 |
| D2023        | Throughout building       | Good      | Water Heater, Electric, Residential, 10 GAL [Inaccessible]             | 2         | 12  | 1234341 |
| D2029        | Throughout interior       | Fair      | Plumbing System, Domestic Supply                                       | 14,916 SF | 18  | 1234304 |
| Fire Suppres | sion                      |           |  |           |     |         |
| D4011        | Sprinkler room            | Fair      | Backflow Preventer, Fire Suppression, 6" [No tag/plate found]          | 1         | 3   | 1234325 |
| D4012        | Sprinkler room            | Fair      | Fire Pump, 10 HP   | 1         | 11  | 1234361 |
| D4019        | Throughout interior       | Fair      | Sprinkler System, Full Retrofit, School (per SF), Renovate             | 14,916 SF | 29  | 1234322 |
| D4019        | Throughout interior       | Fair      | Sprinkler Heads (per SF)   | 14,916 SF | 11  | 1234311 |
| D4031        | Throughout interior       | Good      | Fire Extinguisher  | 9         | 10  | 1234356 |
| HVAC         |                           |           |  |           |     |         |
| D3021        | Sprinkler room            | Good      | Boiler, 399 MBH [No tag/plate found]                                   | 1         | 20  | 1234327 |
| D3022        | Sprinkler room            | Fair      | Condensate Return Station, 15 GAL [No tag/plate found]                 | 1         | 4   | 1234314 |
| D3031        | Roof                      | Fair      | Chiller, Air-Cooled, 50 Ton  | 1         | 4   | 1234333 |
| D3032        | Site                      | Fair      | Condensing Unit/Heat Pump, Split System, 5 Ton [No tag/plate found]    | 1         | 10  | 1234377 |
| D3041        | First floor               | Good      | Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton) [No tag/plate found] | 10        | 10  | 1234371 |
| D3041        | Roof                      | Good      | Make-Up Air Unit, 20,000 CFM [No tag/plate found]                      | 1         | 15  | 1234334 |

#### Library

| UF Code      | Location            | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
|--------------|---------------------|-----------|---|-----------|-----|---------|
| D3041        | Throughout interior | Good      | HVAC System Ductwork, Sheet Metal   | 14,916 SF | 20  | 1234321 |
| D3041        | Throughout interior | Good      | Variable Air Volume (VAV) Unit, 801 to 1,300 CFM [No tag/plate found]         | 30        | 10  | 1238362 |
| D3041        | Second floor        | Fair      | Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton)                             | 10        | 6   | 1234373 |
| D3042        | Utility closet      | Good      | Exhaust Fan, Centrifugal, 2,000 CFM [EF-3]                                    | 1         | 7   | 1234349 |
| D3042        | Roof                | Fair      | Exhaust Fan, Centrifugal, 801 to 2,000 CFM [EF-1]                             | 1         | 5   | 1234345 |
| D3042        | Roof                | Good      | Exhaust Fan, Centrifugal, 801 to 2,000 CFM [No tag/plate found]               | 1         | 8   | 1234303 |
| D3045        | Sprinkler room      | Fair      | Distribution Pump, Chiller & Condenser Water, 3 HP [P-1]                      | 1         | 3   | 1234336 |
| D3045        | Sprinkler room      | Fair      | Distribution Pump, Chiller & Condenser Water, 3 HP [P-2]                      | 1         | 3   | 1234360 |
| D3051        | Throughout interior | Fair      | Unit Heater, Electric, 20 kW [No tag/plate found]                             | 1         | 10  | 1234344 |
| D3068        | Boiler room         | Good      | HVAC Controls, Building Automation System (BAS), Upgrade [No tag/plate found] | 14,916 SF | 19  | 1234301 |
| Electrical   |                     |           |   |           |     |         |
| D5012        | Utility closet      | Good      | Distribution Panel, 300 AMP [MDP]   | 1         | 25  | 1234372 |
| D5012        | Basement            | Good      | Transfer Switch, Automatic (ATS), 600 V, 200 Amp                              | 1         | 14  | 1234302 |
| D5012        | Utility closet      | Fair      | Distribution Panel, 208 Y, 120 V, 225 Amp                                     | 1         | 9   | 1234342 |
| D5012        | Utility closet      | Fair      | Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]                | 1         | 25  | 1234308 |
| D5022        | Site                | Good      | LED Lighting Fixture, Basic, 20 W   | 5         | 15  | 1234365 |
| D5092        | Throughout interior | Good      | Exit Lighting Fixture, w/ Battery   | 20        | 7   | 1234323 |
| D5092        | Site                | Fair      | Generator, Gas or Gasoline, 60 kW [No tag/plate found]                        | 1         | 10  | 1234370 |
| Fire Alarm & | Comm                |           |   |           |     |         |
| D5037        | Throughout interior | Fair      | Fire Alarm System, School, Install  | 14,916 SF | 11  | 1234338 |
| D5037        | Utility closet      | Good      | Fire Alarm Control Panel, Addressable [No tag/plate found]                    | 1         | 9   | 1234364 |
| Equipment/S  | Special             |           |   |           |     |         |
| E1028        | Community room      | Good      | Defibrillator (AED), Cabinet Mounted  | 1         | 3   | 1234335 |
| Pavement     |                     |           |   |           |     |         |
| G2022        | Site                | Good      | Parking Lots, Asphalt Pavement, Seal & Stripe                                 | 8,800 SF  | 3   | 1238359 |
| G2022        | Site                | Good      | Parking Lots, Asphalt Pavement, Seal & Stripe                                 | 8,800 SF  | 3   | 1234369 |
| G2031        | Site                | Good      | Pedestrian Pavement, Sidewalk, Concrete Large Areas                           | 765 SF    | 18  | 1234363 |
| Landscaping  | ]                   |           |   |           |     |         |
| G2052        | Building Perimeter  | NA        | Landscaping, French Drain, Install  | 290 LF    | 0   | 1412486 |
| Utilities    |                     |           |   |           |     |         |
| G3026        | Site                | Fair      | Septic Tank, 1,000 GAL  | 1         | 18  | 1290716 |
| Follow-up St | tudies              |           |   |           |     |         |
| P000X        | Basement            | NA        | Engineer, Civil, Site/Storm Drainage, Evaluate/Report                         | 1         | 0   | 1279277 |

## Old Highway Garage

| UF Code | Location          | Condition | Asset/Component/Repair                                    | Quantity | RUL | ID      |
|---------|-------------------|-----------|---|----------|-----|---------|
| Facade  |                   |           |   |          |     |         |
| B2011   | Building Exterior | Poor      | Exterior Wall, Glass Block                                | 100 SF   | 0   | 1234415 |
| B2011   | Building Exterior | Poor      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair | 1,240 SF | 0   | 1234379 |
| B2021   | Building Exterior | Failed    | Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories        | 20       | 0   | 1234414 |
| B2034   | Building Exterior | Fair      | Overhead Door, Steel Insulated Roll-Up 144 SF             | 7        | 3   | 1234397 |

### Old Highway Garage

| UF Code        | Location            | Condition | Asset/Component/Repair                            | Quantity  | RUL | ID      |
|----------------|---------------------|-----------|---|-----------|-----|---------|
| Roofing        |                     |           |   |           |     |         |
| B3011          | Roof                | Fair      | Roof, Asphalt Shingle                             | 5,400 SF  | 3   | 1234411 |
| HVAC           |                     |           |   |           |     |         |
| D3051          | Throughout interior | Failed    | Unit Heater, Electric, 20 kW [No tag/plate found] | 2         | 0   | 1234401 |
| Fire Alarm & C | omm                 |           |   |           |     |         |
| D5037          | Throughout interior | NA        | Fire Alarm System, School, Install                | 3,969 SF  | 0   | 1234412 |
| Pavement       |                     |           |   |           |     |         |
| G2022          | Site                | Fair      | Parking Lots, Asphalt Pavement, Mill & Overlay    | 10,540 SF | 3   | 1234406 |
| G2022          | Site                | Poor      | Parking Lots, Asphalt Pavement, Seal & Stripe     | 10,540 SF | 0   | 1238366 |
| Site Developm  | ent                 |           |   |           |     |         |
| G2041          | Site                | NA        | Fences & Gates, Chain Link, 6' High               | 650 LF    | 0   | 1238364 |
| G2049          | Site                | Fair      | Shed, Wooden Framed, Asphalt Shingles             | 120 SF    | 12  | 1238367 |

#### Park & Cemetery Building

| UF Code      | Location            | Condition | Asset/Component/Repair   | Quantity | RUL | ID      |
|--------------|---------------------|-----------|--|----------|-----|---------|
| Facade       |                     |           |  |          |     |         |
| B2011        | Barn                | Excellent | Exterior Wall, Wood Shakes/Shingles, 1-2 Stories   | 75 SF    | 20  | 1234453 |
| B2011        | Building Exterior   | Fair      | Exterior Wall, Metal/Insulated Sandwich Panels to Vinyl Siding, 1-2 Stories, Replace with vinyl siding | 290 SF   | 0   | 1234433 |
| B2011        | Barn                | Poor      | Exterior Wall, Wood Shakes/Shingles, 1-2 Stories   | 280 SF   | 0   | 1234431 |
| B2021        | Building Exterior   | Good      | Window, Aluminum Double-Glazed 12 SF, 1-2 Stories  | 5        | 25  | 1234425 |
| B2032        | Building exterior   | Good      | Exterior Door, Steel Insulated   | 1        | 5   | 1239397 |
| B2032        | Building Exterior   | Excellent | Exterior Door, Wood Solid-Core   | 2        | 25  | 1234439 |
| B2034        | Building exterior   | Fair      | Overhead Door, Steel Insulated Roll-Up 144 SF  | 2        | 25  | 1239396 |
| Roofing      |                     |           |  |          |     |         |
| B3011        | Roof                | Fair      | Roof, Metal to Asphalt Shingle 20-Year, Replace with Asphalt Shingles                                  | 2,100 SF | 2   | 1234432 |
| B3011        | Barn                | Poor      | Roof, Wood Shake/Shingle   | 500 SF   | 0   | 1234422 |
| Interiors    |                     |           |  |          |     |         |
| C3012        | Throughout interior | Good      | Interior Wall Finish, Generic Surface, Prep & Paint  | 1,250 SF | 5   | 1234435 |
| C3024        | Office              | Fair      | Interior Floor Finish, Vinyl Tile (VCT)  | 850 SF   | 7   | 1234430 |
| C3032        | Office              | Good      | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)   | 850 SF   | 15  | 1234458 |
| Plumbing     |                     |           |  |          |     |         |
| D2011        | Restrooms           | Good      | Toilet, Flush Tank (Water Closet)  | 2        | 19  | 1234427 |
| D2012        | Restrooms           | Fair      | Urinal, Vitreous China   | 1        | 4   | 1234448 |
| D2014        | Restrooms           | Fair      | Sink/Lavatory, Porcelain Enamel, Cast Iron   | 2        | 8   | 1234455 |
| D2018        | Restrooms           | Fair      | Drinking Fountain, Refrigerated  | 1        | 4   | 1234459 |
| D2023        | Restrooms           | Fair      | Water Heater, 40 GAL [No tag/plate found]  | 1        | 13  | 1234419 |
| D2029        | Throughout interior | Fair      | Plumbing System, Domestic Supply   | 1,600 SF | 4   | 1234441 |
| Fire Suppres | ssion               |           |  |          |     |         |
| D4031        | Throughout interior | Good      | Fire Extinguisher  | 3        | 12  | 1234442 |
| HVAC         |                     |           |  |          |     |         |
| D3051        | Grounds garage      | Excellent | Unit Heater, Natural Gas, 56 to 75 MBH [No tag/plate found]  | 2        | 19  | 1234426 |

#### Park & Cemetery Building

| UF Code      | Location            | Condition | Asset/Component/Repair                           | Quantity  | RUL | ID      |
|--------------|---------------------|-----------|--|-----------|-----|---------|
| Electrical   |                     |           |  |           |     |         |
| D5012        | Office              | Fair      | Distribution Panel, 200 AMP [No tag/plate found] | 1         | 20  | 1234447 |
| Fire Alarm & | Comm                |           |  |           |     |         |
| D5037        | Throughout interior | Fair      | Fire Alarm System, Office Building, Install      | 1,600 SF  | 3   | 1234462 |
| D5037        | Office              | Good      | Fire Alarm Control Panel, Addressable            | 1         | 13  | 1234437 |
| Pavement     |                     |           |  |           |     |         |
| G2022        | Site                | Poor      | Parking Lots, Asphalt Pavement, Seal & Stripe    | 25,500 SF | 1   | 1234429 |
| G2022        | Site                | Fair      | Parking Lots, Asphalt Pavement, Mill & Overlay   | 25,000 SF | 7   | 1234436 |
| Site Develop | ment                |           |  |           |     |         |
| G2049        | Site                | Fair      | Shed, Wooden Framed, Asphalt Shingles            | 1,310 SF  | 12  | 1279234 |
| G2049        | Site                | Fair      | Shed, Wooden Framed, Asphalt Shingles            | 1,320 SF  | 12  | 1279235 |
| G2049        | Site                | Fair      | Shed, Wooden Framed, Asphalt Shingles            | 130 SF    | 12  | 1279236 |
| Utilities    |                     |           |  |           |     |         |
| G3026        | Site                | Fair      | Septic Tank, 1,000 GAL                           | 1         | 4   | 1290718 |

#### **Police Station**

| UF Code   | Location            | Condition | Asset/Component/Repair   | Quantity | RUL | ID      |
|-----------|---------------------|-----------|--|----------|-----|---------|
| Facade    |                     |           |  |          |     |         |
| B2011     | Building Exterior   | Good      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint       | 2,000 SF | 22  | 1234522 |
| B2021     | Building Exterior   | Fair      | Window, Aluminum Double-Glazed 12 SF, 3+ Stories                 | 35       | 3   | 1234496 |
| Roofing   |                     |           |  |          |     |         |
| B3011     | Roof                | Poor      | Roof, Slate  | 158 SF   | 0   | 1234518 |
| Interiors |                     |           |  |          |     |         |
| C1021     | Throughout interior | Good      | Interior Door, Wood Hollow-Core                                  | 15       | 17  | 1234498 |
| C1031     | Restrooms           | Fair      | Toilet Partitions, Wood  | 2        | 5   | 1234475 |
| C1033     | Locker room         | Good      | Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers  | 15       | 15  | 1234490 |
| C3012     | Throughout interior | Good      | Interior Wall Finish, Generic Surface, Prep & Paint              | 6,750 SF | 5   | 1234503 |
| C3021     | Holding cells       | Good      | Interior Floor Finish, Epoxy Coating, Prep & Paint               | 600 SF   | 7   | 1234525 |
| C3024     | Throughout interior | Fair      | Interior Floor Finish, Vinyl Tile (VCT)                          | 2,350 SF | 3   | 1234531 |
| C3025     | Throughout interior | Fair      | Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic | 1,250 SF | 6   | 1234469 |
| C3031     | Garage              | Poor      | Interior Ceiling Finish, Concrete, Prep & Paint                  | 2,500 SF | 1   | 1239393 |
| C3032     | Throughout interior | Fair      | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)         | 950 SF   | 10  | 1234481 |
| Plumbing  |                     |           |  |          |     |         |
| D2011     | Restrooms           | Good      | Toilet, Flush Tank (Water Closet)                                | 4        | 8   | 1234517 |
| D2011     | Holding cells       | Good      | Toilet, Tankless (Water Closet)                                  | 3        | 18  | 1234512 |
| D2014     | Restrooms           | Fair      | Sink/Lavatory, Vitreous China                                    | 6        | 5   | 1234473 |
| D2014     | Kitchen             | Good      | Sink/Lavatory, Stainless Steel                                   | 1        | 17  | 1234526 |
| D2014     | Garage              | Fair      | Sink, Pot, Multi-compartment                                     | 4        | 12  | 1234506 |
| D2017     | Locker room         | Fair      | Shower, Ceramic Tile   | 3        | 10  | 1234471 |
| D2023     | Basement            | Fair      | Water Heater, 40 GAL [No tag/plate found]                        | 1        | 3   | 1234491 |
| D2029     | Throughout interior | Poor      | Plumbing System, Domestic Supply                                 | 5,912 SF | 2   | 1234487 |

### Police Station

| UF Code       | Location            | Condition   | Asset/Component/Repair  | Quantity | RUL | ID      |
|---------------|---------------------|-------------|---|----------|-----|---------|
| Fire Suppress | sion                |             |   |          |     |         |
| D4019         | Throughout interior | Fair        | Sprinkler System, Full Retrofit, Medium Density/Complexity, Install         | 5,912 SF | 23  | 1234483 |
| D4031         | Throughout interior | Good        | Fire Extinguisher   | 6        | 10  | 1234479 |
| HVAC          |                     |             |   |          |     |         |
| D3021         | Basement            | Poor        | Boiler, 699 MBH [No tag/plate found]  | 1        | 0   | 1234484 |
| D3032         | Site                | Fair        | Condensing Unit/Heat Pump, 3.5 TON  | 1        | 13  | 1234511 |
| D3032         | Site                | Fair        | Condensing Unit/Heat Pump, 3.5 TON  | 1        | 6   | 1234493 |
| D3051         | Throughout interior | Fair        | Radiator, Cast Iron   | 21       | 20  | 1234465 |
| D3051         | Throughout interior | Fair        | Unit Heater, Hydronic, 8 to 12 MBH  | 3        | 3   | 1234508 |
| D3051         | Electrical room     | Good        | Furnace, Electric, 180 MBH  | 1        | 18  | 1234533 |
| Electrical    |                     |             |   |          |     |         |
| D5012         | Electrical room     | Fair        | Distribution Panel, 600 AMP [Panel MDP]                                     | 1        | 10  | 1234482 |
| D5012         | Electrical room     | Fair        | Distribution Panel, 100 AMP [No tag/plate found]                            | 1        | 10  | 1234492 |
| D5012         | Electrical room     | Fair        | Distribution Panel, 100 AMP [LI-1]  | 1        | 10  | 1234529 |
| D5012         | Electrical room     | Fair        | Distribution Panel, 125 AMP [ELB1]  | 1        | 10  | 1234510 |
| D5012         | Electrical room     | Fair        | Transfer Switch, Automatic (ATS), 600 V, 150 Amp [No tag/plate found]       | 1        | 6   | 1234489 |
| D5019         | Throughout interior | Fair        | Electrical Distribution System, Office Building, Upgrade                    | 5,912 SF | 5   | 1234516 |
| D5029         | Throughout interior | Fair        | Lighting System, Interior, Office Building, Upgrade                         | 5,912 SF | 5   | 1239390 |
| D5092         | Electrical room     | Poor        | Generator, Gas or Gasoline, 35 kW to 60 kW [No tag/plate found]             | 1        | 2   | 1234470 |
| D5092         | Throughout interior | Poor        | Exit Lighting Fixture, w/ Battery, Replace or install                       | 4        | 0   | 1234514 |
| Fire Alarm &  | Comm                |             |   |          |     |         |
| D5037         | Lobby               | Fair        | Fire Alarm Control Panel, Addressable [No tag/plate found]                  | 1        | 5   | 1234515 |
| D5037         | Throughout interior | Fair        | Fire Alarm System, Office Building, Install                                 | 5,912 SF | 6   | 1234485 |
| Equipment/S   | pecial              |             |   |          |     |         |
| E1094         | Kitchen             | Good        | Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]         | 1        | 14  | 1234477 |
| E1094         | Kitchen             | Fair        | Residential Appliances, Range, Gas [No tag/plate found]                     | 1        | 3   | 1234521 |
| E1094         | Kitchen             | Fair        | Residential Appliances, Range Hood, Vented or Ventless [No tag/plate found] | 1        | 3   | 1234528 |
| E2012         | Kitchen             | Good        | Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30"     | 15       | 17  | 1234505 |
| E2012         | Kitchen             | Good        | Kitchen Counter, Plastic Laminate, Postformed                               | 15 LF    | 9   | 1234520 |
| Pavement      |                     |             |   |          |     |         |
| G2022         | Site                | Fair        | Parking Lots, Asphalt Pavement, Seal & Stripe                               | 5,490 SF | 2   | 1234480 |
| G2022         | Site                | Fair        | Parking Lots, Asphalt Pavement, Mill & Overlay                              | 5,490 SF | 15  | 1234495 |
| G2031         | Site                | Poor        | Pedestrian Pavement, Sidewalk, Concrete Large Areas                         | 700 SF   | 0   | 1234474 |
| Site Develop  | ment                |             |   |          |     |         |
| G2048         | Site                | Good        | Flagpole, Metal   | 2        | 15  | 1234501 |
| Utilities     |                     |             |   |          |     |         |
| G3026         | Site                | Fair        | Septic Tank, 1,000 GAL  | 1        | 2   | 1290719 |
| Town Hall     |                     |             |   |          |     |         |
| UF Code       | Location            | Condition   | Asset/Component/Repair  | Quantity | RUL | ID      |
| Facade        | ->+*******          | 20114111011 |   | quantity |     |         |

| UF Code   | Location              | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
|-----------|-----------------------|-----------|---|-----------|-----|---------|
| B2011     | Building Exterior     | Good      | Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint                                | 3,750 SF  | 9   | 1234883 |
| B2011     | Building Exterior     | Good      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint                              | 3,250 SF  | 24  | 1234808 |
| B2011     | Building Exterior     | Good      | Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint                                | 2,360 SF  | 9   | 1234802 |
| B2021     | Building Exterior     | Excellent | Window, Aluminum Double-Glazed 12 SF, 1-2 Stories                                       | 15        | 29  | 1234890 |
| B2021     | Building Exterior     | Good      | Window, Wood 24 SF, 3+ Stories  | 24        | 29  | 1234852 |
| B2023     | Building Exterior     | Excellent | Storefront, Metal-Framed Windows w/out Door(s)  | 100 SF    | 29  | 1234824 |
| B2031     | Building Exterior     | Excellent | Exterior Door, Fully-Glazed Aluminum-Framed Swinging                                    | 6         | 29  | 1234184 |
| Roofing   |                       |           |   |           |     |         |
| B3011     | Roof                  | Excellent | Roof, Single-Ply EPDM Membrane  | 560 SF    | 19  | 1234831 |
| B3011     | Roof                  | Good      | Roof, Slate   | 330 SF    | 4   | 1234836 |
| B3011     | Roof                  | Excellent | Roof, Asphalt Shingle Premium Grade   | 2,950 SF  | 29  | 1234858 |
| Interiors |                       |           |   |           |     |         |
| C1031     | Common area restrooms | Excellent | Toilet Partitions, Metal Overhead-Braced  | 6         | 19  | 1234886 |
| C3012     | Restrooms             | Excellent | Interior Wall Finish, Ceramic Tile  | 3,575 SF  | 24  | 1234837 |
| C3012     | Throughout interior   | Excellent | Interior Wall Finish, Generic Surface, Prep & Paint                                     | 28,725 SF | 7   | 1234815 |
| C3012     | Throughout interior   | Good      | Interior Wall Finish, Wood Paneling   | 1,245 SF  | 19  | 1234820 |
| C3024     | Throughout interior   | Excellent | Interior Floor Finish, Ceramic Tile   | 2,350 SF  | 49  | 1234833 |
| C3024     | Interior Stairs       | Excellent | Interior Floor Finish, Vinyl Tile (VCT)   | 1,150 SF  | 15  | 1234856 |
| C3024     | Throughout interior   | Excellent | Interior Floor Finish, Quarry Tile  | 1,250 SF  | 35  | 1283360 |
| C3024     | Throughout interior   | Good      | Interior Floor Finish, Wood Strip   | 3,750 SF  | 29  | 1234870 |
| C3025     | Throughout interior   | Good      | Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic                        | 12,150 SF | 9   | 1234875 |
| C3031     | Meeting room          | Excellent | Interior Ceiling Finish, Metal  | 875 SF    | 49  | 1234841 |
| C3031     | Throughout interior   | Excellent | Interior Ceiling Finish, Exposed/Generic, Prep & Paint                                  | 9,575 SF  | 10  | 1234849 |
| C3032     | Througout interior    | Excellent | Interior Ceiling Finish, Suspended Acoustical Tile (ACT)                                | 7,800 SF  | 19  | 1234854 |
| Elevators |                       |           |   | <u> </u>  |     |         |
| D1011     | Elevator              | Excellent | Elevator, Overhead Traction, 2000 to 5000 LB, 2-5 Floors, Renovate [No tag/plate found] | 1         | 29  | 1234848 |
| D1013     | Meeting room          | Excellent | Wheelchair Lift, Install [No tag/plate found]   | 1         | 24  | 1234891 |
| D1019     | Elevator              | Excellent | Elevator Cab Finishes, Standard w/out Stainless Steel Doors                             | 1         | 9   | 1234818 |
| Plumbing  | 2.070.0               |           |   | <u> </u>  |     |         |
| D2011     | Common area restrooms | Excellent | Toilet, Tankless (Water Closet)   | 6         | 19  | 1234801 |
| D2011     | Common area restrooms | Excellent | Urinal, Vitreous China  | 2         | 19  | 1234863 |
| D2014     | Common area restrooms | Excellent | Sink/Lavatory, Porcelain Enamel, Cast Iron  | 6         | 19  | 1234866 |
| D2014     | Kitchen               | Excellent | Sink/Lavatory, Stainless Steel  | 1         | 19  | 1234865 |
| D2014     | Kitchen               | Excellent | Sink/Lavatory, Stainless Steel  | 1         | 19  | 1234869 |
| D2014     | Throughout interior   | Excellent | Drinking Fountain, Refrigerated   | 6         | 9   | 1234810 |
| D2010     |                       |           |   |           |     |         |
|           | Mechanical room       | Good      | Backflow Preventer, Domestic, 0.75"   | 1         | 14  | 1234803 |
| D2023     | Mechanical room       | Excellent | Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]                          | 1         | 19  | 1234860 |
| D2023     | Mechanical room       | Excellent | Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]                          | 1         | 19  | 1234840 |
| D2023     | Mechanical room       | Good      | Domestic Circulator or Booster Pump, 1 HP [No tag/plate found]                          | 1         | 19  | 1234798 |
| D2023     | Mechanical room       | Good      | Domestic Circulator or Booster Pump, 3 HP [P-3]   | 1         | 19  | 1234829 |
| D2023     | Boiler room           | Excellent | Water Heater, Electric, Commercial, 20 GAL [No tag/plate found]                         | 1         | 14  | 1       |

| Town Hall    |                     |           |   |           |     |         |
|--------------|---------------------|-----------|---|-----------|-----|---------|
| UF Code      | Location            | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
| D2029        | Throughout interior | Excellent | Plumbing System, Domestic Supply  | 19,364 SF | 39  | 1234826 |
| D2043        | Basement            | Good      | Sump Pump, 3 HP [No tag/plate found]  | 1         | 14  | 1234876 |
| Fire Suppres | ssion               |           |   |           |     |         |
| D4011        | Sprinkler room      | Good      | Backflow Preventer, Fire Suppression, 6" [No tag/plate found]                 | 1         | 19  | 1234888 |
| D4012        | Basement            | Excellent | Fire Pump, 10 HP [No tag/plate found]   | 1         | 19  | 1234889 |
| D4019        | Throughout interior | Excellent | Sprinkler Heads (per SF)  | 19,364 SF | 19  | 1234813 |
| D4031        | Throughout interior | Excellent | Fire Extinguisher - Type ABC  | 10        | 14  | 1234851 |
| HVAC         |                     |           |   |           |     |         |
| D3021        | Mechanical room     | Good      | Boiler, Gas, 101 to 125 MBH [No tag/plate found]                              | 1         | 17  | 1234887 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 10 Ton [No tag/plate found]          | 1         | 14  | 1234884 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 1 Ton [ACCU-4]                       | 1         | 14  | 1234847 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 1 Ton [AccU-3]                       | 1         | 14  | 1234881 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 10 Ton [No tag/plate found]          | 1         | 14  | 1234838 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 1 Ton [ACCU-5]                       | 1         | 15  | 1234811 |
| D3032        | Roof                | Excellent | Condensing Unit/Heat Pump, Split System, 8 Ton [No tag/plate found]           | 1         | 14  | 1234814 |
| D3041        | Attic               | Excellent | Make-Up Air Unit, 6,000 CFM [No tag/plate found]                              | 1         | 19  | 1234839 |
| D3042        | Attic               | Excellent | Exhaust Fan, Centrifugal, 5,001 to 8,000 CFM [EF-2]                           | 1         | 14  | 1234821 |
| D3051        | Throughout interior | Excellent | Unit Heater, Hydronic, 37 to 85 MBH   | 6         | 19  | 1234809 |
| D3051        | Attic               | Excellent | Furnace, Electric, 51 to 75 MBH [No tag/plate found]                          | 1         | 19  | 1234850 |
| D3051        | Throughout interior | Excellent | Unit Heater, Hydronic, 24 MBH [No tag/plate found]                            | 14        | 19  | 1234822 |
| D3068        | Throughout interio  | Excellent | HVAC Controls, Building Automation System (BAS), Upgrade [No tag/plate found] | 19,364 SF | 19  | 1234877 |
| Electrical   |                     |           |   |           |     |         |
| D5012        | Mechanical room     | Good      | Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]                | 1         | 29  | 1234807 |
| D5012        | Mechanical room     | Excellent | Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]                | 1         | 29  | 1234873 |
| D5012        | Elevator            | Excellent | Secondary Transformer, Dry, 15 kVA [No tag/plate found]                       | 1         | 29  | 1234842 |
| D5012        | Mechanical room     | Excellent | Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]                | 1         | 29  | 1234828 |
| D5012        | Mechanical room     | Excellent | Distribution Panel, 208 Y, 120 V, 400 Amp [298-W18382]                        | 1         | 29  | 1234805 |
| D5012        | Mechanical room     | Excellent | Distribution Panel, 208 Y, 120 V, 200 Amp [No tag/plate found]                | 1         | 29  | 1234867 |
| D5012        | Office              | Excellent | Distribution Panel, 208 Y, 120 V, 225 Amp [No tag/plate found]                | 1         | 29  | 1234823 |
| D5019        | Throughout interior | Excellent | Electrical Distribution System, Office Building, Upgrade                      | 19,364 SF | 39  | 1234871 |
| D5029        | Throughout interior | Excellent | Lighting System, Interior, Office Building, Upgrade                           | 19,364 SF | 24  | 1238352 |
| D5092        | Throughout interior | Excellent | Exit Lighting Fixture, w/ Battery   | 22        | 9   | 1234872 |
| Fire Alarm & | Comm                |           |   |           |     |         |
| D5037        | Throughout interior | Excellent | Fire Alarm System, Office Building, Install                                   | 19,364 SF | 19  | 1234880 |
| D5037        | Main lobby          | Good      | Fire Alarm Control Panel, Addressable [No tag/plate found]                    | 1         | 14  | 1234864 |
| Equipment/S  | Special             |           |   |           |     |         |
| E1093        | Kitchen             | Excellent | Commercial Kitchen, Commercial Microwave                                      | 1         | 9   | 1234882 |
| E1093        | Kitchen             | Excellent | Commercial Kitchen, Food Warmer [No tag/plate found]                          | 1         | 14  | 1234879 |
| E1094        | Kitchen             | Excellent | Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]           | 1         | 14  | 1234819 |
| Pavement     |                     |           |   |           |     |         |

#### Town Hall

| UF Code   | Location | Condition | Asset/Component/Repair                              | Quantity  | RUL | ID      |
|-----------|----------|-----------|---|-----------|-----|---------|
| G2022     | Site     | Excellent | Parking Lots, Asphalt Pavement, Mill & Overlay      | 15,250 SF | 24  | 1234853 |
| G2022     | Site     | Good      | Parking Lots, Asphalt Pavement, Seal & Stripe       | 15,250 SF | 5   | 1234861 |
| G2031     | Site     | Good      | Pedestrian Pavement, Sidewalk, Concrete Large Areas | 450 SF    | 29  | 1234835 |
| Utilities |          |           |   |           |     |         |
| G3026     | Site     | Excellent | Septic Tank, 1,000 GAL                              | 1         | 29  | 1290720 |

#### Water Pump Station - North

| UF Code        | Location            | Condition | Asset/Component/Repair  | Quantity | RUL | ID      |
|----------------|---------------------|-----------|---|----------|-----|---------|
| Facade         |                     |           |   |          |     |         |
| B2011          | Building Exterior   | Fair      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint            | 100 SF   | 15  | 1234712 |
| B2032          | Building Exterior   | Fair      | Exterior Door, Steel  | 1        | 15  | 1234746 |
| Roofing        |                     |           |   |          |     |         |
| B3011          | Roof                | Fair      | Roof, Modified Bituminous   | 625 SF   | 5   | 1234730 |
| Plumbing       |                     |           |   |          |     |         |
| D2019          | Throughout interior | Good      | Emergency Eye Wash & Shower Station                                   | 1        | 10  | 1234733 |
| D2023          |                     | Fair      | Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]         | 1        | 10  | 1234713 |
| D2023          | Main building       | Fair      | Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]         | 1        | 10  | 1234742 |
| D2043          | Main building       | Fair      | Sump Pump, 20 HP [No tag/plate found]                                 | 1        | 10  | 1234720 |
| Fire Suppress  | sion                |           |   |          |     |         |
| D4031          | Main building       | Fair      | Fire Extinguisher - Type ABC  | 2        | 10  | 1234705 |
| HVAC           |                     |           |   |          |     |         |
| D3049          | Throughout interior | NA        | Full HVAC System Upgrade, Medium Complexity                           | 616 SF   | 0   | 1279224 |
| D3051          | Main building       | Fair      | Unit Heater, Natural Gas, 11 to 25 MBH [No tag/plate found]           | 1        | 5   | 1234725 |
| Electrical     |                     |           |   |          |     |         |
| D5012          | Main building       | Fair      | Transfer Switch, Automatic (ATS), 600 V, 600 Amp [No tag/plate found] | 1        | 3   | 1234750 |
| D5012          | Main building       | Good      | Motor Control Center w/ Main Breaker, AMP [No tag/plate found]        | 1        | 15  | 1234718 |
| D5012          | Main building       | Fair      | Motor Control Center w/ Main Breaker, AMP                             | 1        | 30  | 1234703 |
| D5029          | Main building       | Fair      | Lighting System, Interior, Office Building, Upgrade                   | 616 SF   | 5   | 1238368 |
| D5092          | Site                | Fair      | Generator, Gas or Gasoline, 65 kW to 125 kW [No tag/plate found]      | 1        | 10  | 1234716 |
| Fire Alarm & C | Comm                |           |   |          |     |         |
| D5037          | Main building       | NA        | Fire Alarm System, Office Building, Install                           | 616 SF   | 0   | 1234749 |
| Pavement       |                     |           |   |          |     |         |
| G2012          | Site                | Fair      | Roadways, Asphalt Pavement  | 800 SF   | 15  | 1279225 |

## Water Pump Station - Perkins

| UF Code | Location          | Condition | Asset/Component/Repair                                     | Quantity | RUL | ID      |
|---------|-------------------|-----------|--|----------|-----|---------|
| Facade  |                   |           |  |          |     |         |
| B2011   | Building Exterior | Fair      | Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint   | 240 SF   | 3   | 1234794 |
| B2011   | Building Exterior | Fair      | Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint | 480 SF   | 18  | 1238439 |
| Roofing |                   |           |  |          |     |         |
| B3011   | Roof              | Poor      | Roof, Asphalt Shingle                                      | 855 SF   | 2   | 1234751 |
|         |                   |           |  |          |     |         |

## Water Pump Station - Perkins

| UF Code        | Location            | Condition | Asset/Component/Repair   | Quantity | RUL | ID      |
|----------------|---------------------|-----------|--|----------|-----|---------|
| Interiors      |                     |           |  |          |     |         |
| C3021          | Main building       | Fair      | Interior Floor Finish, Epoxy Coating, Prep & Paint             | 768 SF   | 5   | 1234793 |
| Plumbing       |                     |           |  |          |     |         |
| D2019          | Main building       | Fair      | Emergency Eye Wash   | 1        | 8   | 1234797 |
| D2023          | Main building       | Fair      | Domestic Circulation/Booster Pump, 50 HP [No tag/plate found]  | 1        | 13  | 1234785 |
| Fire Suppress  | sion                |           |  |          |     |         |
| D4031          | Main building       | Fair      | Fire Extinguisher - Type ABC                                   | 2        | 5   | 1234775 |
| HVAC           |                     |           |  |          |     |         |
| D3045          | Main building       | Fair      | Flow Control Valve, Motorized, 10" [No tag/plate found]        | 1        | 7   | 1234761 |
| D3049          | Throughout interior | NA        | Full HVAC System Upgrade, Medium Complexity                    | 768 SF   | 0   | 1279230 |
| D3051          | Main building       | Fair      | Unit Heater, Electric, 10 kW [No tag/plate found]              | 1        | 8   | 1234760 |
| Electrical     |                     |           |  |          |     |         |
| D5012          | Main building       | Fair      | Motor Control Center w/ Main Breaker, AMP [No tag/plate found] | 1        | 18  | 1234780 |
| D5012          | Main building       | Fair      | Distribution Panel, 208 Y, 120 V, 200 Amp                      | 1        | 10  | 1238441 |
| D5019          | Main building       | Fair      | Electrical Distribution System, Office Building, Upgrade       | 768 SF   | 17  | 1234796 |
| D5029          | Main building       | Fair      | Lighting System, Interior, Office Building, Upgrade            | 768 SF   | 13  | 1234756 |
| Fire Alarm & C | Comm                |           |  |          |     |         |
| D5037          | Main building       | NA        | Fire Alarm System, Office Building, Install                    | 480 SF   | 0   | 1238438 |
| Pavement       |                     |           |  |          |     |         |
| G2012          | Site                | Fair      | Roadways, Asphalt Pavement, Overlay                            | 800 SF   | 15  | 1279227 |

| UF Code   | Location            | Condition | Asset/Component/Repair  | Quantity  | RUL | ID      |
|-----------|---------------------|-----------|---|-----------|-----|---------|
| Facade    |                     |           |   |           |     |         |
| B2011     | Building Exterior   | Excellent | Exterior Wall, Metal/Insulated Sandwich Panels, 2" Thick          | 1,600 SF  | 39  | 1234677 |
| B2021     | Building Exterior   | Excellent | Window, Aluminum Double-Glazed 24 SF, 1-2 Stories                 | 18        | 29  | 1234595 |
| B2032     | Building Exterior   | Excellent | Exterior Door, Steel  | 5         | 24  | 1234619 |
| Roofing   |                     |           |   |           |     |         |
| B3011     | Roof                | Excellent | Roof, Metal   | 8,200 SF  | 39  | 1234688 |
| Interiors |                     |           |   |           |     |         |
| C1021     | Throughout interior | Excellent | Interior Door, Steel  | 10        | 24  | 1234667 |
| C3012     | Throughout interior | Excellent | Interior Wall Finish, Generic Surface, Prep & Paint               | 12,000 SF | 7   | 1234556 |
| C3021     | Throughout interior | Excellent | Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint | 5,730 SF  | 10  | 1283359 |
| C3031     | Throughout interior | Excellent | Interior Ceiling Finish, Exposed/Generic, Prep & Paint            | 6,000 SF  | 9   | 1234676 |
| Plumbing  |                     |           |   |           |     |         |
| D2014     | Water treatment     | Excellent | Sink/Lavatory, Stainless Steel                                    | 1         | 19  | 1234614 |
| D2019     | Throughout          | Excellent | Emergency Eye Wash  | 6         | 14  | 1234607 |
| D2021     | Water treatment     | Excellent | Backflow Preventer, 4 INCH [No tag/plate found]                   | 1         | 14  | 1234696 |
| D2021     | Water treatment     | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                   | 1         | 14  | 1234543 |
| D2021     | Water treatment     | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                   | 1         | 14  | 1234663 |
| D2021     | Water treatment     | Excellent | Backflow Preventer, 4 INCH [No tag/plate found]                   | 1         | 14  | 1234585 |
|           |                     |           |   |           |     |         |

| UF Code | Location        | Condition | Asset/Component/Repair   | Quantity | RUL | ID      |
|---------|-----------------|-----------|--|----------|-----|---------|
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-26]                        | 1        | 14  | 1234644 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234546 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234576 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234565 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 4 INCH [No tag/plate found]                  | 1        | 14  | 1234597 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [No tag/plate found]           | 1        | 14  | 1234547 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234569 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-33]                        | 1        | 14  | 1234580 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234623 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234601 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-33]                        | 1        | 14  | 1234552 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234574 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234695 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234631 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234589 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234681 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234652 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234685 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234611 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 6 INCH [No tag/plate found]                  | 1        | 14  | 1234551 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV12]                         | 1        | 14  | 1234548 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234596 |
| D2021   | Water treatment | Excellent | Backflow Preventer, 4 INCH [No tag/plate found]                  | 1        | 14  | 1234686 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234549 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV15]                         | 1        | 14  | 1234628 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-22]                        | 1        | 14  | 1234637 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234642 |
| D2021   | Booster station | Excellent | Water Flow Meter, 4"   | 2        | 24  | 1234578 |
| D2021   | Water treatment | Excellent | Water Flow Meter, 6" [FIT-420]                                   | 1        | 24  | 1234629 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234561 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [Inaccessible]                 | 1        | 14  | 1234545 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-13]                        | 1        | 14  | 1234660 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [FV501]                        | 1        | 14  | 1234600 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [CV-25]                        | 1        | 14  | 1234643 |
| D2021   | Water treatment | Excellent | Flow Control Valve, Motorized, 2" [FV502]                        | 1        | 14  | 1234588 |
| D2021   | Booster station | Excellent | Backflow Preventer, Domestic, 4" [No tag/plate found]            | 1        | 14  | 1234635 |
| D2023   | KOH room        | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found] | 1        | 19  | 1234666 |
| D2023   | Booster station | Excellent | Domestic Circulator or Booster Pump, 100 HP [1]                  | 1        | 19  | 1234554 |
| D2023   | Chlorine room   | Excellent | Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]   | 1        | 19  | 1234639 |
| D2023   | Water treatment | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]  | 1        | 19  | 1234647 |
| D2023   | KOH room        | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found] | 1        | 19  | 1234582 |

| UF Code      | Location                    | Condition | Asset/Component/Repair  | Quantity | RUL | ID      |
|--------------|-----------------------------|-----------|---|----------|-----|---------|
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234645 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234567 |
| D2023        | Phosphate                   | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234634 |
| D2023        | Potassium permagnatate room | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234559 |
| D2023        | Mechanical room             | Excellent | Water Heater, Gas, Commercial, 80 GAL [No tag/plate found]            | 1        | 14  | 1234620 |
| D2023        | Booster station             | Excellent | Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]        | 1        | 19  | 1234654 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 1 HP [Inaccessible]              | 1        | 19  | 1234605 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 3 HP                             | 1        | 19  | 1234581 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234674 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]        | 1        | 19  | 1234646 |
| D2023        | Chlorine room               | Excellent | Domestic Circulator or Booster Pump, 3 HP [No tag/plate found]        | 1        | 19  | 1234678 |
| D2023        | Booster station             | Excellent | Domestic Circulator or Booster Pump, 3 HP [2]                         | 1        | 19  | 1234602 |
| D2023        | Booster station             | Excellent | Water Filter [No tag/plate found]                                     | 1        | 14  | 1234638 |
| D2023        | Potassium permagnatate room | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234539 |
| D2023        | Booster station             | Excellent | Domestic Circulator or Booster Pump, 3 HP [4]                         | 1        | 19  | 1234694 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234591 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234563 |
| D2023        | KOH room                    | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234557 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234606 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234586 |
| D2023        | Chlorine room               | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234633 |
| D2023        | Potassium permagnatate room | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234655 |
| D2023        | Potassium permagnatate room | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234691 |
| D2023        | Booster station             | Excellent | Domestic Circulator or Booster Pump, 3 HP [3]                         | 1        | 19  | 1234594 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 2 HP [No tag/plate found]        | 1        | 19  | 1234625 |
| D2023        | KOH room                    | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234651 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 15 HP [No tag/plate found]       | 1        | 19  | 1234542 |
| D2023        | Water treatment             | Excellent | Domestic Circulator or Booster Pump, 30 HP [No tag/plate found]       | 1        | 19  | 1234577 |
| D2023        | Phosphate                   | Excellent | Domestic Circulator or Booster Pump, 0.5 HP [No tag/plate found]      | 1        | 19  | 1234587 |
| D2029        | Throughout Building         | Excellent | Plumbing System, Domestic Supply                                      | 7,500 SF | 39  | 1234622 |
| D2043        | Water treatment             | Good      | Sump Pump, 3 HP [No tag/plate found]                                  | 1        | 14  | 1234550 |
| Fire Suppres | ssion                       |           |   |          |     |         |
| D4011        | Mechanical room             | Good      | Backflow Preventer, Fire Suppression, 6"                              | 1        | 19  | 1234568 |
| D4012        | Mechanical room             | Excellent | Fire Pump, 10 HP [No tag/plate found]                                 | 1        | 19  | 1234572 |
| D4019        | Mechanical room             | Excellent | Sprinkler System, Full Retrofit, Office (per SF), Renovate            | 7,500 SF | 49  | 1234599 |
| D4019        | Throughout interior         | Excellent | Sprinkler Heads (per SF)  | 7,500 SF | 19  | 1234621 |
| D4031        | Throughout interior         | Excellent | Fire Extinguisher - Type ABC  | 4        | 14  | 1234560 |
| HVAC         |                             |           |   |          |     |         |
| D3021        | Mechanical room             | Excellent | Boiler, 399 MBH   | 1        | 20  | 1234570 |
| D3022        | Water treatment             | Excellent | Deaerator [No tag/plate found]  | 1        | 20  | 1234575 |
| D3032        | Building exterior           | Excellent | Ductless Split System, Single Zone, 1.5 to 2 Ton [No tag/plate found] | 1        | 14  | 1234640 |

| UF Code      | Location            | Condition | Asset/Component/Repair   | Quantity | RUL | ID      |
|--------------|---------------------|-----------|--|----------|-----|---------|
| D3032        | Building exterior   | Excellent | Condensing Unit/Heat Pump, Split System, 2 Ton [Heat pump 2]           | 1        | 14  | 1234661 |
| D3032        | Site                | Excellent | Condensing Unit/Heat Pump, 4 TON [No tag/plate found]                  | 1        | 14  | 1234641 |
| D3032        | Booster station     | Excellent | Condensing Unit/Heat Pump, Split System, 3 Ton [No tag/plate found]    | 1        | 14  | 1234610 |
| D3051        | Throughout interior | Excellent | Unit Heater, Hydronic, 8 to 12 MBH [No tag/plate found]                | 10       | 19  | 1234687 |
| Electrical   |                     |           |  |          |     |         |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-452]         | 1        | 19  | 1234684 |
| D5012        | Electrical room     | Excellent | Motor Control Center w/ Main Breaker, AMP [No tag/plate found]         | 1        | 29  | 1234609 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-153]         | 1        | 19  | 1234665 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-423]         | 1        | 19  | 1234540 |
| D5012        | Booster station     | Excellent | Transfer Switch, Automatic (ATS), 600 V, 300 Amp [No tag/plate found]  | 1        | 17  | 1234662 |
| D5012        | Booster station     | Excellent | Distribution Panel, 208 Y, 120 V, 200 Amp [No tag/plate found]         | 1        | 29  | 1234653 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-421]         | 1        | 19  | 1234608 |
| D5012        | Electric room       | Excellent | Motor Control Center w/ Main Breaker, AMP [MCC-1]                      | 1        | 29  | 1234649 |
| D5012        | Electrical room     | Excellent | Distribution Panel, 225 AMP [LP-1]                                     | 1        | 29  | 1234659 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-152]         | 1        | 19  | 1234624 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-541]         | 1        | 19  | 1234590 |
| D5012        | Electric room       | Excellent | Secondary Transformer, 45 kVA [No tag/plate found]                     | 1        | 29  | 1234690 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-422]         | 1        | 19  | 1234592 |
| D5012        | Electrical room     | Excellent | Variable Frequency Drive (VFD), 20 HP, Replace/Install [P-151]         | 1        | 19  | 1234669 |
| D5029        | Throughout interior | Excellent | Lighting System, Interior, Office Building, Upgrade                    | 7,500 SF | 24  | 1238270 |
| D5092        | Booster station     | Excellent | Generator, Diesel, 125 kW [No tag/plate found]                         | 1        | 24  | 1234555 |
| D5092        | Water treatment     | Excellent | Generator, Gas or Gasoline, 190 kW to 250 kW [No tag/plate found]      | 1        | 24  | 1234571 |
| D5092        | Throughout interior | Excellent | Exit Lighting Fixture, LED   | 7        | 9   | 1234562 |
| Fire Alarm & | Comm                |           |  |          |     |         |
| D5037        | Electric room       | Excellent | Fire Alarm Control Panel, Addressable [No tag/plate found]             | 1        | 14  | 1234683 |
| D5037        | Throughout interior | Excellent | Fire Alarm System, Office Building, Install                            | 7,500 SF | 19  | 1234593 |
| Equipment/S  | pecial              |           |  |          |     |         |
| E1027        | Laboratory          | Excellent | Laboratory Exhaust Hood, 4 LF [No tag/plate found]                     | 1        | 14  | 1234564 |
| E1027        | Kitchen             | Excellent | Dishwasher, Laboratory   | 1        | 9   | 1234682 |
| E1093        | Kitchen             | Excellent | Commercial Kitchen, Refrigerator, 2-Door Reach-In [No tag/plate found] | 1        | 14  | 1234583 |
| E2012        | Office              | Excellent | Kitchen Counter, Solid Surface   | 15 LF    | 9   | 1234615 |
| E2012        | Office              | Excellent | Kitchen Cabinet, Base and Wall Section, Metal                          | 15 LF    | 19  | 1234693 |
| F1041        | Water treatment     | Excellent | Dehumidifier & Control, 4,500 CFM, 150 LB [No tag/plate found]         | 1        | 14  | 1234613 |
| F1041        | Water treatment     | Excellent | Dehumidifier & Control, 4,500 CFM, 150 LB [No tag/plate found]         | 1        | 14  | 1234553 |
| Utilities    |                     |           |  |          |     |         |
| G3026        | Site                | Excellent | Septic Tank, 1,000 GAL   | 1        | 29  | 1290723 |

# Appendix E: Replacement Reserves







| icility                              | Uniformat Co   |  | Lifespan (EUL |    |    | Quantity |          | Init Cost * Subtotal 2019 2020 2021 2022 202    | 23 2024  | 2025     | 2026 20  |           | 2031 20 | 32 2033 | 2034     | 2035 2036 2037 2038 | 2039 Deficiency Repair Esti |
|--------------------------------------|----------------|--|---------------|----|----|----------|----------|---|----------|----------|----------|-----------|---------|---------|----------|---------------------|-----------------------------|
| PW Building - New                    | B2021          | 1234220 Window, Aluminum Double-Glazed Gas-Filled 12 SF, 1-2 Stories, Replace                              | 30            | 19 | 11 | 20       | EA       | \$563.64 \$11,273                               |          |          |          | \$11,273  |         |         |          |                     | \$11                        |
| W Building - New                     | B3011          | 1239302 Roof, Metal, Repair  | 0             | 19 | 0  | 750      | SF       | \$18.68 \$14,010 \$14,010                       |          |          |          |           |         |         |          |                     | \$14                        |
| N Building - New<br>N Building - New | C1021<br>C1031 | 1234191 Interior Door, Steel, Replace  | 25<br>20      | 19 | 6  | 10       | EA<br>EA | \$950.12 \$9,501                                |          | \$9,501  |          |           |         |         |          |                     | \$9                         |
|                                      |                | 1234176 Tollet Partitions, Wood, Replace   |               | 15 | 5  |          |          | \$465.02 \$465                                  | \$465    |          |          |           |         |         |          |                     |                             |
| V Building - New                     | C1033          | 1234195 Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers, Replace                           | 20            |    | 5  | 15       | EA       | \$482.50 \$7,238                                | \$7,238  |          |          |           |         |         |          |                     | \$7                         |
| V Building - New                     | C3012          | 1234160 Interior Wall Finish, Generic Surface, Prep & Paint  | 8             | 3  | 5  | 2500     | SF       | \$1.45 \$3,625                                  | \$3,625  |          |          |           | \$3,62  | 25      |          |                     | \$7                         |
| Building - New                       | C3021          | 1234199 Interior Floor Finish, Concrete, Prep & Paint  | 10            | 5  | 5  | 7850     | SF       | \$9.23 \$72,456                                 | \$72,456 |          |          |           |         |         | \$72,456 |                     | \$144                       |
| V Building - New                     | C3024          | 1234165 Interior Floor Finish, Vinyl Tile (VCT), Replace   | 15            | 10 | 5  | 1250     | SF       | \$4.80 \$6,000                                  | \$6,000  |          |          |           |         |         |          |                     | ,000 \$12                   |
| V Building - New                     | C3025          | 1234203 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace                          | 10            | 3  | 7  | 500      | SF       | \$7.26 \$3,630                                  |          |          | \$3,630  |           |         |         |          | \$3,630             | \$7                         |
| V Building - New                     | C3032          | 1234209 Interior Celling Finish, Suspended Acoustical Tile (ACT), Replace                                  | 20            | 16 | 4  | 1250     | SF       | \$3.11 \$3,888 \$3,88                           |          |          |          |           |         |         |          |                     | \$3                         |
| W Building - New                     | D2011          | 1234181 Toilet, Tankless (Water Closet), Replace   | 20            | 15 | 5  | 2        | EA       | \$842.97 \$1,686                                | \$1,686  |          |          |           |         |         |          |                     | \$1                         |
| N Building - New                     | D2012          | 1234177 Urinal, Vitreous China, Replace  | 20            | 15 | 5  | 1        | EA       | \$1,193.44 \$1,193                              | \$1,193  |          |          |           |         |         |          |                     | \$1                         |
| V Building - New                     | D2014          | 1234155 Sink/Lavatory, Plastic, Replace  | 20            | 17 | 3  | 2        | EA       | \$575.99 \$1,152 \$1,152                        |          |          |          |           |         |         |          |                     | \$1                         |
| N Building - New                     | D2014          | 1234185 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace  | 20            | 17 | 3  | 3        | EA       | \$1,167.28 \$3,502 \$3,502                      |          |          |          |           |         |         |          |                     | \$3                         |
| V Building - New                     | D2014          | 1234159 Sink/Lavatory, Stainless Steel, Replace  | 20            | 15 | 5  | 1        | EA       | \$1,054.05 \$1,054                              | \$1,054  |          |          |           |         |         |          |                     | \$1                         |
| V Building - New                     | D2017          | 1234173 Shower, Ceramic Tile, Replace  | 30            | 19 | 11 | 2        | EA       | \$1,983.78 \$3,968                              |          |          |          | \$3,968   |         |         |          |                     | \$3                         |
| V Building - New                     | D2018          | 1234188 Drinking Fountain, Refrigerated, Replace   | 10            | 7  | 3  | 1        | EA       | \$1,257.51 \$1,258 \$1,258                      |          |          |          |           | \$1,25  | 58      |          |                     | \$2                         |
| V Building - New                     | D2019          | 1234202 Emergency Eye Wash & Shower Station, , Replace   | 15            | 5  | 10 | 1        | EA       | \$2,114.70 \$2,115                              |          |          |          | \$2,115   |         |         |          |                     | \$2                         |
| V Building - New                     | D2021          | 1234156 Water Flow Meter, 1*, Replace  | 25            | 19 | 6  | 1        | EA       | \$1,195.11 \$1,195                              |          | \$1,195  |          |           |         |         |          |                     | \$1                         |
| V Building - New                     | D2023          | 1234197 Water Heater, Gas, Commercial, 60 to 120 GAL, Replace  | 15            | 12 | 3  | 1        | EA       | \$10,698.82 \$10,699 \$10,699                   |          |          |          |           |         |         |          | \$10,699            | \$21                        |
| W Building - New                     | D3032          | 1234207 Condensing Unit/Heat Pump, Split System, 6 to 7.5 Ton, Replace                                     | 15            | 12 | 3  | 1        | EA       | \$11,591.12 \$11,591 \$11,591                   |          |          |          |           |         |         |          | \$11,591            | \$23                        |
| N Building - New                     | D3042          | 1234208 Exhaust Fan, Centrifugal, 8,001 to 10,000 CFM, Replace   | 15            | 1  | 14 | 1        | EA       | \$7,685.96 \$7,686                              |          |          |          |           |         | \$7,686 |          |                     | \$7                         |
| N Building - New                     | D3042          | 1234175 Exhaust Fan, Propeller, 10,000 CFM, Replace  | 15            | 1  | 14 | 1        | EA       | \$2,964.10 \$2,964                              |          |          |          |           |         | \$2,964 |          |                     | \$2                         |
| N Building - New                     | D3051          | 1234162 Furnace, Gas, 25 MBH, Replace  | 20            | 17 | 3  | 5        | EA       | \$1,997.57 \$9,988 \$9,988                      |          |          |          |           |         |         |          |                     | \$9                         |
| W Building - New                     | D3051          | 1234204 Unit Heater, Natural Gas, 11 to 25 MBH, Replace  | 20            | 3  | 17 | 6        | EA       | \$3,928.36 \$23,570                             |          |          |          |           |         |         |          | \$23,570            | \$23                        |
| W Building - New                     | D4019          | 1234211 Sprinkler Heads (per SF), , Replace  | 20            | 18 | 2  | 10800    | SF       | \$1.33 \$14,364 \$14,364                        |          |          |          |           |         |         |          |                     | \$14                        |
| W Building - New                     | D4019          | 1234198 Fire Extinguisher, , Replace   | 15            | 9  | 6  | 8        | EA       | \$356.54 \$2,852                                |          | \$2,852  |          |           |         |         |          |                     | \$2                         |
| W Building - New                     | D5012          | 1234214 Transfer Switch, Automatic (ATS), 600 V, 400 Amp, Replace  | 18            | 12 | 6  | 1        | EA       | \$12.045.75 \$12.046                            |          | \$12,046 |          |           |         |         |          |                     | \$12                        |
| N Building - New                     | D5012          | 1234210 Distribution Panel 400 AMP Replace   | 30            | 19 | 11 | 1        | EA       | \$9.487.85 \$9.488                              |          | J.2,040  |          | \$9.488   |         |         |          |                     | \$12                        |
| V Building - New                     | D5012          | 1234166 Fire Alarm System. Office Building, Install  | 20            | 17 | 3  | 10800    | SF       | \$2.36 \$25.488 \$25.488                        |          |          |          | 90,400    |         |         |          |                     | \$25                        |
|                                      |                | 1234172 Fire Alarm Control Panel, Addressable, Replace   | 15            |    |    | 1        |          | \$2,36 \$25,466 \$25,466                        |          |          |          |           |         |         |          |                     |                             |
| V Building - New                     | D5037          |  |               | 9  | 6  | 1        | EA       |   |          | \$20,298 |          |           |         |         |          |                     | \$20                        |
| V Building - New                     | D5092          | 1234212 Generator, 35 - 60 kW, Replace   | 25            | 19 | 6  | 1        | EA       | \$41,300.30 \$41,300                            |          | \$41,300 |          |           |         |         |          |                     | \$41                        |
| V Building - New                     | D5092          | 1234218 Exit Lighting Fixture, w/ Battery, Replace   | 10            | 2  | 8  | 7        | EA       | \$418.95 \$2,933                                |          |          | \$2,9    | 33        |         |         |          | \$2,933             | \$5                         |
| / Building - New                     | E1094          | 1234171 Residential Appliances, Refrigerator, 14-18 CF, Replace  | 15            | 8  | 7  | 1        | EA       | \$956.04 \$956                                  |          |          | \$956    |           |         |         |          |                     |                             |
| V Building - New                     | E2012          | 1234219 Kitchen Cabinet, Base and Wall Section, Wood, Replace  | 20            | 15 | 5  | 10       | LF       | \$467.63 \$4,676                                | \$4,676  |          |          |           |         |         |          |                     | \$4                         |
| V Building - New                     | G2022          | 1234186 Parking Lots, Asphalt Pavement, Seal & Stripe  | 5             | 4  | 1  | 22865    | SF       | \$0.38 \$8,689 \$8,689                          |          | \$8,689  |          | \$8,689   |         |         |          | \$8,689             | \$34                        |
| V Building - New                     | G2022          | 1234215 Parking Lots, Asphalt Pavement, Mill & Overlay   | 25            | 24 | 1  | 22865    | SF       | \$3.28 \$74,997 \$74,997                        |          |          |          |           |         |         |          |                     | \$74                        |
| V Building - New                     | G2049          | 1279218 Shed, Wooden Framed, Asphalt Shingles, Replace   | 30            | 19 | 11 | 3420     | SF       | \$41.10 \$140,562                               |          |          |          | \$140,562 |         |         |          |                     | \$140                       |
| V Building - New                     | G3026          | 1290714 Septic Tank, 1,000 GAL, Replace  | 30            | 19 | 11 | 1        | EA       | \$9,970.00 \$9,970                              |          |          |          | \$9,970   |         |         |          |                     | \$9                         |
| Station                              | B2011          | 1234247 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint   | 10            | 9  | 1  | 2500     | SF       | \$3.83 \$9,563 \$9,563                          |          |          |          | \$9,563   |         |         |          |                     | \$19                        |
| Station                              | B2032          | 1234246 Exterior Door, Wood Solid-Core w/ Safety Glass, Replace  | 25            | 20 | 5  | 4        | EA       | \$1,928.03 \$7,712                              | \$7,712  |          |          |           |         |         |          |                     | \$7                         |
| Station                              | B2034          | 1234264 Overhead Door, Steel Insulated Roll-Up 288 SF, Replace   | 35            | 30 | 5  | 3        | EA       | \$5,707.55 \$17,123                             | \$17,123 |          |          |           |         |         |          |                     | \$17                        |
| Station                              | B3011          | 1234245 Roof, Asphalt Shingle, Replace   | 20            | 17 | 3  | 3850     | SF       | \$3.42 \$13,167 \$13,167                        |          |          |          |           |         |         |          |                     | \$13                        |
| Station                              | B3011          | 1234253 Roof, Single-Ply EPDM Membrane, Replace  | 20            | 9  | 11 | 2150     | SF       | \$10.52 \$22,618                                |          |          |          | \$22,618  |         |         |          |                     | \$22                        |
| Station                              | C1021          | 1234275 Interior Door, Wood Solid-Core, Replace  | 20            | 12 | 8  | 5        | EA       | \$1,423.11 \$7,116                              |          |          | \$7,1    | 16        |         |         |          |                     | \$7                         |
| Station                              | C3012          | 1234236 Interior Wall Finish, Generic Surface, Prep & Paint  | 8             | 6  | 2  | 5400     | SF       | \$1.45 \$7,830 \$7,830                          |          |          |          | \$7,830   |         |         |          | \$7,830             | \$23                        |
| Station                              | C3024          | 1234248 Interior Floor Finish, Vinyl Tile (VCT), Replace   | 15            | 1  | 14 | 2000     | SF       | \$4.80 \$9,600                                  |          |          |          |           |         | \$9,600 |          |                     | \$9                         |
| Station                              | C3031          | 1234260 Interior Ceilling Finish, Exposed/Generic, Prep & Paint  | 10            | 7  | 3  | 5400     | SF       | \$2.27 \$12,258 \$12,258                        |          |          |          |           | \$12,25 |         |          |                     | \$24                        |
| Station                              | C3032          | 1234243 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace                                  | 20            | 10 | 10 | 2000     | SF       | \$3.11 \$6,220                                  |          |          |          | \$6,220   |         |         |          |                     | \$6                         |
| Station                              | D2011          | 1234222 Tollet. Flush Tank (Water Closet). Replace   | 20            | 2  | 18 | 3        | EA       | \$1.055.15 \$3.165                              |          |          |          |           |         |         |          | \$3.165             | \$3                         |
| Station                              | D2011          | 1234242 Urinal, Vitreous China, Replace  | 20            | 3  | 17 | 1        | EA       | \$1,193.44 \$1,193                              |          |          |          |           |         |         |          | \$1,193             | \$1                         |
| Station                              | D2012<br>D2014 | 1234241 Sink/Lavatory, Vitreous China, Replace   | 20            | 12 | 8  | 3        | EA       | \$861.51 \$2,585                                |          |          | \$2,51   | 35        |         |         |          | \$1,100             | \$2                         |
|                                      |                |  |               |    |    |          |          |   |          |          |          |           |         |         |          |                     |                             |
| Station                              | D2015          | 1234255 Bathtub & Shower Enclosure, Fiberglass, Replace  | 20            | 12 | 8  | 1        | EA       | \$1,785.27 \$1,785                              |          |          | \$1,78   |           |         |         |          |                     | \$1                         |
| Station                              | D2018          | 1234229 Drinking Fountain, Refrigerated, Replace   | 10            | 2  | 8  | 1        | EA       | \$1,257.51 \$1,258                              |          |          | \$1,2    | 00        |         |         |          | \$1,258             | \$2                         |
| Station                              | D2023          | 1234239 Water Heater, Gas, Commercial, 60 to 120 GAL, Replace  | 15            | 11 | 4  | 1        | EA       | \$10,698.82 \$10,699 \$10,69                    | ы        |          |          |           |         |         |          | \$10,699            | \$21                        |
| Station                              | D2029          | 1234279 Plumbing System, Domestic Supply, Replace  | 40            | 34 | 6  | 10210    |          | \$5.84 \$59,626                                 |          | \$59,626 |          |           |         |         |          |                     | \$59                        |
| Station                              | D3021          | 1234257 Boller, 1010 MBH, Replace  | 25            | 22 | 3  | 1        | EA       | \$46,465.41 \$46,465 \$46,465                   |          |          |          |           |         |         |          |                     | \$46                        |
| Station                              | D3041          | 1234224 Air Handler, Interior, 1,301 to 2,500 CFM, Replace   | 20            | 20 | 0  | 1        | EA       | \$9,413.96 \$9,414 \$9,414                      |          |          |          |           |         |         |          |                     | ,414 \$18                   |
| Station                              | D3041          | 1234269 Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace   | 15            | 10 | 5  | 5        | EA       | \$8,444.15 \$42,221                             | \$42,221 |          |          |           |         |         |          | \$42                |                             |
| Station                              | D3042          | 1234230 Exhaust Fan, Centrifugal, 10,001 to 16,000 CFM, Replace  | 15            | 8  | 7  | 1        |          | \$10,167.07 \$10,167                            |          |          | \$10,167 |           |         |         |          |                     | \$10                        |
| Station                              | D3051          | 1234231 Unit Heater, Hydronic, 37 to 85 MBH, Replace   | 20            | 10 | 10 | 2        | EA       | \$1,900.28 \$3,801                              |          |          |          | \$3,801   |         |         |          |                     | \$3                         |
| itation                              | D4031          | 1234280 Fire Extinguisher, , Replace   | 15            | 5  | 10 | 5        | EA       | \$356.54 \$1,783                                |          |          |          | \$1,783   |         |         |          |                     | \$1                         |
| tation                               | D5012          | 1234259 Distribution Panel, 400 AMP, Replace   | 30            | 24 | 6  | 1        | EA       | \$9,487.85 \$9,488                              |          | \$9,488  |          |           |         |         |          |                     | \$9                         |
| tation                               | D5019          | 1239339 Electrical Distribution System, Office Building, Upgrade   | 40            | 20 | 20 | 10210    | SF       | \$27.25 \$278,223                               |          |          |          |           |         |         |          | \$278               | ,223 \$278                  |
| tation                               | D5029          | 1239340 Lighting System, Interior, Office Building, Upgrade  | 25            | 15 | 10 | 10210    | SF       | \$9.24 \$94,340                                 |          |          |          | \$94,340  |         |         |          |                     | \$94                        |
| tation                               | D5037          | 1234250 Fire Alarm System, Office Building, Install  | 20            | 16 | 4  | 10210    | SF       | \$2.36 \$24,096 \$24,09                         | 16       |          |          |           |         |         |          |                     | \$24                        |
| tation                               | D5037          | 1234256 Fire Alarm Control Panel, Addressable, Replace   | 15            | 6  | 9  | 1        | EA       | \$20,297.59 \$20,298                            |          |          |          | \$20,298  |         |         |          |                     | \$20                        |
| tation                               | D5092          | 1234267 Transfer Switch, Automatic (ATS), 600 V, 260 Amp, Replace  | 18            | 15 | 3  | 1        | EA       | \$10,253.79 \$10,254 \$10,254                   |          |          |          |           |         |         |          |                     | \$10                        |
| tation                               | D5092<br>D5092 | 1234277 Generator, Gas or Gasoline, 30 kW, Replace   | 25            | 22 | 3  | 1        | EA       | \$10,253.79 \$10,254 \$10,254 \$10,254 \$10,254 |          |          |          |           |         |         |          |                     | \$41                        |
| tation                               | D5092          | 1234277 Generator, Gas or Gasoline, 30 kW, Replace<br>1234278 Exit Lighting Fixture, w/ Battery, Replace   | 10            | 22 | 8  | 1        | EA       | \$41,300.30 \$41,300 \$41,300                   |          |          | S4       | 10        |         |         |          | \$419               | \$41                        |
|                                      |                | 1234278 Exit Lighting Fixture, W Battery, Replace 1234225 Commercial Laundry, Washer, 51 to 60 LB, Replace | 10            |    | 7  | 1        |          |   |          |          |          |           |         |         |          |                     |                             |
| itation                              | E1016          |  |               | 3  |    |          | EA       | \$8,800.00 \$8,800                              |          |          | \$8,800  |           |         |         |          | \$8,800             | \$17                        |
| Station                              | E1094          | 1234234 Residential Appliances, Dishwasher, Replace  | 10            | 3  | 7  | 1        | EA       | \$820.94 \$821                                  |          |          | \$821    |           |         |         |          | \$821               | \$1                         |
| Station                              | E1094          | 1234274 Residential Appliances, Microwave, Replace   | 10            | 2  | 8  | 1        | EA       | \$451.86 \$452                                  |          |          | \$45     | 52        |         |         |          | \$452               |                             |
| Station                              | E1094          | 1234271 Residential Appliances, Refrigerator, 14-18 CF, Replace  | 15            | 3  | 12 | 1        | EA       | \$956.04 \$956                                  |          |          |          |           | \$956   |         |          |                     |                             |
|                                      | E1094          | 1234227 Residential Appliances, Range, Electric, Replace   | 15            | 3  | 12 | 1        | EA       | \$665.09 \$665                                  |          |          |          |           | \$665   |         |          |                     |                             |
| re Station                           | L1004          |  |               |    |    |          |          |   |          |          |          |           |         |         |          |                     |                             |

| re Station                                     | E2012 | elD Cost Description  1234254   Kitchen Cabinet, Base and Wall Section, Wood, Replace                            | 20 | 4  | 16 | 20    | LF | 37.63 \$9,353                  |          |          |          |       |        |       |          |           |         |         |         | \$9,353  | 3        |          |           |  |
|--|-------|--|----|----|----|-------|----|--------------------------------|----------|----------|----------|-------|--------|-------|----------|-----------|---------|---------|---------|----------|----------|----------|-----------|--|
| re Station                                     | G2012 | 1234240 Roadways, Asphalt Pavement, Mill & Overlay   | 25 | 19 | 6  | 22250 | SF | 33.28 \$72,980                 |          |          |          | \$7   | 2,980  |       |          |           |         |         |         |          | _        |          |           |  |
| e Station                                      | G2022 | 1234226 Parking Lots, Asphalt Pavement, Seal & Stripe  | 5  | 3  | 2  | 22250 | SF | \$0.38 \$8.455                 | \$8.455  |          |          | -     |        | 3.455 |          |           | \$8,455 |         |         |          | \$8,455  |          |           |  |
| Station  | G3026 | 1290715 Septic Tank. 1.000 GAL. Replace  | 30 | 24 | 6  | 1     | EA | 70.00 \$9.970                  | 40,400   |          |          |       | 9,970  | 2,400 |          |           | 90,400  |         |         |          | 90,400   |          |           |  |
| ary  | A2022 | 1279276 Basement Wall, Waterproofing of Exterior Face, Replace   | 0  | 0  | 0  | 3400  | SF | \$8.93 \$30,362 \$30,362       |          |          |          |       | ,5,510 |       |          |           |         |         |         |          |          |          |           |  |
|  |       |  |    |    |    |       |    |                                |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ary  | B2011 | 1234307 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint   | 10 | 3  | 7  | 2850  | SF | \$3.83 \$10,902                |          |          |          |       | \$10   | 0,902 |          |           |         |         |         |          | \$10,902 |          |           |  |
| ary  | B2031 | 1234328 Exterior Door, Fully-Glazed Wood Solid-Core, Replace   | 25 | 5  | 20 | 10    | EA | 32.31 \$19,823                 |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$19,823  |  |
| iry  | B3011 | 1234324 Roof, Slate, Replace   | 5  | 21 | 0  | 247.5 | SF | 55.00 \$16,088 \$16,088        |          |          | \$1      | 6,088 |        |       |          | \$16,088  |         |         | \$16,08 | 38       |          |          | \$16,088  |  |
| iry  | B3011 | 1234359 Roof, Asphalt Shingle, Replace   | 20 | 17 | 3  | 8850  | SF | \$3.42 \$30,267                |          | \$30,267 | 7        |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ry   | B3011 | 1234309 Roof, Single-Ply EPDM Membrane, Replace  | 20 | 5  | 15 | 2810  | SF | 10.52 \$29,561                 |          |          |          |       |        |       |          |           |         |         | \$29,56 | 31       |          |          |           |  |
| y .  | C1021 | 1234347 Interior Door, Wood Solid-Core, Replace  | 20 | 18 | 2  | 20    | EA | 23.11 \$28,462                 | \$28,462 |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ry   | C1031 | 1234320 Toilet Partitions, Metal Overhead-Braced, Replace  | 20 | 0  | 20 | 3     | EA | 50.00 \$2,550                  |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$2,550   |  |
| ry   | C3012 | 1234343 Interior Wall Finish, Generic Surface, Prep & Paint  | 8  | 5  | 3  | 18650 | SF | \$1.45 \$27,043                |          | \$27.043 |          |       |        |       |          | \$27.043  |         |         |         |          |          |          | \$27.043  |  |
|  | C3012 | 1234352 Interior Wall Finish, Generic Sunace, Frep & Palint  1234352 Interior Wall Finish, Ceramic Tile, Replace | 25 |    | 20 |       | SF | 16.55 \$29.790                 |          | \$27,04  | ,        |       |        |       |          | 927,043   |         |         |         |          |          |          | \$29,790  |  |
| iry  |       |  |    | 5  |    | 1800  |    |                                |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$29,790  |  |
| ary  | C3025 | 1234375 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace                                | 10 | 4  | 6  | 7800  | SF | 37.26 \$56,628                 |          |          |          | \$5   | 66,628 |       |          |           |         |         |         | \$56,628 | 3        |          |           |  |
| iry  | C3032 | 1234316 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace  | 20 | 5  | 15 | 12500 | SF | \$3.11 \$38,875                |          |          |          |       |        |       |          |           |         |         | \$38,87 | 75       |          |          |           |  |
| iry  | D1011 | 1234351 Elevator, Hydraulic, 1500 to 2500 LB, 3 Floors, Renovate   | 30 | 20 | 10 | 1     | EA | 37.20 \$144,487                |          |          |          |       |        |       |          | \$144,487 |         |         |         |          |          |          |           |  |
| ry   | D2011 | 1234367 Tollet, Tankless (Water Closet), Replace   | 20 | 5  | 15 | 6     | EA | 12.97 \$5,058                  |          |          |          |       |        |       |          |           |         |         | \$5,08  | 58       |          |          |           |  |
| ry   | D2012 | 1234315 Urinal, Vitreous China, Replace  | 20 | 5  | 15 | 1     | EA | 93.44 \$1,193                  |          |          |          |       |        |       |          |           |         |         | \$1,19  | 93       |          |          |           |  |
| ry   | D2014 | 1234353 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace  | 20 | 5  | 15 | 5     | EA | 37.28 \$5,836                  |          |          |          |       |        |       |          |           |         |         | \$5,83  | 36       |          |          |           |  |
| ry   | D2014 | 1234299 Sink/Lavatory, Stainless Steel, Replace  | 20 | 5  | 15 | 1     | EA | 54.05 \$1,054                  |          |          |          |       |        |       |          |           |         |         | \$1,05  |          |          |          |           |  |
|  |       |  | 10 |    | 15 |       |    |                                |          |          |          | - 000 |        |       |          |           |         |         |         |          |          |          |           |  |
| ry   | D2018 | 1234350 Drinking Fountain, Refrigerated, Replace   |    | 0  |    | 4     | EA | 57.51 \$5,030                  |          |          | S        | 5,030 |        |       |          |           |         |         | \$5,00  | 20       |          |          |           |  |
| ry   | D2023 | 1234354 Water Heater, Electric, Residential, 5 to 15 GAL, Replace  | 15 | 8  | 7  | 6     | EA | 14.17 \$6,085                  |          |          |          |       | \$6    | 3,085 |          |           |         |         |         |          |          |          |           |  |
| ry   | D2023 | 1234341 Water Heater, Electric, Residential, 10 GAL, Replace   | 15 | 3  | 12 | 2     | EA | 4.17 \$2,028                   |          |          |          |       |        |       |          |           | \$2,028 |         |         |          |          |          |           |  |
| iry  | D2029 | 1234304 Plumbing System, Domestic Supply, Replace  | 40 | 22 | 18 | 14916 | SF | \$5.84 \$87,109                |          |          |          |       |        |       |          |           |         |         |         |          |          | \$87,109 |           |  |
| iry  | D3021 | 1234327 Boiler, 399 MBH, Replace   | 25 | 5  | 20 | 1     | EA | 10.87 \$23,841                 |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$23,841  |  |
| ary  | D3022 | 1234314 Condensate Return Station, 15 GAL, Replace   | 25 | 21 | 4  | 1     | EA | 32.67 \$7,733                  |          |          | \$7,733  |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ary  | D3031 | 1234333 Chiller, Air-Cooled, 50 Ton, Replace   | 25 | 21 | 4  | 1     | EA | 36.30 \$78,186                 |          |          | \$78,186 |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ery  | D3032 | 1234377 Condensing Unit/Heat Pump, Split System. 5 Ton, Replace  | 15 | 5  | 10 | 1     | EA | 39.81 \$6.440                  |          |          |          |       |        |       |          | \$6.440   |         |         |         |          |          |          |           |  |
| iry<br>Irv                                     | D3032 | 1234373 Unit Ventilator. 751 to 1.250 CFM (approx. 3 Ton), Replace   | 15 | 9  | 6  | 10    | EA | 14 15 \$84 442                 |          |          |          |       | 34.442 |       |          | ,         |         |         |         |          |          |          |           |  |
|  |       |  |    | -  |    |       |    |                                |          |          |          | \$8   | r+,44Z |       |          | ******    |         |         |         |          |          |          |           |  |
| iry  | D3041 | 1234371 Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace   | 15 | 5  | 10 | 10    | EA | 14.15 \$84,442                 |          |          |          |       |        |       |          | \$84,442  |         |         |         |          |          |          |           |  |
| iry  | D3041 | 1238362 Variable Air Volume (VAV) Unit, 801 to 1,300 CFM, Replace  | 15 | 5  | 10 | 30    | EA | 88.83 \$181,165                |          |          |          |       |        |       |          | \$181,165 |         |         |         |          |          |          |           |  |
| iry  | D3041 | 1234334 Make-Up Air Unit, 20,000 CFM, Replace  | 20 | 5  | 15 | 1     | EA | 12.86 \$61,113                 |          |          |          |       |        |       |          |           |         |         | \$61,1  | 13       |          |          |           |  |
| iry  | D3041 | 1234321 HVAC System Ductwork, Sheet Metal, Replace   | 30 | 10 | 20 | 14916 | SF | 15.00 \$223,740                |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$223,740 |  |
| ry   | D3042 | 1234345 Exhaust Fan, Centrifugal, 801 to 2,000 CFM, Replace  | 15 | 10 | 5  | 1     | EA | 64.18 \$2,664                  |          |          | S        | 2,664 |        |       |          |           |         |         |         |          |          |          | \$2,664   |  |
| ry   | D3042 | 1234349 Exhaust Fan, Centrifugal, 2,000 CFM, Replace   | 15 | 8  | 7  | 1     | EA | 72.78 \$3,073                  |          |          |          |       | 61     | 3,073 |          |           |         |         |         |          |          |          |           |  |
| ry   | D3042 | 1234303 Exhaust Fan, Centrifugal, 801 to 2,000 CFM, Replace  | 15 | 7  | 8  | 1     | EA | 34.18 \$2,664                  |          |          |          |       | -      | \$2,6 | 84       |           |         |         |         |          |          |          |           |  |
|  |       |  |    | 17 | 3  | 1     |    | 54.18 \$2,664<br>52.29 \$4.652 |          | \$4.652  | ,        |       |        | \$2,6 | -        |           |         |         |         |          |          |          |           |  |
| iry  | D3045 | 1234336 Distribution Pump, Chiller & Condenser Water, 3 HP, Replace  | 20 |    |    |       | EA |                                |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ary  | D3045 | 1234360 Distribution Pump, Chiller & Condenser Water, 3 HP, Replace  | 20 | 17 | 3  | 1     | EA | 52.29 \$4,652                  |          | \$4,652  | 2        |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ary  | D3051 | 1234344 Unit Heater, Electric, 20 kW, Replace  | 20 | 10 | 10 | 1     | EA | 54.92 \$3,355                  |          |          |          |       |        |       |          | \$3,355   |         |         |         |          |          |          |           |  |
| ary  | D3068 | 1234301 HVAC Controls, Building Automation System (BAS), Upgrade   | 20 | 1  | 19 | 14916 | SF | \$5.36 \$79,950                |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$79,950  |  |
| ary  | D4011 | 1234325 Backflow Preventer, Fire Suppression, 6", Replace  | 20 | 17 | 3  | 1     | EA | 28.08 \$9,528                  |          | \$9,528  | 3        |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ary  | D4012 | 1234361 Fire Pump, 10 HP, Replace  | 20 | 9  | 11 | 1     | EA | 38.99 \$7,089                  |          |          |          |       |        |       |          | \$7.089   |         |         |         |          |          |          |           |  |
| ary  | D4019 | 1234311 Sprinkler Heads (per SF), , Replace  | 20 | 9  | 11 | 14916 | SF | \$1.33 \$19.838                |          |          |          |       |        |       |          | \$19.838  |         |         |         |          |          |          |           |  |
| ary  | D4031 | 1234356 Fire Extinguisher. Replace   | 15 | 5  | 10 | 9     |    | 56.54 \$3.209                  |          |          |          |       |        |       |          | \$3.209   |         |         |         |          |          |          |           |  |
| ,  |       |  |    |    |    | 9     | EA |                                |          |          |          |       |        |       |          | \$3,209   |         |         |         |          |          |          |           |  |
| ary  | D5012 | 1234342 Distribution Panel, 208 Y, 120 V, 225 Amp, Replace   | 30 | 21 | 9  | 1     | EA | 51.00 \$7,951                  |          |          |          |       |        |       | \$7,951  |           |         |         |         |          |          |          |           |  |
| ary  | D5012 | 1234302 Transfer Switch, Automatic (ATS), 600 V, 200 Amp, Replace  | 18 | 4  | 14 | 1     | EA | 35.35 \$9,285                  |          |          |          |       |        |       |          |           |         | \$      | 9,285   |          |          |          |           |  |
| ary  | D5022 | 1234365 LED Lighting Fixture, Basic, 20 W, Replace   | 20 | 5  | 15 | 5     | EA | 30.19 \$901                    |          |          |          |       |        |       |          |           |         |         | \$90    | 1        |          |          |           |  |
| iry  | D5037 | 1234364 Fire Alarm Control Panel, Addressable, Replace   | 15 | 6  | 9  | 1     | EA | 97.59 \$20,298                 |          |          |          |       |        |       | \$20,298 |           |         |         |         |          |          |          |           |  |
| iry  | D5037 | 1234338 Fire Alarm System, School, Install   | 20 | 9  | 11 | 14916 | SF | 33.13 \$46,687                 |          |          |          |       |        |       |          | \$46,687  |         |         |         |          |          |          |           |  |
| iry  | D5092 | 1234323 Exit Lighting Fixture, w/ Battery, Replace   | 10 | 3  | 7  | 20    | EA | 18.95 \$8,379                  |          |          |          |       | SF     | 3,379 |          |           |         |         |         |          | \$8,379  |          |           |  |
| ry   | D5092 | 1234370 Generator, Gas or Gasoline, 60 kW, Replace   | 25 | 15 | 10 | 1     | EA | 00.30 \$41,300                 |          |          |          |       |        |       |          | \$41,300  |         |         |         |          |          |          |           |  |
|  |       |  |    |    |    |       |    |                                |          | ** ***   |          |       |        |       |          | \$41,300  |         |         |         |          |          |          |           |  |
| y  | E1028 | 1234335 Defibrillator (AED), Cabinet Mounted, Replace  | 5  | 2  | 3  | 1     | EA | 09.50 \$1,410                  |          | \$1,410  |          |       |        | \$1,4 |          |           |         | \$1,410 |         |          |          | \$1,410  |           |  |
| ry   | G2022 | 1238359 Parking Lots, Asphalt Pavement, Seal & Stripe  | 5  | 2  | 3  | 8800  | SF | 50.38 \$3,344                  |          | \$3,344  |          |       |        | \$3,3 |          |           |         | \$3,344 |         |          |          | \$3,344  |           |  |
| ry   | G2022 | 1234369 Parking Lots, Asphalt Pavement, Seal & Stripe  | 5  | 2  | 3  | 8800  | SF | 50.38 \$3,344                  |          | \$3,344  | 1        |       |        | \$3,3 | 44       |           |         | \$3,344 |         |          |          | \$3,344  |           |  |
| iry  | G2031 | 1234363 Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace   | 30 | 12 | 18 | 765   | SF | \$9.00 \$6,885                 |          |          |          |       |        |       |          |           |         |         |         |          |          | \$6,885  |           |  |
| ary  | G2052 | 1412486 Landscaping, French Drain, Install   | 30 | 30 | 0  | 290   | LF | 10.00 \$11,600 \$11,600        |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| iry  | G3026 | 1290716 Septic Tank, 1,000 GAL, Replace  | 30 | 12 | 18 | 1     | EA | 70.00 \$9,970                  |          |          |          |       |        |       |          |           |         |         |         |          |          | \$9,970  |           |  |
| iry  | P000X | 1279277 Engineer, Civil. Site/Storm Drainage, Evaluate/Report  | 0  | 0  | 0  | 1     | EA | 50.00 \$7.160 \$7.160          |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 | B2011 | 1234415 Exterior Wall, Glass Block, Replace  | 40 | 40 | 0  | 100   | SF | 14.36 \$4.436 \$4.436          |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| 0 .,   | B2011 | 1234415 Exterior Wall, Glass Block, Replace  1234379 Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair   |    |    |    |       | SF |                                |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 |       |  | 0  | 0  | 0  | 1240  |    | 18.58 \$60,234 \$60,234        |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 | B2021 | 1234414 Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories, Replace  | 30 | 30 | 0  | 20    | EA | 19.96 \$12,399 \$12,399        |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 | B2034 | 1234397 Overhead Door, Steel Insulated Roll-Up 144 SF, Replace   | 35 | 32 | 3  | 7     | EA | 07.11 \$20,350                 |          | \$20,350 | )        |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 | B3011 | 1234411 Roof, Asphalt Shingle, Replace   | 20 | 17 | 3  | 5400  | SF | \$3.42 \$18,468                |          | \$18,468 | 3        |       |        |       |          |           |         |         |         |          |          |          |           |  |
| Highway Garage                                 | D3051 | 1234401 Unit Heater, Electric, 20 kW, Replace  | 20 | 20 | 0  | 2     | EA | 54.92 \$6,710 \$6,710          |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$6,710   |  |
| Highway Garage                                 | D5037 | 1234412 Fire Alarm System, School, Install   | 20 | 20 | 0  | 3969  | SF | 33.13 \$12,423 \$12,423        |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$12,423  |  |
| lighway Garage                                 | G2022 | 1238366 Parking Lots, Asphalt Pavement, Seal & Stripe  | 5  | 5  | 0  | 10540 |    | \$0.38 \$4,005 \$4,005         |          |          | s        | 4,005 |        |       |          | \$4,005   |         |         | \$4,00  | 05       |          |          | \$4,005   |  |
| ighway Garage                                  | G2022 | 1234406 Parking Lots, Asphalt Pavement, Mill & Overlay   | 25 | 22 | 3  | 10540 | SF | 33.28 \$34,571                 |          | \$34,57  |          |       |        |       |          |           |         |         | -,,0    |          |          |          | ,,,       |  |
|  |       |  |    |    |    |       |    |                                |          | φυ4,5/   |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ighway Garage                                  | G2041 | 1238364 Fences & Gates, Chain Link, 6' High, Replace   | 30 | 30 | 0  | 650   | LF | 37.54 \$24,400 \$24,400        |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| ighway Garage                                  | G2049 | 1238367 Shed, Wooden Framed, Asphalt Shingles, Replace   | 30 | 18 | 12 | 120   | SF | 37.50 \$4,500                  |          |          |          |       |        |       |          |           | \$4,500 |         |         |          |          |          |           |  |
| & Cemetery Building                            | B2011 | 1234433 Exterior Wall, Metal/Insulated Sandwich Panels to Vinyl Siding, 1-2 Stories, Replace with vinyl siding   | 30 | 30 | 0  | 290   | SF | \$8.00 \$2,320 \$2,320         |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| & Cemetery Building                            | B2011 | 1234431 Exterior Wall, Wood Shakes/Shingles, 1-2 Stories, Replace  | 20 | 20 | 0  | 280   | SF | 6.69 \$1,873 \$1,873           |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$1,873   |  |
| & Cemetery Building                            |       | 1234453 Exterior Wall, Wood Shakes/Shingles, 1-2 Stories, Replace  | 20 | 0  | 20 | 75    | SF | \$6.69 \$502                   |          |          |          |       |        |       |          |           |         |         |         |          |          |          | \$502     |  |
|  |       |  | 25 | 20 | 5  | 1     | EA | 77.53 \$1,578                  |          |          | -        | 1,578 |        |       |          |           |         |         |         |          |          |          | 9002      |  |
| & Cemetery Building                            |       | 1239397 Exterior Door, Steel Insulated, Replace  |    |    |    |       |    |                                |          |          | 5        | 1,010 |        |       |          |           |         |         |         |          |          |          |           |  |
| & Cemetery Building                            |       | 1234422 Roof, Wood Shake/Shingle, Replace  | 25 | 25 | 0  | 500   | SF | \$5.59 \$2,795 \$2,795         |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| & Cemetery Building                            | B3011 | 1234432 Roof, Metal to Asphalt Shingle 20-Year, Replace with Asphalt Shingles                                    | 20 | 18 | 2  | 2100  | SF | \$3.80 \$7,980                 | \$7,980  |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| & Cemetery Building                            | C3012 | 1234435 Interior Wall Finish, Generic Surface, Prep & Paint  | 8  | 3  | 5  | 1250  | SF | \$1.45 \$1,813                 |          |          | s        | 1,813 |        |       |          |           |         | \$1,813 |         |          |          |          |           |  |
|  |       | 1234430 Interior Floor Finish, Vinyl Tile (VCT), Replace   | 15 | 8  | 7  | 850   | SF | \$4.80 \$4,080                 |          |          |          |       | \$4    | 1,080 |          |           |         |         |         |          |          |          |           |  |
|  | C3024 |  |    |    |    |       |    |                                |          |          |          |       |        |       |          |           |         |         |         |          |          |          |           |  |
| k & Cemetery Building<br>k & Cemetery Building |       | 1234458 Interior Ceilling Finish, Suspended Acoustical Tile (ACT), Replace                                       | 20 | 5  | 15 | 850   | SF | \$3.11 \$2,644                 |          |          |          |       |        |       |          |           |         |         | \$2,64  | 14       |          |          |           |  |

| ark & Cemetery Building                              | Uniformat Cod<br>D2012 | telD Cost Description  1234448 Urinal, Vitreous China, Replace  | Lifespan (EUI<br>20 | )EAge<br>16 | RUL<br>4 | Qua | ntityUni<br>1 | it L<br>EA | Unit Cost * Subtotal 2019<br>\$1,193.44 \$1,193  | 2020 2021 2022 | 2023<br>\$1,193 | 2024 2025 2026 2027 | 2028     | 2029     | 2030 2031 | 2032     | 2033  | 2034 2035 | 036 2037       | 2038     | 2039 Defic | ciency Repair Esti<br>\$1 |
|--|------------------------|---|---------------------|-------------|----------|-----|---------------|------------|--|----------------|-----------------|---------------------|----------|----------|-----------|----------|-------|-----------|----------------|----------|------------|---------------------------|
| Park & Cemetery Building<br>Park & Cemetery Building | D2012<br>D2014         | 1234448 Urinal, Vitreous China, Replace  1234455 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace                                    | 20                  | 16          | 8        | + : |               | EA<br>EA   | \$1,193.44 \$1,193<br>\$1,167.28 \$2,335         |                | \$1,193         | \$2,335             |          |          |           |          |       |           |                |          |            | \$1<br>\$2                |
| Park & Cemetery Building<br>Park & Cemetery Building | D2014<br>D2018         | 1234455 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace 1234459 Drinking Fountain, Refrigerated, Replace                            | 10                  | 12          | 8        |     |               | EA<br>EA   | \$1,167.28 \$2,335<br>\$1,257.51 \$1,258         |                | \$1,258         | \$2,335             |          |          |           |          | 1,258 |           |                |          |            | \$2<br>\$2                |
| ark & Cemetery Building                              | D2010                  | 1234419 Water Heater, 40 GAL. Replace   | 15                  | 2           | 13       |     |               | EA         | \$6,963.24 \$6,963                               |                | \$1,200         |                     |          |          |           | \$6.963  | 1,200 |           |                |          |            | \$2<br>\$6                |
| ark & Cemetery Building                              | D2029                  | 1234441 Plumbing System, Domestic Supply, Replace   | 40                  | 36          | 4        |     |               | SF         | \$5.84 \$9,344                                   |                | \$9,344         |                     |          |          |           | **,****  |       |           |                |          |            | \$9                       |
| ark & Cemetery Building                              | D3051                  | 1234426 Unit Heater, Natural Gas, 56 to 75 MBH, Replace   | 20                  | 1           | 19       |     |               | EA         | \$4,467.67 \$8,935                               |                |                 |                     |          |          |           |          |       |           |                | \$8,935  |            | \$8                       |
| ark & Cemetery Building                              | D4031                  | 1234442 Fire Extinguisher, , Replace  | 15                  | 3           | 12       |     |               | EA         | \$356.54 \$1,070                                 |                |                 |                     |          |          | \$1,070   |          |       |           |                |          |            | \$1                       |
| ark & Cemetery Building                              | D5012                  | 1234447 Distribution Panel, 200 AMP, Replace  | 30                  | 10          | 20       |     |               | EA         | \$7,906.20 \$7,906                               |                |                 |                     |          |          |           |          |       |           |                |          | \$7,906    | \$7                       |
| ark & Cemetery Building                              | D5037                  | 1234462 Fire Alarm System, Office Building, Install   | 20                  | 17          | 3        | 16  | 900 :         | SF         | \$2.36 \$3,776                                   | \$3,776        |                 |                     |          |          |           |          |       |           |                |          |            | \$3                       |
| ark & Cemetery Building                              | D5037                  | 1234437 Fire Alarm Control Panel, Addressable, Replace  | 15                  | 2           | 13       |     | 1 1           | EA         | \$20,297.59 \$20,298                             |                |                 |                     |          |          |           | \$20,298 |       |           |                |          |            | \$20                      |
| ark & Cemetery Building                              | G2022                  | 1234429 Parking Lots, Asphalt Pavement, Seal & Stripe   | 5                   | 4           | 1        |     |               | SF         |  | \$9,690        |                 | \$9,690             |          |          | \$9,690   |          |       | \$9,690   |                |          |            | \$38                      |
| ark & Cemetery Building                              | G2022                  | 1234436 Parking Lots, Asphalt Pavement, Mill & Overlay  | 25                  | 18          | 7        |     |               | SF         | \$3.28 \$82,000                                  |                |                 | \$82,000            |          |          |           |          |       |           |                |          |            | \$82                      |
| ark & Cemetery Building                              | G2049                  | 1279234 Shed, Wooden Framed, Asphalt Shingles, Replace  | 30                  | 18          | 12       |     |               | SF         | \$41.10 \$53,841                                 |                |                 |                     |          |          | \$53,841  |          |       |           |                |          |            | \$53                      |
| ark & Cemetery Building                              | G2049                  | 1279235 Shed, Wooden Framed, Asphalt Shingles, Replace  | 30                  | 18          | 12       | 13  | 320 :         | SF         | \$41.10 \$54,252                                 |                |                 |                     |          |          | \$54,252  |          |       |           |                |          |            | \$54                      |
| ark & Cemetery Building                              | G2049                  | 1279236 Shed, Wooden Framed, Asphalt Shingles, Replace  | 30                  | 18          | 12       | 13  | 30 :          | SF         | \$41.10 \$5,343                                  |                |                 |                     |          |          | \$5,343   |          |       |           |                |          |            | \$5                       |
| ark & Cemetery Building                              | G3026                  | 1290718 Septic Tank, 1,000 GAL, Replace   | 30                  | 26          | 4        | ٠,  | 1 !           | EA         | \$9,970.00 \$9,970                               |                | \$9,970         |                     |          |          |           |          |       |           |                |          |            | \$1                       |
| olice Station  | B2021                  | 1234496 Window, Aluminum Double-Glazed 12 SF, 3+ Stories, Replace   | 30                  | 27          | 3        | 3   | 85 I          | EA         | \$648.58 \$22,700                                | \$22,700       |                 |                     |          |          |           |          |       |           |                |          |            | \$2:                      |
| olice Station  | B3011                  | 1234518 Roof, Slate, Replace  | 5                   | 49          | 0        | 15  | 58 :          | SF         | \$65.00 \$10,270 \$10,270                        |                |                 | \$10,270            |          | \$10,270 |           |          | \$10  | 270       |                |          | \$10,270   | \$5                       |
| olice Station  | C1021                  | 1234498 Interior Door, Wood Hollow-Core, Replace  | 20                  | 3           | 17       |     |               | EA         | \$596.52 \$8,948                                 |                |                 |                     |          |          |           |          |       | \$8       | 948            |          |            | s                         |
| olice Station  | C1031                  | 1234475 Toilet Partitions, Wood, Replace  | 20                  | 15          | 5        | - 2 | 2 1           | EA         | \$465.02 \$930                                   |                |                 | \$930               |          |          |           |          |       |           |                |          |            |                           |
| olice Station  | C1033                  | 1234490 Lockers, Steel Baked Enamel 12" W x 15" D x 72" H, 1 to 5 Tiers, Replace  | 20                  | 5           | 15       | 1   | 15 1          | EA         | \$482.50 \$7,238                                 |                |                 |                     |          |          |           |          | \$7   | 238       |                |          |            | s                         |
| olice Station  | C3012                  | 1234503 Interior Wall Finish, Generic Surface, Prep & Paint   | 8                   | 3           | 5        |     |               | SF         | \$1.45 \$9,788                                   |                |                 | \$9,788             |          |          |           | \$9,788  |       |           |                |          |            | \$1                       |
| olice Station  | C3021                  | 1234525 Interior Floor Finish, Epoxy Coating, Prep & Paint  | 10                  | 3           | 7        |     |               | SF         | \$8.74 \$5,244                                   |                |                 | \$5,244             |          |          |           |          |       | \$5       | 244            |          |            | \$1                       |
| olice Station  | C3024                  | 1234531 Interior Floor Finish, Vinyl Tile (VCT), Replace  | 15                  | 12          | 3        |     |               | SF         | \$4.80 \$11,280                                  | \$11,280       |                 |                     |          |          |           |          |       |           | \$11,280       |          |            | \$2                       |
| olice Station  | C3025                  | 1234469 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace   | 10                  | 4           | 6        | 12  | 250 :         | SF         | \$7.26 \$9,075                                   |                |                 | \$9,075             |          |          |           |          |       | \$9,075   |                |          |            | \$1                       |
| olice Station  | C3031                  | 1239393 Interior Ceilling Finish, Concrete, Prep & Paint  | 10                  | 9           | 1        | 25  | 500 :         | SF         | \$1.96 \$4,900                                   | \$4,900        |                 |                     |          |          | \$4,900   |          |       |           |                |          |            | \$                        |
| olice Station  | C3032                  | 1234481 Interior Celling Finish, Suspended Acoustical Tile (ACT), Replace   | 20                  | 10          | 10       |     |               | SF         | \$3.11 \$2,955                                   |                |                 |                     |          | \$2,955  |           |          |       |           |                |          |            | · .                       |
| olice Station  | D2011                  | 1234517 Toilet, Flush Tank (Water Closet), Replace  | 20                  | 12          | 8        |     |               | EA         | \$1,055.15 \$4,221                               |                |                 | \$4,221             |          |          |           |          |       |           |                |          |            | \$                        |
| olice Station  | D2011                  | 1234512 Toilet, Tankless (Water Closet), Replace  | 20                  | 2           | 18       |     |               | EA         | \$842.97 \$2,529                                 |                |                 |                     |          |          |           |          |       |           | \$2,529        |          |            | \$                        |
| olice Station  | D2014                  | 1234473 Sink/Lavatory, Vitreous China, Replace  | 20                  | 15          | 5        |     |               | EA         | \$861.51 \$5,169                                 |                |                 | \$5,169             |          |          |           |          |       |           |                |          |            | \$                        |
| olice Station  | D2014                  | 1234506 Sink, Pot, Multi-compartment, Replace   | 30                  | 18          | 12       |     |               | EA         | \$1,262.50 \$5,050                               |                |                 |                     |          |          | \$5,050   |          |       |           |                |          |            | s                         |
| olice Station  | D2014                  | 1234526 Sink/Lavatory, Stainless Steel, Replace   | 20                  | 3           | 17       |     |               | EA         | \$1,054.05 \$1,054                               |                |                 |                     |          |          |           |          |       | \$1       | 054            |          |            | · .                       |
| olice Station  | D2017                  | 1234471 Shower, Ceramic Tile, Replace   | 30                  | 20          | 10       |     |               | EA         | \$1,983.78 \$5,951                               |                |                 |                     |          | \$5,951  |           |          |       |           |                |          |            | s                         |
| olice Station  | D2023                  | 1234491 Water Heater, 40 GAL, Replace   | 15                  | 12          | 3        |     |               | EA         | \$10.698.82 \$10.699                             | \$10,699       |                 |                     |          |          |           |          |       |           | \$10.699       |          |            | \$2                       |
| lice Station   | D2029                  | 1234487 Plumbing System, Domestic Supply, Replace   | 40                  | 38          | 2        |     |               | SF         | \$5.84 \$34,526                                  | \$34,526       |                 |                     |          |          |           |          |       |           | ,230           |          |            | \$3                       |
| lice Station   | D3021                  | 1234484 Boiler, 699 MBH, Replace  | 25                  | 25          | 0        | 35  |               | EA         | \$23,840.87 \$23,841 \$23,841                    | ,520           |                 |                     |          |          |           |          |       |           |                |          |            | \$2                       |
| lice Station   | D3032                  | 1234493 Condensing Unit/Heat Pump, 3.5 TON, Replace   | 15                  | 9           | 6        |     |               | EA         | \$4,129.27 \$4,129                               |                |                 | \$4,129             |          |          |           |          |       |           |                |          |            | \$                        |
| lice Station   | D3032                  | 1234511 Condensing Unit/Heat Pump, 3.5 TON, Replace   | 15                  | 2           | 13       |     |               | EA         | \$4,129.27 \$4,129                               |                |                 | 94,120              |          |          |           | \$4,129  |       |           |                |          |            | s                         |
| lice Station   | D3051                  | 1234508 Unit Heater, Hydronic, 8 to 12 MBH, Replace   | 20                  | 17          | 3        |     |               | EA         | \$880.85 \$2.643                                 | \$2,643        |                 |                     |          |          |           | \$4,125  |       |           |                |          |            |                           |
| olice Station  | D3051                  | 1234533 Furnace, Electric, 180 MBH, Replace   | 20                  | 2           | 18       |     |               | EA         | \$10.024.52 \$10.025                             | \$2,043        |                 |                     |          |          |           |          |       |           | \$10.025       |          |            | \$1                       |
| olice Station  | D3051                  | 1234465 Radiator, Cast Iron, Replace  | 50                  | 30          | 20       | 2   |               | EA         | \$677.60 \$14,230                                |                |                 |                     |          |          |           |          |       |           | \$10,025       |          | \$14,230   | \$1                       |
| olice Station  | D4031                  | 1234479 Fire Extinguisher, , Replace  | 15                  | 5           | 10       |     |               | EA         | \$356.54 \$2,139                                 |                |                 |                     |          | \$2,139  |           |          |       |           |                |          | \$14,230   | \$1                       |
| olice Station  | D5012                  | 1234489 Transfer Switch, Automatic (ATS), 600 V, 150 Amp, Replace   | 18                  | 12          | 6        |     |               | EA         | \$8,478.33 \$8,478                               |                |                 | \$8,478             |          | φ2,135   |           |          |       |           |                |          |            | Ş.                        |
| olice Station  | D5012                  | 1234482 Distribution Panel. 600 AMP. Replace  | 30                  | 20          | 10       |     |               | EA         | \$12.023.82 \$12.024                             |                |                 | \$0,470             |          | \$12,024 |           |          |       |           |                |          |            | \$1                       |
| olice Station  | D5012                  | 1234492 Distribution Panel, 100 AMP, Replace  | 30                  | 20          | 10       |     |               | EA         | \$5,079.93 \$5,080                               |                |                 |                     |          | \$5.080  |           |          |       |           |                |          |            | \$1.<br>\$1               |
| olice Station  | D5012                  | 123492 Distribution Panel, 100 AMP, Replace   | 30                  | 20          | 10       |     |               | EA         | \$5,079.93 \$5,080                               |                |                 |                     |          | \$5,080  |           |          |       |           |                |          |            | ,<br>s                    |
| olice Station  | D5012                  | 1234510 Distribution Panel, 100 AWP, Replace  | 30                  | 20          | 10       |     |               | EA         | \$7,906.20 \$7,906                               |                |                 |                     |          | \$7,906  |           |          |       |           |                |          |            | ,<br>s                    |
| olice Station  | D5012                  | 1234516 Electrical Distribution System, Office Building, Upgrade  | 40                  | 35          | 5        | 59  |               | SE         | \$27.25 \$161,102                                |                |                 | \$161.102           |          | 97,500   |           |          |       |           |                |          |            | \$16                      |
| olice Station  | D5029                  | 1239390 Lighting System, Interior, Office Building, Upgrade   | 25                  | 20          | 5        | 59  |               | SF         | \$9.24 \$54,627                                  |                |                 | \$54,627            |          |          |           |          |       |           |                |          |            | \$5                       |
| lice Station   | D5029                  | 1234515 Fire Alarm Control Panel. Addressable. Replace  | 15                  | 10          | 5        | 59  |               | EA         | \$9.24 \$54,627                                  |                |                 | \$20,298            |          |          |           |          |       |           |                |          | \$20.298   | \$4<br>\$4                |
| olice Station  | D5037                  | 1234515 Fire Alarm Control Paner, Addressable, Replace  | 20                  | 14          | 6        |     |               | SF         | \$20,297.59 \$20,296                             |                |                 | \$13,952            |          |          |           |          |       |           |                |          | \$20,296   | \$1                       |
| olice Station  | D5092                  | 1234485 Fire Alarm System, Office Building, Install  1234514 Exit Lighting Fixture, w/ Battery, Replace or install                      | 10                  | 10          | 0        |     |               | EA         | \$2.36 \$13,952<br>\$418.95 \$1,676 \$1,676      |                |                 | \$10,00E            |          | \$1,676  |           |          |       |           |                |          | \$1,676    | \$1                       |
| lice Station   | D5092                  | 1234514 Exit Lighting Fixture, W Battery, Replace or install  1234470 Generator, Gas or Gasoline, 35 kW to 60 kW, Replace               | 25                  | 23          | 2        |     |               | EA         | \$418.95 \$1,676 \$1,676<br>\$41.300.30 \$41.300 | \$41,300       |                 |                     |          | ψ.,u/0   |           |          |       |           |                |          | ₩1,010     | \$4                       |
| lice Station   | E1094                  |   | 25<br>15            | 12          | 3        |     |               | EA         | \$41,300.30 \$41,300                             | \$41,300       |                 |                     |          |          |           |          |       |           | \$768          |          |            | 34                        |
| lice Station   | E1094<br>E1094         | 1234521 Residential Appliances, Range, Gas, Replace  1234528 Residential Appliances, Range Hood, Vented or Ventless, Replace            | 15                  | 12          | 3        |     |               | EA<br>EA   | \$768.11 \$768<br>\$271.61 \$272                 | \$768<br>\$272 |                 |                     |          |          |           |          |       |           | \$768<br>\$272 |          |            |                           |
| olice Station  | E1094<br>E1094         | 1234528 Residential Appliances, Range Hood, Vented or Ventless, Replace 1234477 Residential Appliances. Refrigerator. 14-18 CF. Replace | 15                  |             | 14       | 1   |               | EA<br>EA   | \$271.61 \$272<br>\$956.04 \$956                 | \$272          |                 |                     |          |          |           |          | \$956 |           | \$272          |          |            |                           |
| lice Station   | E1094<br>E2012         | 1234477 Residential Appliances, Refrigerator, 14-18 CF, Replace  1234520 Kitchen Counter, Plastic Laminate, Postformed, Replace         | 15                  | 1           | 9        |     |               | LF         | \$956.04 \$956<br>\$43.90 \$659                  |                |                 |                     | \$659    |          |           |          | 9000  |           |                | \$659    |            | ,                         |
| nice Station   |                        |   |                     |             | 17       |     |               |            | \$43.90 \$659<br>\$1.082.84 \$16.243             |                |                 |                     | anga     |          |           |          |       |           | 242            | 9009     |            | \$1                       |
| lice Station   | E2012<br>G2022         | 1234505 Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30", Replace  | 20                  | 3           | 17       |     |               | EA<br>SF   |  | \$2.086        |                 | \$2.086             |          |          | \$2.086   |          |       | \$16      |                |          |            |                           |
| ice Station<br>ice Station                           | G2022<br>G2022         | 1234480 Parking Lots, Asphalt Pavement, Seal & Stripe 1234495 Parking Lots, Asphalt Pavement, Mill & Overlay                            | 5<br>25             | 10          | 15       |     |               | SF         | \$0.38 \$2,086<br>\$3.28 \$18.007                | \$2,086        |                 | \$2,086             |          |          | \$2,086   |          | \$18  | \$2       | uu0            |          |            | \$1                       |
|  | G2022<br>G2031         |   |                     |             |          |     |               | SF         |  |                |                 |                     |          |          |           |          | \$18  | 007       |                |          |            | \$1                       |
| ice Station  |                        | 1234474 Pedestrian Pavement, Sidewalk, Concrete Large Areas, Replace  | 30                  | 30          | 0        |     |               |            | \$9.00 \$6,300 \$6,300<br>\$2,530.00 \$5,060     |                |                 |                     |          |          |           |          | -     | 000       |                |          |            |                           |
| lice Station   | G2048                  | 1234501 Flagpole, Metal, Replace  | 20                  | 5           | 15       |     |               | EA         |  |                |                 |                     |          |          |           |          | \$5   | 060       |                |          |            |                           |
| lice Station   | G3026                  | 1290719 Septic Tank, 1,000 GAL, Replace   | 30                  | 28          | 2        |     |               | EA         | \$9,970.00 \$9,970                               | \$9,970        |                 |                     | ***      |          |           |          |       |           |                |          |            |                           |
| wn Hall  | B2011                  | 1234883 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint  | 10                  | 1           | 9        |     |               | SF         | \$3.83 \$14,344                                  |                |                 |                     | \$14,344 |          |           |          |       |           |                | \$14,344 |            | \$2                       |
| vn Hall  | B2011                  | 1234802 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint  | 10                  | 1           | 9        |     |               | SF         | \$3.83 \$9,027                                   |                |                 |                     | \$9,027  |          |           |          |       |           |                | \$9,027  |            | \$                        |
| m Hall   | B3011                  | 1234836 Roof, Slate, Replace  | 5                   | 1           | 4        |     |               | SF         | \$65.00 \$21,450                                 |                | \$21,450        |                     | \$21,450 |          |           | \$2      | 1,450 |           |                | \$21,450 |            | \$6                       |
| m Hall   | B3011                  | 1234831 Roof, Single-Ply EPDM Membrane, Replace   | 20                  | 1           | 19       |     |               | SF         | \$10.52 \$5,891                                  |                |                 |                     |          |          |           |          |       |           |                | \$5,891  |            |                           |
| m Hall   | C1031                  | 1234886 Tollet Partitions, Metal Overhead-Braced, Replace   | 20                  | 1           | 19       |     |               | EA         | \$850.00 \$5,100                                 |                |                 |                     |          |          |           |          |       |           |                | \$5,100  |            |                           |
| vn Hall  | C3012                  | 1234815 Interior Wall Finish, Generic Surface, Prep & Paint   | 8                   | 1           | 7        |     | 725           |            | \$1.45 \$41,651                                  |                |                 | \$41,651            |          |          |           |          | \$41  | 851       |                |          |            | \$8                       |
| wn Hall  | C3012                  | 1234820 Interior Wall Finish, Wood Paneling, Replace  | 20                  | 1           | 19       |     |               | SF         | \$23.73 \$29,544                                 |                |                 |                     |          |          |           |          |       |           |                | \$29,544 |            | \$2                       |
| wn Hall  | C3024                  | 1234856 Interior Floor Finish, Vinyl Tile (VCT), Replace  | 15                  | 0           | 15       |     |               | SF         | \$4.80 \$5,520                                   |                |                 |                     |          |          |           |          | \$5   | 520       |                |          |            | \$                        |
| vn Hall  | C3025                  | 1234875 Interior Floor Finish, Carpet Standard-Commercial Medium-Traffic, Replace   | 10                  | 1           | 9        |     |               | SF         | \$7.26 \$88,209                                  |                |                 |                     | \$88,209 |          |           |          |       |           |                | \$88,209 |            | \$1                       |
| m Hall   | C3031                  | 1234849 Interior Ceiling Finish, Exposed/Generic, Prep & Paint  | 10                  | 0           | 10       |     |               | SF         | \$2.27 \$21,735                                  |                |                 |                     |          | \$21,735 |           |          |       |           |                |          | \$21,735   | \$                        |
| n Hall   | C3032                  | 1234854 Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace   | 20                  | 1           | 19       |     |               | SF         | \$3.11 \$24,258                                  |                |                 |                     |          |          |           |          |       |           |                | \$24,258 |            | •                         |
| m Hall   | D1019                  | 1234818 Elevator Cab Finishes, Standard w/out Stainless Steel Doors, Replace  | 10                  | 1           | 9        |     |               | EA         | \$3,000.00 \$3,000                               |                |                 |                     | \$3,000  |          |           |          |       |           |                | \$3,000  |            |                           |
| wn Hall  | D2011                  | 1234801 Toilet, Tankless (Water Closet), Replace  | 20                  | 1           | 19       | 6   | 6 1           | EA         | \$842.97 \$5,058                                 |                |                 |                     |          |          |           |          |       |           |                | \$5,058  |            | s                         |
| wn Hall  | D2012                  | 1234863 Urinal, Vitreous China, Replace   | 20                  | 1           | 19       | 2   | 2 !           | EA         | \$1,193.44 \$2,387                               |                |                 |                     |          |          |           |          |       |           |                | \$2,387  |            | s                         |
| wn Hall  | D2014                  | 1234866 Sink/Lavatory, Porcelain Enamel, Cast Iron, Replace   | 20                  | 1           | 19       | 6   | 6 1           | EA         | \$1,167.28 \$7,004                               |                |                 |                     |          |          |           |          |       |           |                | \$7,004  |            | \$                        |
|  | D2014                  | 1234865 Sink/Lavatory, Stainless Steel, Replace   | 20                  | 1           | 19       | 1   | 1 1           | EA         | \$1,054.05 \$1,054                               |                |                 |                     |          |          |           |          |       |           |                | \$1,054  |            | \$                        |
| vn Hall  |                        |   |                     |             |          |     | 1 1           |            | \$1,054.05 \$1,054                               |                |                 |                     |          |          |           |          |       |           |                | \$1.054  |            |                           |

| own Hall   | Uniformat Cod  | elD Cost Description  1234810 Drinking Fountain, Refrigerated, Replace  | Lifespan (EUI | )EAge | RUL<br>9 | Quant<br>6 | ityUnit<br>E/ | Unit Cost * Subtotal 2019<br>\$1,257.51 \$7,545 | 2020 2021 2022 | 2023 2024 202 | 25 2026 2027 2028<br>\$7,545 | 2029     | 2030 2031 203 | 2 2033       | 2034 2   | 2035 2036 203 | 7 2038<br>\$7,545 | 2039 Def | ficiency Repair E |
|--|----------------|---|---------------|-------|----------|------------|---------------|---|----------------|---------------|------------------------------|----------|---------------|--------------|----------|---------------|-------------------|----------|-------------------|
| own Hall   | D2018<br>D2021 | 1234800 Drinking Fountain, Reingerated, Replace 1234803 Backflow Preventer, Domestic, 0.75*, Replace                          | 10            | 1     | 14       | 1          | E             |   |                |               | \$7,545                      |          |               | \$1,010      |          |               | \$1,045           |          | •                 |
|  | D2021<br>D2023 | 1234803 Backflow Preventer, Domestic, 0.75*, Replace  1234846 Water Heater, Electric, Commercial, 20 GAL, Replace             | 15            | 1     | 14       | 1          |               |   |                |               |                              |          |               | \$6,963      |          |               |                   |          |                   |
|  | D2023          | 1234860 Domestic Circulator or Booster Pump. 2 HP. Replace  | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               | 90,503       |          |               | \$5.945           |          |                   |
|  | D2023          | 1234840 Domestic Circulator or Booster Pump, 3 HP, Replace  | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               |              |          |               | \$8,839           |          |                   |
|  | D2023          | 1234798 Domestic Circulator or Booster Pump, 3 HP, Replace  | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               |              |          |               | \$4,287           |          |                   |
| vn Hall  | D2023          | 1234829 Domestic Circulator or Booster Pump, 3 HP, Replace  | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               |              |          |               | \$8,839           |          |                   |
|  | D2023          | 1234876 Sump Pump, 3 HP, Replace  | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$2,063      |          |               | \$0,035           |          |                   |
|  | D3021          | 1234887 Boiler, Gas. 101 to 125 MBH. Replace  | 25            | 8     | 17       | 1          | E             |   |                |               |                              |          |               | 92,003       |          | \$11.460      |                   |          |                   |
|  |                |   | 15            | 1     | 14       | 1          |               |   |                |               |                              |          |               | 645.005      |          | \$11,400      |                   |          |                   |
|  | D3032          | 1234884 Condensing Unit/Heat Pump, Split System, 10 Ton, Replace  |               |       |          |            | E             |   |                |               |                              |          |               | \$15,825     |          |               |                   |          | \$                |
|  | D3032          | 1234847 Condensing Unit/Heat Pump, Split System, 1 Ton, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$2,119      |          |               |                   |          |                   |
|  | D3032          | 1234881 Condensing Unit/Heat Pump, Split System, 1 Ton, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$2,119      |          |               |                   |          |                   |
|  | D3032          | 1234838 Condensing Unit/Heat Pump, Split System, 10 Ton, Replace  | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$15,825     |          |               |                   |          | \$                |
|  | D3032          | 1234814 Condensing Unit/Heat Pump, Split System, 8 Ton, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$15,825     |          |               |                   |          | \$                |
|  | D3032          | 1234811 Condensing Unit/Heat Pump, Split System, 1 Ton, Replace   | 15            | 0     | 15       | 1          | E             |   |                |               |                              |          |               |              | \$2,119  |               |                   |          |                   |
|  | D3041          | 1234839 Make-Up Air Unit, 6,000 CFM, Replace  | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               |              |          |               | \$44,658          |          |                   |
| wn Hall  | D3042          | 1234821 Exhaust Fan, Centrifugal, 5,001 to 8,000 CFM, Replace   | 15            | 1     | 14       | 1          | E             | \$5,570.04 \$5,570                              |                |               |                              |          |               | \$5,570      |          |               |                   |          |                   |
| m Hall   | D3051          | 1234809 Unit Heater, Hydronic, 37 to 85 MBH, Replace  | 20            | 1     | 19       | 6          | E             | \$1,900.28 \$11,402                             |                |               |                              |          |               |              |          |               | \$11,402          |          |                   |
| m Hall   | D3051          | 1234850 Furnace, Electric, 51 to 75 MBH, Replace  | 20            | 1     | 19       | 1          | E             | \$4,625.78 \$4,626                              |                |               |                              |          |               |              |          |               | \$4,626           |          |                   |
| n Hall   | D3051          | 1234822 Unit Heater, Hydronic, 24 MBH, Replace  | 20            | 1     | 19       | 14         | E             | \$1,516.80 \$21,235                             |                |               |                              |          |               |              |          |               | \$21,235          |          |                   |
| m Hall   | D3068          | 1234877 HVAC Controls, Building Automation System (BAS), Upgrade  | 20            | 1     | 19       | 1936       | 4 SI          | \$5.36 \$103,791                                |                |               |                              |          |               |              |          |               | \$103,791         |          | \$                |
| m Hall   | D4011          | 1234888 Backflow Preventer, Fire Suppression, 6*, Replace   | 20            | 1     | 19       | 1          | E             | \$9,528.08 \$9,528                              |                |               |                              |          |               |              |          |               | \$9,528           |          |                   |
| m Hall   | D4012          | 1234889 Fire Pump, 10 HP, Replace   | 20            | 1     | 19       | 1          | E             | \$7,088.99 \$7,089                              |                |               |                              |          |               |              |          |               | \$7,089           |          |                   |
| m Hall   | D4019          | 1234813 Sprinkler Heads (per SF), , Replace   | 20            | 1     | 19       | 1936       | 4 SI          | \$1.33 \$25,754                                 |                |               |                              |          |               |              |          |               | \$25,754          |          |                   |
| n Hall   | D4031          | 1234851 Fire Extinguisher - Type ABC, , Replace   | 15            | 1     | 14       | 10         | E             | \$314.93 \$3,149                                |                |               |                              |          |               | \$3,149      |          |               |                   |          |                   |
| n Hall   | D5037          | 1234864 Fire Alarm Control Panel, Addressable, Replace  | 15            | 1     | 14       | 1          | E             | \$20,297.59 \$20,298                            |                |               |                              |          |               | \$20,298     |          |               |                   |          |                   |
|  | D5037          | 1234880 Fire Alarm System, Office Building, Install   | 20            | 1     | 19       | 1936       |               |   |                |               |                              |          |               |              |          |               | \$45,699          |          |                   |
|  | D5092          | 1234872 Exit Lighting Fixture, w/ Battery, Replace  | 10            | 1     | 9        | 22         |               |   |                |               | \$9,217                      |          |               |              |          |               | \$9,217           |          |                   |
|  | E1093          | 1234882 Commercial Kitchen, Commercial Microwave, Replace   | 10            | 1     | 9        | 1          | E             |   |                |               | \$1,038                      |          |               |              |          |               | \$1,038           |          |                   |
|  | E1093          | 1234879 Commercial Kitchen, Food Warmer, Replace  | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$1,552      |          |               |                   |          |                   |
|  | E1094          | 1234819 Residential Appliances, Refrigerator, 14-18 CF, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$956        |          |               |                   |          |                   |
| n Hall   | G2022          | 1234861 Parking Lots, Asphalt Pavement, Seal & Stripe   | 5             | 0     | 5        | 1525       |               |   |                | \$5,795       |                              | \$5,795  |               | <b>\$550</b> | \$5,795  |               |                   | \$5,795  |                   |
| er Pump Station - North                                |                | 1234712 Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint  | 25            | 10    | 15       | 100        |               |   |                | 90,780        |                              | 40,700   |               |              | \$4,128  |               |                   | ψω,100   |                   |
| er Pump Station - North                                |                | 1234712 Exterior Wall, Brick of Brick Veneer, 1-2 Stories, Repoint  | 25            | 10    | 15       | 1          | E             |   |                |               |                              |          |               |              | \$4,126  |               |                   |          |                   |
| er Pump Station - North                                |                | 1234746 Extenor Door, Steel, Replace 1234790 Roof, Modified Bituminous. Replace   | 25            | 10    | 15       | 625        |               |   |                | \$5.625       |                              |          |               |              | 40JU     |               |                   |          |                   |
|  |                |   | 20            |       |          |            |               |   |                | \$5,625       |                              | 80       |               |              |          |               |                   |          |                   |
| er Pump Station - North                                |                | 1234733 Emergency Eye Wash & Shower Station, , Replace  |               | 5     | 10       | 1          | E             |   |                |               |                              | \$2,115  |               |              |          |               |                   |          |                   |
| er Pump Station - North                                |                | 1234713 Domestic Circulation/Booster Pump, 50 HP, Replace   | 25            | 15    | 10       | 1          | E             |   |                |               |                              | \$17,000 |               |              |          |               |                   |          |                   |
| er Pump Station - North                                |                | 1234742 Domestic Circulation/Booster Pump, 50 HP, Replace   | 25            | 15    | 10       | 1          | E             |   |                |               |                              | \$17,000 |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               |                | 1234720 Sump Pump, 20 HP, Replace   | 20            | 10    | 10       | 1          | E             |   |                |               |                              | \$7,158  |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               |                | 1279224 Full HVAC System Upgrade, Medium Complexity, Replace  | 40            | 40    | 0        | 616        |               |   |                |               |                              |          |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               |                | 1234725 Unit Heater, Natural Gas, 11 to 25 MBH, Replace   | 20            | 15    | 5        | 1          | E             |   |                | \$3,928       |                              |          |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               |                | 1234705 Fire Extinguisher - Type ABC, , Replace   | 15            | 5     | 10       | 2          | E             |   |                |               |                              | \$630    |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               | D5012          | 1234750 Transfer Switch, Automatic (ATS), 600 V, 600 Amp, Replace   | 18            | 15    | 3        | 1          | E             | A \$16,318.29 \$16,318                          | \$16,318       |               |                              |          |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               | D5012          | 1234718 Motor Control Center w/ Main Breaker, AMP, Replace  | 30            | 15    | 15       | 1          | E             |   |                |               |                              |          |               |              | \$26,277 |               |                   |          |                   |
| ter Pump Station - North                               | D5029          | 1238368 Lighting System, Interior, Office Building, Upgrade   | 25            | 20    | 5        | 616        | SI            | \$9.24 \$5,692                                  |                | \$5,692       |                              |          |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               | D5037          | 1234749 Fire Alarm System, Office Building, Install   | 20            | 20    | 0        | 616        | SI            | \$2.36 \$1,454 \$1,454                          |                |               |                              |          |               |              |          |               |                   | \$1,454  |                   |
| ter Pump Station - North                               | D5092          | 1234716 Generator, Gas or Gasoline, 65 kW to 125 kW, Replace  | 25            | 15    | 10       | 1          | E             | \$71,929.70 \$71,930                            |                |               |                              | \$71,930 |               |              |          |               |                   |          |                   |
| ter Pump Station - North                               | G2012          | 1279225 Roadways, Asphalt Pavement  | 25            | 10    | 15       | 800        | SI            | \$2.00 \$1,596                                  |                |               |                              |          |               |              | \$1,596  |               |                   |          |                   |
| ter Pump Station - Perkins                             | s B2011        | 1234794 Exterior Wall, Painted Surface, 3+ Stories, Prep & Paint  | 10            | 7     | 3        | 240        | SI            | \$3.83 \$918                                    | \$918          |               |                              |          | \$91          | 3            |          |               |                   |          |                   |
| er Pump Station - Perkins                              | s B2011        | 1238439 Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repoint  | 25            | 7     | 18       | 480        | SI            | \$41.28 \$19,816                                |                |               |                              |          |               |              |          | \$19,816      | 3                 |          |                   |
| er Pump Station - Perkins                              | s B3011        | 1234751 Roof, Asphalt Shingle, Replace  | 20            | 18    | 2        | 855        | SI            | \$3.42 \$2,924                                  | \$2,924        |               |                              |          |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              | s C3021        | 1234793 Interior Floor Finish, Epoxy Coating, Prep & Paint  | 10            | 5     | 5        | 768        | SI            | \$8.74 \$6,712                                  |                | \$6,712       |                              |          |               |              | \$6,712  |               |                   |          |                   |
| er Pump Station - Perkins                              | s D2019        | 1234797 Emergency Eye Wash, , Replace   | 15            | 7     | 8        | 1          | E             | \$1,417.04 \$1,417                              |                |               | \$1,417                      |          |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              | s D2023        | 1234785 Domestic Circulation/Booster Pump, 50 HP, Replace   | 25            | 12    | 13       | 1          | E             | A \$17,000.00 \$17,000                          |                |               |                              |          | \$17,00       | )            |          |               |                   |          |                   |
| er Pump Station - Perkins                              | s D3045        | 1234761 Flow Control Valve, Motorized, 10*, Replace   | 15            | 8     | 7        | 1          | E             | A \$15,144.66 \$15,145                          |                |               | \$15,145                     |          |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              | s D3049        | 1279230 Full HVAC System Upgrade, Medium Complexity, Replace  | 40            | 40    | 0        | 768        | SI            | \$21.00 \$16,128 \$16,128                       |                |               |                              |          |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              |                | 1234760 Unit Heater, Electric, 10 kW, Replace   | 20            | 12    | 8        | 1          | E             |   |                |               | \$1,974                      |          |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              |                | 1234775 Fire Extinguisher - Type ABC, , Replace   | 15            | 10    | 5        | 2          | E             |   |                | \$630         |                              |          |               |              |          |               |                   | \$630    |                   |
| er Pump Station - Perkins                              |                | 1238441 Distribution Panel, 208 Y, 120 V, 200 Amp, Replace  | 30            | 20    | 10       | 1          | E             |   |                |               |                              | \$7,906  |               |              |          |               |                   |          |                   |
| er Pump Station - Perkins                              |                | 1234780 Motor Control Center w/ Main Breaker, AMP, Replace  | 30            | 12    | 18       | 1          |               |   |                |               |                              | ,000     |               |              |          | \$26.277      | ,                 |          |                   |
| er Pump Station - Perkins                              |                | 1234796 Electrical Distribution System, Office Building, Upgrade  | 40            | 23    | 17       | 768        |               |   |                |               |                              |          |               |              |          | \$20,928      |                   |          |                   |
| er Pump Station - Perkins<br>er Pump Station - Perkins |                | 1234796 Electrical Distribution System, Office Building, Opgrade  1234756 Lighting System, Interior, Office Building, Upgrade | 25            | 12    | 13       | 768        |               |   |                |               |                              |          | \$7,09        |              |          | 920,020       |                   |          |                   |
| er Pump Station - Perkins<br>er Pump Station - Perkins |                | 1234/36 Lighting System, interior, Office Building, Opgrade  1238438 Fire Alarm System, Office Building, Install              | 20            | 20    | 0        | 480        |               |   |                |               |                              |          | \$7,09        |              |          |               |                   | \$1,133  |                   |
|  |                |   | 20            | 10    |          |            |               |   |                |               |                              |          |               |              | \$1 ECC  |               |                   | \$1,133  |                   |
| er Pump Station - Perkins                              |                | 1279227 Roadways, Asphalt Pavement, Overlay   |               |       | 15       | 800        |               |   |                |               | 647.400                      |          |               |              | \$1,596  |               |                   |          |                   |
|  | C3012          | 1234556 Interior Wall Finish, Generic Surface, Prep & Paint   | 8             | 1     | 7        |            | 0 SI          |   |                |               | \$17,400                     |          |               |              | \$17,400 |               |                   | ***      |                   |
|  | C3021          | 1283359 Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint   | 10            | 0     | 10       | 5730       |               |   |                |               |                              | \$68,760 |               |              |          |               |                   | \$68,760 |                   |
|  | C3031          | 1234676 Interior Ceilling Finish, Exposed/Generic, Prep & Paint   | 10            | 1     | 9        | 6000       |               |   |                |               | \$13,620                     |          |               |              |          |               | \$13,620          |          |                   |
|  | D2014          | 1234614 Sink/Lavatory, Stainless Steel, Replace   | 20            | 1     | 19       | 1          | E             |   |                |               |                              |          |               |              |          |               | \$1,054           |          |                   |
|  | D2019          | 1234607 Emergency Eye Wash, , Replace   | 15            | 1     | 14       | 6          |               |   |                |               |                              |          |               | \$8,502      |          |               |                   |          |                   |
|  | D2021          | 1234696 Backflow Preventer, 4 INCH, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
|  | D2021          | 1234543 Backflow Preventer, 6 INCH, Replace   | 15            | 1     | 14       | 1          |               |   |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
| r Treatment Plant                                      | D2021          | 1234663 Backflow Preventer, 6 INCH, Replace   | 15            | 1     | 14       | 1          | E             | \$9,528.08 \$9,528                              |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
| r Treatment Plant                                      | D2021          | 1234585 Backflow Preventer, 4 INCH, Replace   | 15            | 1     | 14       | 1          | E             | \$9,528.08 \$9,528                              |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
| er Treatment Plant                                     | D2021          | 1234644 Flow Control Valve, Motorized, 2", Replace  | 15            | 1     | 14       | 1          | E             | \$1,855.27 \$1,855                              |                |               |                              |          |               | \$1,855      |          |               |                   |          |                   |
| er Treatment Plant                                     | D2021          | 1234546 Flow Control Valve, Motorized, 2", Replace  | 15            | 1     | 14       | 1          | E             | \$1,855.27 \$1,855                              |                |               |                              |          |               | \$1,855      |          |               |                   |          |                   |
| er Treatment Plant                                     | D2021          | 1234576 Flow Control Valve, Motorized, 2", Replace  | 15            | 1     | 14       | 1          | E             | \$1,855.27 \$1,855                              |                |               |                              |          |               | \$1,855      |          |               |                   |          |                   |
|  | D2021          | 1234565 Backflow Preventer, 6 INCH, Replace   | 15            | 1     | 14       | 1          |               |   |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
|  | D2021          | 1234597 Backflow Preventer, 4 INCH, Replace   | 15            | 1     | 14       | 1          | E             |   |                |               |                              |          |               | \$9,528      |          |               |                   |          |                   |
|  |                |   | 10            |       |          |            |               |   |                |               |                              |          |               |              |          |               |                   |          |                   |
|  | D2021          | 1234547 Flow Control Valve, Motorized, 2", Replace  | 15            | 1     | 14       | 1          | E             | \$1.855.27 \$1.855                              |                |               |                              |          |               | \$1,855      |          |               |                   |          |                   |

| Facility   | Codelin Cest Description 1234560 [Pow Control Valve, Motorized 2", Replace 123450 [Flow Control Valve, Motorized 2", Replace 123450 [Flow Control Valve, Motorized 2", Replace 1234574 [Pow Control Valve, Motorized 2", Replace 1234574 [Pow Control Valve, Motorized 2", Replace 1234575 [Pow Control Valve, Motorized 2", Replace 1234585] [Pow Control Valve, Motorized 2", Replace 1234581 [Pow Control Valve, Motorized 2", Replace 1234582 [Pow Control Valve, Motorized 2", Replace 1234583 [Pow Control Valve, Motorized 2", Replace 1234584 [Pow Control Valve, Motorized 2", Replace 1234587 [Pow Control Valve, Motorized 2", Replace 1234587 [Pow Control Valve, Motorized 2", Replace 1234587 [Pow Control Valve, Motorized 2", Replace 1234585 [Pow Control Valve, Motorized 2", Replace 123459 [Pow Control Valve, Mo |  | 1   | RUL  14  14  14  14  14  14  14  14  14  1                           | Quantitation  | EAA      | \$1,000 \$1 |  | 2030 2031 2032 2033 2034 2035  \$1,855 | 2036 2037 2038      | 2039 Deficiency Repail |
|--|--|--|---|--|---|--|---|--|--|---------------------|------------------------|
| Water Treatment Plant         D2021           Water Treatment Plant         D2021 <t< th=""><th>1234562 Flow Control Valve, Motorized, 2°, Replace 1234572 Flow Control Valve, Motorized, 2°, Replace 1234573 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 1234592 Bacilfow Preventie, 6 INCH, Replace 1234593 Blow Control Valve, Motorized, 2°, Replace 1234593 Blow Control Valve, Motorized, 2°, Replace 1234595 Blow Control Valve, Motorized, 2°, Replace 1234518 Blow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123450 Flow Control Valve, Moto</th><th>15</th><th>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</th><th>14 14 14 14 14 14 14 14 14 14 14 14 14 1</th><th></th><th>EAA EAA EAA EAA EAA EAA EAA EAA EAA EAA</th><th>\$ \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.</th><th>.865.27 \$1.865  </th><th>\$1,855 \$1,855</th><th></th><th></th></t<>  | 1234562 Flow Control Valve, Motorized, 2°, Replace 1234572 Flow Control Valve, Motorized, 2°, Replace 1234573 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 1234593 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 1234592 Bacilfow Preventie, 6 INCH, Replace 1234593 Blow Control Valve, Motorized, 2°, Replace 1234593 Blow Control Valve, Motorized, 2°, Replace 1234595 Blow Control Valve, Motorized, 2°, Replace 1234518 Blow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123450 Flow Control Valve, Moto | 15   | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             |   | EAA      | \$ \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.   | .865.27 \$1.865  | \$1,855                                      |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2021 <t< td=""><td>1234572 Flow Control Valve, Motorized, 2°, Replace 1234574 Flow Control Valve, Motorized, 2°, Replace 1234595 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Mot</td><td>15</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EAA EAA EAA EAA EAA EAA EAA EAA EAA EAA</td><td>\$ \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.</td><td></td><td>\$1,855 \$1,855</td><td></td><td></td></t<>  | 1234572 Flow Control Valve, Motorized, 2°, Replace 1234574 Flow Control Valve, Motorized, 2°, Replace 1234595 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Mot | 15   | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1   | EAA      | \$ \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.0 \$1.   |  | \$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022 <t< td=""><td>123457   Flow Control Valve, Motorized, 2°, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123453   Flow Control Valve, Motorized, 2°, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123458   Flow Control Valve, Motorized, 2°, Replace 123458   Flow Control Valve, Motorized, 2°, Replace 123458   Backflow Preventer, 6 INCH, Replace 123459   Backflow Preventer, 6 INCH, Replace 123451   Backflow Preventer, 6 INCH, Replace 123451   Backflow Preventer, 6 INCH, Replace 123455   Backflow Preventer, 6 INCH, Replace 123455   Backflow Preventer, 6 INCH, Replace 123456   Flow Control Valve, Motorized, 2°, Replace 123456   Backflow Preventer, 4 INCH, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123451   Flow Control Valve, Motorized, 2°, Replace 123456   Flow Control Valve, Motorized, 2°, Replace 123450   Flow C</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EA EA E</td><td>\$ \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.</td><td>.865.27 \$1.865  </td><td>\$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$5,9528 \$1,855 \$9,528 \$1,855 \$9,528 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855</td><td></td><td></td></t<>   | 123457   Flow Control Valve, Motorized, 2°, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123453   Flow Control Valve, Motorized, 2°, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123458   Flow Control Valve, Motorized, 2°, Replace 123458   Flow Control Valve, Motorized, 2°, Replace 123458   Backflow Preventer, 6 INCH, Replace 123459   Backflow Preventer, 6 INCH, Replace 123451   Backflow Preventer, 6 INCH, Replace 123451   Backflow Preventer, 6 INCH, Replace 123455   Backflow Preventer, 6 INCH, Replace 123455   Backflow Preventer, 6 INCH, Replace 123456   Flow Control Valve, Motorized, 2°, Replace 123456   Backflow Preventer, 4 INCH, Replace 123459   Flow Control Valve, Motorized, 2°, Replace 123451   Flow Control Valve, Motorized, 2°, Replace 123456   Flow Control Valve, Motorized, 2°, Replace 123450   Flow C | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1   | EA E     | \$ \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.3 \$1.   | .865.27 \$1.865  | \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$5,9528 \$1,855 \$9,528 \$1,855 \$9,528 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855 \$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022 <t< td=""><td>1234695 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234693 Backflow Preventer, 6 INCH, Replace 1234691 Backflow Preventer, 6 INCH, Replace 1234591 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2°</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>111111111111111111111111111111111111111</td><td>EA EA E</td><td>\$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3</td><td>.865.27 \$1.855  </td><td>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234695 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234693 Backflow Preventer, 6 INCH, Replace 1234691 Backflow Preventer, 6 INCH, Replace 1234591 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2° | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 111111111111111111111111111111111111111   | EA E     | \$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3 \$1,3   | .865.27 \$1.855  | \$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$9,528<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>123453 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123450 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 1234559 Flow Control Valve, Motorized, 2°, Replace 1234549 Flow Control Valve, Motorized, 2°, Replace 1234549 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234551 Flow Control Valve, Motorized, 2°, Replace 1234552 Flow Control Valve, Motorized, 2°, Replace 1234553 Flow Control Valve, Motorized, 2°, Replace 1234559 Flow Control Valve, Motorized, 2°, Replace 1234550 Flow Control Valve, Motorized, 2°</td><td>15</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EAA EAA EAA EAA EAA EAA EAA EAA EAA EAA</td><td>\$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4</td><td>.865.27 \$1.855  </td><td>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 123453 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123459 Flow Control Valve, Motorized, 2°, Replace 123450 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 123451 Backflow Preventer, 6 INCH, Replace 1234559 Flow Control Valve, Motorized, 2°, Replace 1234549 Flow Control Valve, Motorized, 2°, Replace 1234549 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234551 Flow Control Valve, Motorized, 2°, Replace 1234552 Flow Control Valve, Motorized, 2°, Replace 1234553 Flow Control Valve, Motorized, 2°, Replace 1234559 Flow Control Valve, Motorized, 2°, Replace 1234550 Flow Control Valve, Motorized, 2° | 15   | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | EAA      | \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4   | .865.27 \$1.855  | \$1,855<br>\$1,855<br>\$1,855<br>\$9,528<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234589 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234691 Backflow Preventer, 6 INCH, Replace 1234591 Backflow Preventer, 6 INCH, Replace 1234595 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234698 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234690 Flow Control Valve, Motorized, 3°, Replace 1234690 Flow Control Valve, Motorized, 3°</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EAA EAA EAA EAA EAA EAA EAA EAA EAA EAA</td><td>\$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0</td><td>.865.27 \$1.865  </td><td>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 1234589 Flow Control Valve, Motorized, 2°, Replace 1234691 Flow Control Valve, Motorized, 2°, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234692 Backflow Preventer, 6 INCH, Replace 1234691 Backflow Preventer, 6 INCH, Replace 1234591 Backflow Preventer, 6 INCH, Replace 1234595 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234698 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234690 Flow Control Valve, Motorized, 3°, Replace 1234690 Flow Control Valve, Motorized, 3° | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1   | EAA      | \$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0 \$1,0   | .865.27 \$1.865  | \$1,855<br>\$9,528<br>\$1,855<br>\$9,528<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234652 Backflow Preventer, 6 INCH, Replace 1234652 Backflow Preventer, 6 INCH, Replace 1234618 Flow Control Valve, Motorized, 2", Replace 1234618 Backflow Preventer, 6 INCH, Replace 1234519 Backflow Preventer, 6 INCH, Replace 1234551 Backflow Preventer, 6 INCH, Replace 1234546 Flow Control Valve, Motorized, 2", Replace 1234568 Backflow Preventer, 4 INCH, Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 123457 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 1234560 Flow Control Valve, Motorized, 2", Replace 1234560 Flow Control Valve, Motorized, 2", Replace 1234563 Backflow Preventer, Domestic, 4", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 123457 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>EA EA E</td><td>\$1,4 \$1,4 \$9,4 \$1,4 \$9,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1</td><td>.865.27 \$1.855 \$ .</td><td>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$0,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234652 Backflow Preventer, 6 INCH, Replace 1234652 Backflow Preventer, 6 INCH, Replace 1234618 Flow Control Valve, Motorized, 2", Replace 1234618 Backflow Preventer, 6 INCH, Replace 1234519 Backflow Preventer, 6 INCH, Replace 1234551 Backflow Preventer, 6 INCH, Replace 1234546 Flow Control Valve, Motorized, 2", Replace 1234568 Backflow Preventer, 4 INCH, Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 123457 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 1234561 Flow Control Valve, Motorized, 2", Replace 1234560 Flow Control Valve, Motorized, 2", Replace 1234560 Flow Control Valve, Motorized, 2", Replace 1234563 Backflow Preventer, Domestic, 4", Replace 1234569 Flow Control Valve, Motorized, 2", Replace 123457 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace  | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1 | EA E     | \$1,4 \$1,4 \$9,4 \$1,4 \$9,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1   | .865.27 \$1.855 \$ .   | \$1,855<br>\$9,528<br>\$1,855<br>\$9,528<br>\$0,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234652 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234511 Backflow Preventer, 6 INCH, Replace 1234558 Backflow Preventer, 6 INCH, Replace 1234568 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234562 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 123457 Flow Control Valve, Motorized, 2°, Replac</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EA EA E</td><td>\$9,000 \$1</td><td>.528.08 \$9.528</td><td>\$9,528<br/>\$1,855<br/>\$9,528<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234652 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234511 Backflow Preventer, 6 INCH, Replace 1234558 Backflow Preventer, 6 INCH, Replace 1234568 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234562 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 123457 Flow Control Valve, Motorized, 2°, Replac | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | EA E     | \$9,000 \$1 | .528.08 \$9.528  | \$9,528<br>\$1,855<br>\$9,528<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234615 Flow Control Valve, Motorized, 2°, Replace 1234611 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234656 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234696 Backflow Preventer, 4 INCH, Replace 1234696 Backflow Preventer, 4 INCH, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234695 Flow Control Valve, Motorized, 2°, Replace 1234615 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234698 Flow Control Valve, Motorized, 2°, Replace 1234699 Flow Control Valve, Motorized, 2°, Replace 1234690 Flow Control Valve, Motori</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EA EA E</td><td>\$1,000 \$1</td><td>.855.27 \$1.855 \$9.528 \$</td><td>\$1,855<br/>\$9,528<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<> | 1234615 Flow Control Valve, Motorized, 2°, Replace 1234611 Backflow Preventer, 6 INCH, Replace 1234651 Backflow Preventer, 6 INCH, Replace 1234656 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234696 Backflow Preventer, 4 INCH, Replace 1234696 Backflow Preventer, 4 INCH, Replace 1234692 Flow Control Valve, Motorized, 2°, Replace 1234695 Flow Control Valve, Motorized, 2°, Replace 1234615 Flow Control Valve, Motorized, 2°, Replace 1234696 Flow Control Valve, Motorized, 2°, Replace 1234698 Flow Control Valve, Motorized, 2°, Replace 1234699 Flow Control Valve, Motorized, 2°, Replace 1234690 Flow Control Valve, Motori | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1   | EA E     | \$1,000 \$1 | .855.27 \$1.855 \$9.528 \$ | \$1,855<br>\$9,528<br>\$9,528<br>\$1,855<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234611 Backflow Preventer, 6 INCH, Replace 1234519 Backflow Preventer, 6 INCH, Replace 123459 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234698 Backflow Preventer, 4 INCH, Replace 1234698 Backflow Preventer, 4 INCH, Replace 1234698 Flow Control Valve, Motorized 2°, Replace 1234629 Flow Control Valve, Motorized 2°, Replace 1234622 Flow Control Valve, Motorized 2°, Replace 1234628 Flow Control Valve, Motorized 2°, Replace 1234648 Flow Control Valve, Motorized 2°, Replace 123469 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Backflow Preventer, Comestic 4°, Replace 1234630 Backflow Preventer, Comestic 4°, Replace 1234630 Water Filter, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234630 Domestic Circulator or Booster Pump, 15 HP, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>14 14 14 14 14 14 14 14 14 14 14 14 14 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>EA<br/>EA<br/>EA<br/>EA<br/>EA<br/>EA<br/>EA<br/>EA</td><td>\$9,000 \$9,000 \$9,000 \$1</td><td>5,528.08 58,528 58,528 58,528 58,528 58,528 58,528 58,527 \$1,855 58,527 \$1,855 58,527 \$1,855 58,527 \$1,855 58,528</td><td>\$9,528<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 1234611 Backflow Preventer, 6 INCH, Replace 1234519 Backflow Preventer, 6 INCH, Replace 123459 Backflow Preventer, 6 INCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234698 Backflow Preventer, 4 INCH, Replace 1234698 Backflow Preventer, 4 INCH, Replace 1234698 Flow Control Valve, Motorized 2°, Replace 1234629 Flow Control Valve, Motorized 2°, Replace 1234622 Flow Control Valve, Motorized 2°, Replace 1234628 Flow Control Valve, Motorized 2°, Replace 1234648 Flow Control Valve, Motorized 2°, Replace 123469 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Backflow Preventer, Comestic 4°, Replace 1234630 Backflow Preventer, Comestic 4°, Replace 1234630 Water Filter, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234630 Domestic Circulator or Booster Pump, 15 HP, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace   | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1 | 14 14 14 14 14 14 14 14 14 14 14 14 14 1                             | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | EA<br>EA<br>EA<br>EA<br>EA<br>EA<br>EA<br>EA | \$9,000 \$9,000 \$9,000 \$1 | 5,528.08 58,528 58,528 58,528 58,528 58,528 58,528 58,527 \$1,855 58,527 \$1,855 58,527 \$1,855 58,527 \$1,855 58,528  | \$9,528<br>\$9,528<br>\$1,855<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2022           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234561 Backflow Preventer, 6 INCH, Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Backflow Preventer, 4 INCH, Replace 1234569 Backflow Preventer, 4 INCH, Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234560 Flow Control Valve, Motorized 2", Replace 1234535 Backflow Preventer, Domestic 4", Replace 123453 Backflow Preventer, Domestic 4", Replace 123450 Walter Heater, Gas, Commercial, 80 GAL, Replace 1234560 Domestic Circulator or Booster Pump, 15 HP, Replace 1234550 Domestic Circulator or Booster Pump, 10 HP, Replace 123457 Domestic Circulator or Booster Pump, 10 HP, Replace 123457 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>EA EA EA EA EA EA</td><td>\$9,000 \$1</td><td>.528.08 \$9,528</td><td>\$9.528<br/>\$1,855<br/>\$1,855<br/>\$9.528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 1234561 Backflow Preventer, 6 INCH, Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Backflow Preventer, 4 INCH, Replace 1234569 Backflow Preventer, 4 INCH, Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234529 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234569 Flow Control Valve, Motorized 2", Replace 1234560 Flow Control Valve, Motorized 2", Replace 1234535 Backflow Preventer, Domestic 4", Replace 123453 Backflow Preventer, Domestic 4", Replace 123450 Walter Heater, Gas, Commercial, 80 GAL, Replace 1234560 Domestic Circulator or Booster Pump, 15 HP, Replace 1234550 Domestic Circulator or Booster Pump, 10 HP, Replace 123457 Domestic Circulator or Booster Pump, 10 HP, Replace 123457 Domestic Circulator or Booster Pump, 15 HP, Replace  | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1 | 14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14 | 1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1                                    | EA EA EA EA EA EA                            | \$9,000 \$1 | .528.08 \$9,528  | \$9.528<br>\$1,855<br>\$1,855<br>\$9.528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234546 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2°, Replace 1234590 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2°, Replace 123459</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1 1 1 1 1 1 1 1 1 1 1 1</td><td>EA EA EA EA EA EA</td><td>\$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4</td><td>.855.27 \$1.855<br/>.855.27 \$1.855<br/>.855.28 \$1.855<br/>.855.27 \$1.855</td><td>\$1,855<br/>\$1,855<br/>\$9,528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 1234546 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234597 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234596 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2°, Replace 1234590 Flow Control Valve, Motorized, 2°, Replace 1234599 Flow Control Valve, Motorized, 2°, Replace 123459 | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1<br>1 | 14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14       | 1 1 1 1 1 1 1 1 1 1 1 1   | EA EA EA EA EA EA                            | \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4 \$1,4   | .855.27 \$1.855<br>.855.27 \$1.855<br>.855.28 \$1.855<br>.855.27 \$1.855   | \$1,855<br>\$1,855<br>\$9,528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234696 Backflow Preventer, 4 InCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234597 Flow Control Valve, Motorized 2°, Replace 1234637 Flow Control Valve, Motorized 2°, Replace 1234642 Flow Control Valve, Motorized 2°, Replace 1234645 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234600 Flow Control Valve, Motorized 2°, Replace 1234690 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234639 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Motorized 2°, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1 1 1 1 1 1 1 1 1 1</td><td>EA<br/>EA<br/>EA<br/>EA<br/>EA<br/>EA</td><td>\$9,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0</td><td>,528.08 \$9,528</td><td>\$9.528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234696 Backflow Preventer, 4 InCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234597 Flow Control Valve, Motorized 2°, Replace 1234637 Flow Control Valve, Motorized 2°, Replace 1234642 Flow Control Valve, Motorized 2°, Replace 1234645 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234600 Flow Control Valve, Motorized 2°, Replace 1234690 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234639 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Motorized 2°, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace   | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14             | 1 1 1 1 1 1 1 1 1 1   | EA<br>EA<br>EA<br>EA<br>EA<br>EA             | \$9,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0   | ,528.08 \$9,528  | \$9.528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234696 Backflow Preventer, 4 InCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234597 Flow Control Valve, Motorized 2°, Replace 1234637 Flow Control Valve, Motorized 2°, Replace 1234642 Flow Control Valve, Motorized 2°, Replace 1234645 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234600 Flow Control Valve, Motorized 2°, Replace 1234690 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234639 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Motorized 2°, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 1</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1<br/>1<br/>1<br/>1<br/>1<br/>1<br/>1</td><td>EA<br/>EA<br/>EA<br/>EA<br/>EA<br/>EA</td><td>\$9,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0<br/>\$1,0</td><td>,528.08 \$9,528</td><td>\$9.528<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>   | 1234696 Backflow Preventer, 4 InCH, Replace 1234596 Flow Control Valve, Motorized 2°, Replace 1234597 Flow Control Valve, Motorized 2°, Replace 1234637 Flow Control Valve, Motorized 2°, Replace 1234642 Flow Control Valve, Motorized 2°, Replace 1234645 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234660 Flow Control Valve, Motorized 2°, Replace 1234600 Flow Control Valve, Motorized 2°, Replace 1234690 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234638 Flow Control Valve, Motorized 2°, Replace 1234639 Flow Control Valve, Motorized 2°, Replace 1234630 Flow Control Valve, Motorized 2°, Replace 1234630 Motorized 2°, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace 123467 Domestic Circulator or Booster Pump, 15 HP, Replace   | 15 15 15 15 15 15 15 15 15 15 15 15 15 1                       | 1   | 14<br>14<br>14<br>14<br>14<br>14<br>14<br>14<br>14                   | 1<br>1<br>1<br>1<br>1<br>1<br>1   | EA<br>EA<br>EA<br>EA<br>EA<br>EA             | \$9,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0<br>\$1,0   | ,528.08 \$9,528  | \$9.528<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234628 Flow Control Valve, Motorized, 2°, Replace 123463° Flow Control Valve, Motorized, 2°, Replace 1234642 Flow Control Valve, Motorized, 2°, Replace 1234645 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234604 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234635 Backfow Preventer, Domestid, 4°, Replace 1234535 Backfow Preventer, Domestid, 4°, Replace 1234630 Water Filter, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234637 Domestic Circulator or Booster Pump, 0.7 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 15 15 20 20</td><td>1 1 1 1 1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1 1 1 1 1 1 1 1</td><td>EA<br/>EA<br/>EA<br/>EA<br/>EA</td><td>\$1,3<br/>\$1,3<br/>\$1,3<br/>\$1,3<br/>\$1,3</td><td>.855.27 \$1.855</td><td>\$1,855<br/>\$1,855<br/>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234628 Flow Control Valve, Motorized, 2°, Replace 123463° Flow Control Valve, Motorized, 2°, Replace 1234642 Flow Control Valve, Motorized, 2°, Replace 1234645 Flow Control Valve, Motorized, 2°, Replace 1234569 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234604 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234635 Backfow Preventer, Domestid, 4°, Replace 1234535 Backfow Preventer, Domestid, 4°, Replace 1234630 Water Filter, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234630 Domestic Circulator or Booster Pump, 0.7 HP, Replace 1234637 Domestic Circulator or Booster Pump, 0.7 HP, Replace  | 15 15 15 15 15 15 15 15 15 15 15 15 15 20 20                   | 1 1 1 1 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14<br>14<br>14<br>14<br>14                         | 1 1 1 1 1 1 1 1   | EA<br>EA<br>EA<br>EA<br>EA                   | \$1,3<br>\$1,3<br>\$1,3<br>\$1,3<br>\$1,3   | .855.27 \$1.855  | \$1,855<br>\$1,855<br>\$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234627 Flow Control Valve, Motorized, 2°, Replace 123462 Flow Control Valve, Motorized, 2°, Replace 1234651 Flow Control Valve, Motorized, 2°, Replace 1234656 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234630 Flow Control Valve, Motorized, 2°, Replace 1234630 Replace 1234630 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Flater, Replace 1234630 Motorized, 2°, Replace 1234637 Domestic Circulator or Booster Pump, 15 HP, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15 15 15 15 15 15 15 15 15 15 15 20 20</td><td>1 1 1 1 1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14<br/>14<br/>14</td><td>1<br/>1<br/>1<br/>1<br/>1</td><td>EA<br/>EA<br/>EA</td><td>\$1,i<br/>\$1,i<br/>\$1,i</td><td>.855.27 \$1,855</td><td>\$1,855<br/>\$1,855</td><td></td><td></td></t<>  | 1234627 Flow Control Valve, Motorized, 2°, Replace 123462 Flow Control Valve, Motorized, 2°, Replace 1234651 Flow Control Valve, Motorized, 2°, Replace 1234656 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234635 Flow Control Valve, Motorized, 2°, Replace 1234630 Flow Control Valve, Motorized, 2°, Replace 1234630 Replace 1234630 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Flater, Replace 1234630 Motorized, 2°, Replace 1234637 Domestic Circulator or Booster Pump, 15 HP, Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace  | 15 15 15 15 15 15 15 15 15 15 15 20 20                         | 1 1 1 1 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14<br>14<br>14                                     | 1<br>1<br>1<br>1<br>1   | EA<br>EA<br>EA                               | \$1,i<br>\$1,i<br>\$1,i   | .855.27 \$1,855  | \$1,855<br>\$1,855   |                     |                        |
| Water Treatment Plant  | 1234642 Flow Control Valve, Motorized 2", Replace 1234651 Flow Control Valve, Motorized 2", Replace 1234651 Flow Control Valve, Motorized 2", Replace 1234600 Flow Control Valve, Motorized 2", Replace 1234600 Flow Control Valve, Motorized 2", Replace 1234600 Flow Control Valve, Motorized 2", Replace 123463 Flow Control Valve, Motorized 2", Replace 1234635 Flow Control Valve, Motorized 2", Replace 1234655 Bacdfow Preventer, Domestic, 4", Replace 1234650 Water Heater, Cas, Commercial, 80 GAL, Replace 1234650 Water Fleet, Replace 1234650 Domestic Circulator or Booster Pump, 10 Fl. Replace 1234650 Domestic Circulator or Booster Pump, 10 Fl. Replace 1234650 Domestic Circulator or Booster Pump, 10 Fl. Replace 1234650 Domestic Circulator or Booster Pump, 10 Fl. Replace 1234670 Domestic Circulator or Booster Pump, 15 Fl. Replace  | 15 15 15 15 15 15 15 15 15 15 15 20 20                         | 1 1 1 1 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14<br>14<br>14                                     | 1 1 1 1 1   | EA<br>EA<br>EA                               | \$1,  |  | \$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234561 Flow Control Valve, Motorized, 2°, Replace 1234545 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234643 Flow Control Valve, Motorized, 2°, Replace 123453 Flow Control Valve, Motorized, 2°, Replace 123453 Backflow Preventer, Domestic, 4°, Replace 123453 Backflow Preventer, Domestic, 4°, Replace 1234638 Water Filter, Replace 1234638 Water Filter, Replace 1234639 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234639 Domestic Circulator or Booster Pump, 0.0 HP, Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace</td><td>15 15 15 15 15 15 15 15 15 15 20 20</td><td>1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14<br/>14</td><td>1 1 1 1</td><td>EA<br/>EA</td><td>\$1,</td><td></td><td></td><td></td><td></td></t<>   | 1234561 Flow Control Valve, Motorized, 2°, Replace 1234545 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234643 Flow Control Valve, Motorized, 2°, Replace 123453 Flow Control Valve, Motorized, 2°, Replace 123453 Backflow Preventer, Domestic, 4°, Replace 123453 Backflow Preventer, Domestic, 4°, Replace 1234638 Water Filter, Replace 1234638 Water Filter, Replace 1234639 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234639 Domestic Circulator or Booster Pump, 0.0 HP, Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace 1234639 Domestic Circulator or Booster Pump, 19 Replace   | 15 15 15 15 15 15 15 15 15 15 20 20                            | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14<br>14   | 1 1 1 1   | EA<br>EA                                     | \$1,  |  |  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234545 Flow Control Valve, Motorized, 2", Replace 1234600 Flow Control Valve, Motorized, 2", Replace 1234600 Flow Control Valve, Motorized, 2", Replace 1234615 Flow Control Valve, Motorized, 2", Replace 1234535 Bachflow Preventer, Domestic, 4", Replace 1234535 Bachflow Preventer, Domestic, 4", Replace 1234503 Water Filter, Replace 1234503 Water Filter, Replace 1234505 Water Filter, Replace 1234505 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234505 Domestic Circulator or Booster Pump, 100 HP, Replace 1234505 Domestic Circulator or Booster Pump, 100 HP, Replace 1234505 Domestic Circulator or Booster Pump, 115 HP, Replace 1234507 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>20<br/>20</td><td>1 1 1 1 1 1 1</td><td>14<br/>14<br/>14<br/>14</td><td>1 1 1</td><td>EA</td><td></td><td>.855.27 \$1,855</td><td>\$1.055</td><td></td><td></td></t<>   | 1234545 Flow Control Valve, Motorized, 2", Replace 1234600 Flow Control Valve, Motorized, 2", Replace 1234600 Flow Control Valve, Motorized, 2", Replace 1234615 Flow Control Valve, Motorized, 2", Replace 1234535 Bachflow Preventer, Domestic, 4", Replace 1234535 Bachflow Preventer, Domestic, 4", Replace 1234503 Water Filter, Replace 1234503 Water Filter, Replace 1234505 Water Filter, Replace 1234505 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234505 Domestic Circulator or Booster Pump, 100 HP, Replace 1234505 Domestic Circulator or Booster Pump, 100 HP, Replace 1234505 Domestic Circulator or Booster Pump, 115 HP, Replace 1234507 Domestic Circulator or Booster Pump, 15 HP, Replace  | 15<br>15<br>15<br>15<br>15<br>15<br>15<br>15<br>15<br>20<br>20 | 1 1 1 1 1 1 1   | 14<br>14<br>14<br>14   | 1 1 1   | EA   |   | .855.27 \$1,855  | \$1.055  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234680 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234631 Rock Control Valve, Motorized, 2°, Replace 1234635 Backflow Preventer, Domestic, 4°, Replace 1234635 Backflow Preventer, Domestic, 4°, Replace 1234630 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 15 HP, Replace 1234550 Domestic Circulator Sooster Pump, 100 HP, Replace 1234540 Domestic Circulator Sooster Pump, 101 HP, Replace 1234547 Domestic Circulator Sooster Pump, 115 HP, Replace</td><td>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>20<br/>20</td><td>1 1 1 1 1</td><td>14<br/>14<br/>14</td><td>1</td><td>EA</td><td>\$1,</td><td>.855.27 \$1,855</td><td>\$1,000</td><td></td><td></td></t<>   | 1234680 Flow Control Valve, Motorized, 2°, Replace 1234600 Flow Control Valve, Motorized, 2°, Replace 1234631 Rock Control Valve, Motorized, 2°, Replace 1234635 Backflow Preventer, Domestic, 4°, Replace 1234635 Backflow Preventer, Domestic, 4°, Replace 1234630 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Filter, Replace 1234630 Domestic Circulator or Booster Pump, 15 HP, Replace 1234550 Domestic Circulator Sooster Pump, 100 HP, Replace 1234540 Domestic Circulator Sooster Pump, 101 HP, Replace 1234547 Domestic Circulator Sooster Pump, 115 HP, Replace  | 15<br>15<br>15<br>15<br>15<br>15<br>15<br>15<br>20<br>20       | 1 1 1 1 1   | 14<br>14<br>14   | 1   | EA   | \$1,  | .855.27 \$1,855  | \$1,000  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2021           Water Treatment Plant         D2021           Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234600 Flow Control Valve, Motorized, 2*, Replace 1234643 Flow Control Valve, Motorized, 2*, Replace 1234658 Flow Control Valve, Motorized, 2*, Replace 1234635 Backflow Preventer, Domestic, 4*, Replace 1234630 Water Filter, - Commercial, 80 GAL, Replace 1234630 Water Filter, - Replace 1234650 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234650 Domestic Circulator or Booster Pump, 0.6 HP, Replace 1234630 Domestic Circulator or Booster Pump, 19 Replace 1234637 Domestic Circulator or Booster Pump, 19 Replace</td><td>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>20<br/>20</td><td>1 1 1 1 1</td><td>14</td><td>1</td><td></td><td></td><td>.855.27 \$1,855</td><td>\$1,855</td><td></td><td></td></t<>   | 1234600 Flow Control Valve, Motorized, 2*, Replace 1234643 Flow Control Valve, Motorized, 2*, Replace 1234658 Flow Control Valve, Motorized, 2*, Replace 1234635 Backflow Preventer, Domestic, 4*, Replace 1234630 Water Filter, - Commercial, 80 GAL, Replace 1234630 Water Filter, - Replace 1234650 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234650 Domestic Circulator or Booster Pump, 0.6 HP, Replace 1234630 Domestic Circulator or Booster Pump, 19 Replace 1234637 Domestic Circulator or Booster Pump, 19 Replace   | 15<br>15<br>15<br>15<br>15<br>15<br>15<br>20<br>20             | 1 1 1 1 1   | 14   | 1   |  |   | .855.27 \$1,855  | \$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2021           Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234648 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234539 Backflow Preventer, Domestic, 4°, Replace 1234539 Water Filter, Replace 1234539 Water Filter, Replace 1234598 Obsests Circulator or Booster Pump, 0.5 HP, Replace 1234594 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234595 Domestic Circulator or Booster Pump, 100 HP, Replace 1234595 Domestic Circulator or Booster Pump, 115 HP, Replace 1234597 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15<br/>15<br/>15<br/>15<br/>15<br/>15<br/>20<br/>20</td><td>1 1 1 1</td><td>14</td><td></td><td>- 1</td><td></td><td>855.27 \$1,855</td><td>\$1,855</td><td></td><td></td></t<>   | 1234648 Flow Control Valve, Motorized, 2°, Replace 1234598 Flow Control Valve, Motorized, 2°, Replace 1234539 Backflow Preventer, Domestic, 4°, Replace 1234539 Water Filter, Replace 1234539 Water Filter, Replace 1234598 Obsests Circulator or Booster Pump, 0.5 HP, Replace 1234594 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234595 Domestic Circulator or Booster Pump, 100 HP, Replace 1234595 Domestic Circulator or Booster Pump, 115 HP, Replace 1234597 Domestic Circulator or Booster Pump, 15 HP, Replace   | 15<br>15<br>15<br>15<br>15<br>15<br>20<br>20                   | 1 1 1 1   | 14   |   | - 1  |   | 855.27 \$1,855   | \$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234588 Flow Control Valve, Motorized, 2*, Replace 1234535 Backflow Preventer, Domestic, 4*, Replace 1234620 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Filter, Replace 1234650 Water Filter, Replace 1234554 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234554 Domestic Circulator or Booster Pump, 100 HP, Replace 1234530 Bonestic Circulator Soster Pump, 115 HP, Replace 1234547 Domestic Circulator Soster Pump, 115 HP, Replace</td><td>15<br/>15<br/>15<br/>15<br/>15<br/>20<br/>20<br/>20</td><td>1 1 1</td><td></td><td></td><td>EA</td><td></td><td>855.27 \$1,855</td><td>\$1,855</td><td></td><td></td></t<>   | 1234588 Flow Control Valve, Motorized, 2*, Replace 1234535 Backflow Preventer, Domestic, 4*, Replace 1234620 Water Heater, Gas, Commercial, 80 GAL, Replace 1234630 Water Filter, Replace 1234650 Water Filter, Replace 1234554 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234554 Domestic Circulator or Booster Pump, 100 HP, Replace 1234530 Bonestic Circulator Soster Pump, 115 HP, Replace 1234547 Domestic Circulator Soster Pump, 115 HP, Replace  | 15<br>15<br>15<br>15<br>15<br>20<br>20<br>20                   | 1 1 1   |  |   | EA   |   | 855.27 \$1,855   | \$1,855  |                     |                        |
| Water Treatment Plant         D2021           Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234635 Backflow Preventer, Domestic, 4*, Replace 1234620 Water Heater, Gas, Commercial, 80 GAL, Replace 1234639 Water Filter, Replace 1234636 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234654 Domestic Circulator or Booster Pump, 100 HP, Replace 1234639 Domestic Circulator or Booster Pump, 15 HP, Replace 1234637 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15<br/>15<br/>15<br/>20<br/>20<br/>20</td><td>1</td><td>14</td><td></td><td>EA</td><td></td><td>.855.27 \$1,855</td><td>\$1,855</td><td></td><td></td></t<>   | 1234635 Backflow Preventer, Domestic, 4*, Replace 1234620 Water Heater, Gas, Commercial, 80 GAL, Replace 1234639 Water Filter, Replace 1234636 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234654 Domestic Circulator or Booster Pump, 100 HP, Replace 1234639 Domestic Circulator or Booster Pump, 15 HP, Replace 1234637 Domestic Circulator or Booster Pump, 15 HP, Replace   | 15<br>15<br>15<br>20<br>20<br>20                               | 1   | 14   |   | EA   |   | .855.27 \$1,855  | \$1,855  |                     |                        |
| Water Treatment Plant         D2023           Water Treatment Plant         D2023 <t< td=""><td>1234620 Water Heater, Gas. Commercial, 80 GAL, Replace 1234638 Water Filter. Replace 1234658 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234654 Domestic Circulator or Booster Pump, 100 HP, Replace 1234639 Domestic Circulator or Booster Pump, 119 Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace</td><td>15<br/>15<br/>20<br/>20<br/>20</td><td>1</td><td></td><td>1</td><td>EA</td><td></td><td>.855.27 \$1,855</td><td>\$1,855</td><td></td><td></td></t<>  | 1234620 Water Heater, Gas. Commercial, 80 GAL, Replace 1234638 Water Filter. Replace 1234658 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234654 Domestic Circulator or Booster Pump, 100 HP, Replace 1234639 Domestic Circulator or Booster Pump, 119 Replace 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace  | 15<br>15<br>20<br>20<br>20                                     | 1   |  | 1   | EA   |   | .855.27 \$1,855  | \$1,855  |                     |                        |
| Water Treatment Plant         D2023  | 1234638 Water Filter, Replace 1234698 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234694 Domestic Circulator or Booster Pump, 100 HP, Replace 1234639 Domestic Circulator or Booster Pump, 3 HP, Replace 1234647 Domestic Circulator or Booster Pump, 3 HP, Replace  | 15<br>20<br>20<br>20   |   | 14   | 1   | EA   |   | 001.42 \$6,001   | \$6,001  |                     |                        |
| Water Treatment Plant         D2023  | 1234666 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234554 Domestic Circulator or Booster Pump, 100 HP, Replace 1234539 Domestic Circulator or Booster Pump, 3 HP, Replace 1234637 Domestic Circulator or Booster Pump, 15 HP, Replace   | 20<br>20<br>20   |   | 14   | 1   | EA   |   | 698.82 \$10,699  | \$10,699   |                     |                        |
| Water Treatment Plant         D2023  | 1234554   Domestic Circulator or Booster Pump, 100 HP, Replace 1234639   Domestic Circulator or Booster Pump, 3 HP, Replace 1234647   Domestic Circulator or Booster Pump, 15 HP, Replace  | 20<br>20   | 1   | 14   | 1   | EA   |   | 975.51 \$8,976   | \$8,976  |                     |                        |
| Water Treatment Plant         D2023  | 1234639 Domestic Circulator or Booster Pump, 3 HP, Replace<br>1234647 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   | 1   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant         D2023  | 1234647 Domestic Circulator or Booster Pump, 15 HP, Replace  |  | 1   | 19   | 1   | EA<br>EA                                     |   | 839.12 \$8.839<br>839.12 \$8.839   |  | \$8,839<br>\$8,839  |                        |
| Water Treatment Plant         D2023  |  | 20   | 1   | 19   | 1   | EA   |   | ,839.12 \$8,839<br>,632.22 \$15,632  |  | \$8,839<br>\$15.632 |                        |
| Water Treatment Plant         D2023  |  | 20   | 1   | 19   | 1   | EA   |   | .652.22 \$15,652<br>.414.40 \$3.414  |  | \$15,632<br>\$3,414 |                        |
| Water Treatment Plant         D2023  | 1234645 Domestic Circulator or Booster Pump. 0.5 HP. Replace   | 20   | 1   | 19   | 1   | EA   |   | .414.40 \$3.414  |  | \$3,414             |                        |
| Water Treatment Plant         D2023  | 1234567 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   |   | EA   |   | ,632.22 \$15,632   |  | \$15,632            |                        |
| Water Treatment Plant         D2023  | 1234534 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   |   | EA   |   | ,032.22 \$10,032<br>,414.40 \$3,414  |  | \$15,632            |                        |
| Water Treatment Plant         D2023  | 1234559 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant         D2023  | 1234654 Domestic Circulator or Booster Pump, 2 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | 945.45 \$5,945   |  | \$5,945             |                        |
| Water Treatment Plant         D2023  | 1234605 Domestic Circulator or Booster Pump, 1 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | ,287.43 \$4,287  |  | \$4,287             |                        |
| Water Treatment Plant         D2023  | 1234581 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   | 1   | EA   | \$8,  | 839.12 \$8,839   |  | \$8,839             |                        |
| Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023  | 1234674 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   |   | EA   |   | ,632.22 \$15,632   |  | \$15,632            |                        |
| Water Treatment Plant         D2023           Water Treatment Plant         D2023           Water Treatment Plant         D2023  | 1234646 Domestic Circulator or Booster Pump, 2 HP, Replace   | 20   | 1   | 19   | 1   | EA   | \$15,   | ,632.22 \$15,632   |  | \$15,632            |                        |
| Water Treatment Plant D2023 Water Treatment Plant D2023  | 1234678 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   | 1   | EA   | \$8,  | .839.12 \$8,839  |  | \$8,839             |                        |
| Water Treatment Plant D2023  | 1234602 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   | 1   | EA   | \$8,  | .839.12 \$8,839  |  | \$8,839             |                        |
|  | 1234539 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   |   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant D2023  | 1234694 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   |   | EA   |   | .839.12 \$8,839  |  | \$8,839             |                        |
|  | 1234591 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   | 1   | EA   |   | 632.22 \$15,632  |  | \$15,632            |                        |
| Water Treatment Plant D2023  | 1234563 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   | 1   | EA   |   | 632 22 \$15,632  |  | \$15,632            |                        |
| Water Treatment Plant D2023  | 1234557 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant D2023  | 1234606 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   |   | EA   |   | 632.22 \$15,632  |  | \$15,632            |                        |
| Water Treatment Plant D2023  Water Treatment Plant D2023   | 1234586 Domestic Circulator or Booster Pump, 15 HP, Replace  | 20   | 1   | 19   | 1   | EA   |   | 632.22 \$15,632  |  | \$15,632            |                        |
|  | 1234633 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   |   | 19   |   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant D2023  Water Treatment Plant D2023   | 1234655 Domestic Circulator or Booster Pump, 0.5 HP, Replace 1234691 Domestic Circulator or Booster Pump, 0.5 HP, Replace  | 20   | 1   | 19   | 1   | EA<br>EA                                     |   | 414.40 \$3,414 40 \$3,414  |  | \$3,414<br>\$3,414  |                        |
| Water Treatment Plant D2023  Water Treatment Plant D2023   | 1234591 Domestic Circulator or Booster Pump, 0.5 HP, Replace  1234594 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   |   | EA   |   | .414.40 \$3,414<br>.839.12 \$8,839   |  | \$3,414<br>\$8,839  |                        |
| Water Treatment Plant D2023  Water Treatment Plant D2023   | 1234594 Domestic Circulator or Booster Pump, 3 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | 632.22 \$15.632  |  | \$15,632            |                        |
| Water Treatment Plant D2023  Water Treatment Plant D2023   | 1234651 Domestic Circulator or Booster Pump, 2 FP, Replace   | 20   | 1   | 19   | 1   | EA   |   | .032.22 \$10,032<br>.414.40 \$3.414  |  | \$15,632            |                        |
| Water Treatment Plant D2023 Water Treatment Plant D2023  | 1234542 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   | 1   | EA   |   | ,632.22 \$15,632   |  | \$15,632            |                        |
| Water Treatment Plant D2023  | 1234577 Domestic Circulator or Booster Pump, 30 HP, Replace  | 20   | 1   | 19   | 1   | EA   |   | 632 22 \$15,632  |  | \$15,632            |                        |
| Water Treatment Plant D2023  | 1234587 Domestic Circulator or Booster Pump, 0.5 HP, Replace   | 20   | 1   | 19   |   | EA   |   | 414.40 \$3,414   |  | \$3,414             |                        |
| Water Treatment Plant D2043  | 1234550 Sump Pump, 3 HP, Replace   | 15   | 1   | 14   | 1   | EA   |   | 062.81 \$2,063   | \$2,063  |                     |                        |
| Water Treatment Plant D3021  | 1234570 Boiler, 399 MBH, Replace   | 25   | 5   | 20   | 1   | EA   |   | 840.87 \$23,841  |  |                     | \$23,841               |
| Water Treatment Plant D3022  | 1234575 Deaerator, , Replace   | 25   | 5   | 20   | 1   | EA   |   | ,139.68 \$75,140   |  |                     | \$75,140               |
| Water Treatment Plant D3032  | 1234640 Ductless Split System, Single Zone, 1.5 to 2 Ton, Replace  | 15   | 1   | 14   | 1   | EA   | \$4,  | ,473.11 \$4,473  | \$4,473  |                     |                        |
| Water Treatment Plant D3032  | 1234661 Condensing Unit/Heat Pump, Split System, 2 Ton, Replace  | 15   | 1   | 14   | 1   | EA   | \$3,  | ,122.18 \$3,122  | \$3,122  |                     |                        |
| Water Treatment Plant D3032  | 1234641 Condensing Unit/Heat Pump, 4 TON, Replace  | 15   | 1   | 14   | 1   | EA   | \$4,  | .619.82 \$4,620  | \$4,620  |                     |                        |
| Water Treatment Plant D3032  | 1234610 Condensing Unit/Heat Pump, Split System, 3 Ton, Replace  | 15   | 1   | 14   | 1   | EA   | \$3,  | .578.67 \$3,579  | \$3,579  |                     |                        |
| Water Treatment Plant D3051  | 1234687 Unit Heater, Hydronic, 8 to 12 MBH, Replace  | 20   | 1   | 19   | 10  |  |   | \$880.85 \$8,809   |  | \$8,809             |                        |
| Water Treatment Plant D4011  | 1234568 Backflow Preventer, Fire Suppression, 6", Replace  | 20   | 1   | 19   | 1   | EA   |   | ,528.08 \$9,528  |  | \$9,528             |                        |
| Water Treatment Plant D4012  | 1234572 Fire Pump, 10 HP, Replace  | 20   | 1   | 19   |   | EA   |   | 088.99 \$7,089   |  | \$7,089             |                        |
| Water Treatment Plant D4019  | 1234621 Sprinkler Heads (per SF), , Replace  | 20   | 1   | 19   |   |  |   | \$1.33 \$9,975   |  | \$9,975             |                        |
| Water Treatment Plant D4031  | 1234560 Fire Extinguisher - Type ABC, , Replace  | 15   | 1   | 14   | 4   | EA   |   | \$314.93 \$1,260   | \$1,260  |                     |                        |
| Water Treatment Plant D5012  |  | 18   | 1   | 17   | 1   | EA   |   | .045.75 \$12,046   | S1   | 12,046              |                        |
| Water Treatment Plant D5012  | 1234662 Transfer Switch, Automatic (ATS), 600 V, 300 Amp, Replace  | 20   | 1   | 19   | 1   | EA   |   | ,180.20 \$9,180  |  | \$9,180             |                        |
| Water Treatment Plant D5012  | 1234684 Variable Frequency Drive (VFD), 20 HP, Replace/Install   | 20   | 1   | 19   |   | EA   |   | (180.20 \$9,180  |  | \$9,180             |                        |
| Water Treatment Plant D5012  | 1234684 Variable Frequency Drive (VFD), 20 HP, Replace/Install<br>1234665 Variable Frequency Drive (VFD), 20 HP, Replace/Install   | 20   | 1   | 19   |   | EA   |   | (180.20 \$9,180  |  | \$9,180             |                        |
| Water Treatment Plant D5012  | 1234684 Variable Frequency Drive (VFD), 20 HP, ReplaceInstall 1234665 Variable Frequency Drive (VFD), 20 HP, ReplaceInstall 1234540 Variable Frequency Drive (VFD), 20 HP, ReplaceInstall  | 20   | 1   | 19   |   | EA<br>EA                                     |   | .180.20 \$9.180  |  | \$9,180<br>\$9,180  |                        |
| Water Treatment Plant D5012  Water Treatment Plant D5012   | 1234684 Variable Frequency Drive (VFD), 20 HP, Replace/Install<br>1234665 Variable Frequency Drive (VFD), 20 HP, Replace/Install   | 20   | 1   | 19   |   |  |   | .180.20 \$9.180  |  |                     |                        |

| Facility                   | Uniformat Code    | eID Cost Description   | Lifespan (EUL | )EAge | RUL | Quantit | yUnit | Unit Cost * | Subtota    | 1 2019    | 2020      | 2021      | 2022      | 2 20    | 023 20      | 024 2      | 2025      | 2026 2     | 2027      | 2028       | 2029       | 2030      | 2031       | 2032    | 2033       | 2034       | 2035        | 2036    | 2037         | 2038         | 2039 Deficiency | Repair Estimate |
|----------------------------|-------------------|--|---------------|-------|-----|---------|-------|-------------|------------|-----------|-----------|-----------|-----------|---------|-------------|------------|-----------|------------|-----------|------------|------------|-----------|------------|---------|------------|------------|-------------|---------|--------------|--------------|-----------------|-----------------|
| Water Treatment Plant      | D5012             | 1234592 Variable Frequency Drive (VFD), 20 HP, Replace/Install     | 20            | 1     | 19  | 1       | EA    | \$9,180.2   | 9,18       | 30        |           |           |           |         |             |            |           |            |           |            |            |           |            |         |            |            |             |         |              | \$9,180      |                 | \$9,180         |
| Water Treatment Plant      | D5012             | 1234669 Variable Frequency Drive (VFD), 20 HP, Replace/Install     | 20            | 1     | 19  | 1       | EA    | \$9,180.2   | 9,18       | 30        |           |           |           |         |             |            |           |            |           |            |            |           |            |         |            |            |             |         |              | \$9,180      |                 | \$9,180         |
| Water Treatment Plant      | D5037             | 1234683 Fire Alarm Control Panel, Addressable, Replace             | 15            | 1     | 14  | 1       | EA    | \$20,297.5  | 9 \$20,29  | 98        |           |           |           |         |             |            |           |            |           |            |            |           |            |         | \$20,298   |            |             |         |              |              |                 | \$20,298        |
| Water Treatment Plant      | D5037             | 1234593 Fire Alarm System, Office Building, Install                | 20            | 1     | 19  | 7500    | SF    | \$2.3       | 6 \$17,70  | 00        |           |           |           |         |             |            |           |            |           |            |            |           |            |         |            |            |             |         |              | \$17,700     |                 | \$17,700        |
| Water Treatment Plant      | D5092             | 1234562 Exit Lighting Fixture, LED, Replace                        | 10            | 1     | 9   | 7       | EA    | \$405.0     | 1 \$2,83   | 35        |           |           |           |         |             |            |           |            | \$2       | 2,835      |            |           |            |         |            |            |             |         |              | \$2,835      |                 | \$5,670         |
| Water Treatment Plant      | E1027             | 1234682 Dishwasher, Laboratory, Replace                            | 10            | 1     | 9   | 1       | EA    | \$5,205.7   | 0 \$5,20   | 06        |           |           |           |         |             |            |           |            | \$5       | ,206       |            |           |            |         |            |            |             |         |              | \$5,206      |                 | \$10,411        |
| Water Treatment Plant      | E1027             | 1234564 Laboratory Exhaust Hood, 4 LF, Replace                     | 15            | 1     | 14  | 1       | EA    | \$2,633.8   | \$2,63     | 34        |           |           |           |         |             |            |           |            |           |            |            |           |            |         | \$2,634    |            |             |         |              |              |                 | \$2,634         |
| Water Treatment Plant      | E1093             | 1234583 Commercial Kitchen, Refrigerator, 2-Door Reach-In, Replace | 15            | 1     | 14  | 1       | EA    | \$4,256.0   | 0 \$4,25   | 56        |           |           |           |         |             |            |           |            |           |            |            |           |            |         | \$4,256    |            |             |         |              |              |                 | \$4,256         |
| Water Treatment Plant      | E2012             | 1234615 Kitchen Counter, Solid Surface, Replace                    | 10            | 1     | 9   | 15      | LF    | \$101.6     | 1,52       | 24        |           |           |           |         |             |            |           |            | \$        | ,524       |            |           |            |         |            |            |             |         |              | \$1,524      |                 | \$3,049         |
| Water Treatment Plant      | E2012             | 1234693 Kitchen Cabinet, Base and Wall Section, Metal, Replace     | 20            | 1     | 19  | 15      | LF    | \$467.6     | 3 \$7,0    | 14        |           |           |           |         |             |            |           |            |           |            |            |           |            |         |            |            |             |         |              | \$7,014      |                 | \$7,014         |
| Water Treatment Plant      | F1041             | 1234613 Dehumidifier & Control, 4,500 CFM, 150 LB, Replace         | 15            | 1     | 14  | 1       | EA    | \$89,695.5  | 6 \$89,69  | 96        |           |           |           |         |             |            |           |            |           |            |            |           |            |         | \$89,696   |            |             |         |              |              |                 | \$89,696        |
| Water Treatment Plant      | F1041             | 1234553 Dehumidifler & Control, 4,500 CFM, 150 LB, Replace         | 15            | 1     | 14  | 1       | EA    | \$89,695.5  | 66 \$89,69 | 96        |           |           |           |         |             |            |           |            |           |            |            |           |            |         | \$89,696   |            |             |         |              |              |                 | \$89,696        |
| Totals, Unescalated        |                   |  |               |       |     |         |       |             |            | \$293,966 | \$107,839 | \$157,898 | \$414,124 | \$167,8 | 316 \$488,0 | 169 \$434, | 340 \$228 | ,873 \$37, | 255 \$220 | ,220 \$8   | 73,688 \$3 | 31,377 \$ | 138,246    | 93,242  | 567,066 \$ | 399,011    | \$93,434 \$ | 143,759 | \$232,073 \$ | 1,109,098    | \$932,732       | \$7,470,125     |
| Totals, Escalated (3.0% in | flation, compound | led annually)  |               |       |     |         |       |             |            | \$293,966 | \$111,074 | \$167,514 | \$452,524 | \$188,8 | 378 \$565,8 | 05 \$518,  | 624 \$281 | ,486 \$47, | 193 \$29  | ,165 \$1,1 | 74,164 \$4 | 58,703 \$ | 197,106 \$ | 136,930 | 857,738 \$ | 621,646 \$ | 149,935 \$  | 237,612 | \$395,089    | 1,944,810 \$ | 1,684,618       | \$10,780,578    |

# Appendix F: Equipment Inventory List



| 10 CONV  | EYING   |   |   |  |  |  |  |  |  |  |         |     |
|--|---|---|---|--|--|--|--|--|--|--|---------|-----|
| idex I   | ID  | UFCode  | Component   | Capacity   | Building   | Location Detail  | Manufacturer   | Model  | Serial   | Dataplate Yr   | Barcode | Qty |
|  |   | D1011   | Elevator [298-P-14]   | 2500 LB  | Library  | Elevator   | Magnetek   | SS-88  | No tag/plate found   | 1999   |         |     |
|  |   | D1011   | Elevator  | No tag/plate found   | Town Hall  | Elevator   | ThyssenKrupp   | TAC32T   | No tag/plate found   | 2018   |         |     |
| D20 PLUM   | BING  |   |   |  |  |  |  |  |  |  |         |     |
|  | ID  | UFCode  | Component   | Capacity   | Building   | Location Detail  | Manufacturer   | Model  | Serial   | Dataplate Yr   | Barcode | Qty |
|  |   | D2021   | Backflow Preventer  | 3/4 IN   | Town Hall  | Mechanical room  | Watts  | LF909  | 038462   | 2018   |         |     |
|  |   | D2021<br>D2021  | Backflow Preventer  Backflow Preventer  | 4 INCH<br>4 INCH   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Pratt Pratt  | No tag/plate found<br>No tag/plate found   | No tag/plate found<br>No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 4 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | No tag/plate found   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 4 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | No tag/plate found   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found   | 2018   |         |     |
|  | 1234663   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found   | 2018   |         |     |
|  |   | D2021<br>D2021  | Backflow Preventer Backflow Preventer   | 6 INCH   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Pratt Pratt  | 0600-581A-1<br>0600-581A-1   | No tag/plate found   | 2018<br>2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found<br>No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 6 INCH   | Water Treatment Plant  | Water treatment  | Pratt  | 0600-581A-1  | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Backflow Preventer  | 4 INCH   | Water Treatment Plant  | Booster station  | Cla val  | 50-01B   | No tag/plate found   | 2018   |         |     |
| 15 1   | 1234548   | D2021   | Flow Control Valve [CV12]   | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [CV-13]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [CV15]   | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [CV-22]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021<br>D2021  | Flow Control Valve [CV-25] Flow Control Valve [CV-26]   | No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Limitorque<br>Limitorque   | QX-2<br>QX-2   | No tag/plate found<br>No tag/plate found   | 2018<br>2018   |         |     |
|  |   | D2021   | Flow Control Valve [CV-26]  | No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [CV-33]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [FV501]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve [FV502]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021<br>D2021  | Flow Control Valve Flow Control Valve   | No tag/plate found<br>No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Limitorque<br>Limitorque   | QX-2<br>QX-2   | No tag/plate found<br>No tag/plate found   | 2018<br>2018   |         |     |
|  |   | D2021<br>D2021  | Flow Control Valve  | No tag/plate found<br>No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Limitorque   | QX-2   | No tag/plate found  No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
| 31 1   | 1234589   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021<br>D2021  | Flow Control Valve Flow Control Valve   | No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment Water treatment  | Limitorque   | QX-2<br>QX-2   | No tag/plate found   | 2018<br>2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found<br>No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Water treatment  | Limitorque<br>Limitorque   | QX-2   | No tag/plate found<br>No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Flow Control Valve  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Limitorque   | QX-2   | No tag/plate found   | 2018   |         |     |
|  |   | D2021   | Water Flow Meter  | 4 HP   | Water Treatment Plant  | Booster station  | Siemens  | SITRANS F M MAG 500  | N1K1150025   | 2018   |         |     |
|  |   | D2021   | Water Flow Meter [FIT-420]  | No tag/plate found   | Water Treatment Plant  | Water treatment  | Siemens  | SITRANS F M MAG 5000   | N1K21400048  | 2018   |         |     |
|  |   | D2021<br>D2023  | Water Flow Meter  Domestic Circulation/Booster Pump   | No tag/plate found<br>50 HP  | DPW Building - New<br>Water Pump Station - North   | Mechanical room  | Sensus<br>Baldor Reliance  | No tag/plate found<br>No tag/plate found   | 76035647<br>No tag/plate found   | 2000   |         |     |
|  |   | D2023   | Domestic Circulation/Booster Pump   | 50 HP  | Water Pump Station - Perkins   | Main building  | Toshiba  | B0504VLF1UMH   | 92504405   |  |         |     |
|  |   | D2023   | Domestic Circulation/Booster Pump   | 50 HP  | Water Pump Station - North   | Main building  | Baldor Reliance  | No tag/plate found   | No tag/plate found   |  |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump   | 3 HP   | Water Treatment Plant  | Water treatment  | Sethco   | 342-GVCL   | 718083   | 2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump [1]   | 100 HP   | Water Treatment Plant  | Booster station  | Baldor Reliance  | No tag/plate found   | C1803011317  | 2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump [2]   | 3 HP   | Water Treatment Plant  | Booster station  | Baldor Reliance  | Super E  | No tag/plate found   | 2018   |         |     |
|  |   | D2023<br>D2023  | Domestic Circulator or Booster Pump [3]  Domestic Circulator or Booster Pump [4]  | 3 HP<br>3 HP   | Water Treatment Plant Water Treatment Plant  | Booster station  Booster station   | Baldor Reliance<br>Baldor Reliance   | Super E<br>Super E   | No tag/plate found<br>No tag/plate found   | 2018<br>2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump   | 1 HP   | Water Treatment Plant  | Water treatment  | Sethoo   | 342-GVCL   | Inaccessible   | 2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found   | Water Treatment Plant  | KOH room   | LMI  | AD951-930SI  | 17034279958-2  | 2018   |         |     |
| 53 1   | 1234582   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found   | Water Treatment Plant  | KOH room   | LMI  | AD951-930SI  | 18014418596-4  | 2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump   | 0.5 HP   | Water Treatment Plant  | Water treatment  | Sethco   | 342-GVCL   | 718083*  | 2018   |         |     |
|  |   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found   | Water Treatment Plant  | Phosphate  | LMI  | AD951-930SI  | 18014418596-2  | 2018   |         |     |
|  |   | D2023<br>D2023  | Domestic Circulator or Booster Pump  Domestic Circulator or Booster Pump  | Inaccessible<br>0.5 HP   | Water Treatment Plant Water Treatment Plant  | Potassium permagnatate room  | LMI<br>Baldor Reliance   | AD951-930SI<br>05C063W182G1  | Inaccessible   | 2018<br>2018   |         |     |
|  |   | D2023<br>D2023  | Domestic Circulator or Booster Pump  Domestic Circulator or Booster Pump  | No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Potassium permagnatate room<br>KOH room  | LMI  | 05C063W182G1<br>AD951-930SI  | No tag/plate found<br>18014418600-2  | 2018   |         |     |
|  |   |   | Domestic Circulator or Booster Pump   | 0.5 HP   | Water Treatment Plant  | Chlorine room  |  |  | Inaccessible   |  |         |     |
|  |   | D2023   | Doniestic Circulator or Booster Fullip  | U.5 FIP  |  |  | Sethco   | 342-GVCL   |  | 2018   |         |     |
|  | 1234655   | D2023<br>D2023  | Domestic Circulator or Booster Pump   | No tag/plate found   | Water Treatment Plant  | Potassium permagnatate room  | LMI  | 342-GVCL<br>AD951-930SI  | Inaccessible   | 2018<br>2018   |         |     |
|  | 1234691   | D2023<br>D2023  | Domestic Circulator or Booster Pump  Domestic Circulator or Booster Pump  | No tag/plate found<br>0.5 HP   | Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room  | LMI<br>Marathon Electric   | AD951-930SI<br>SXK56T17X6328B3   | Inaccessible<br>No tag/plate found   | 2018<br>2018   |         |     |
| 52 1   | 1234691<br>1234651  | D2023<br>D2023<br>D2023   | Domestic Circulator or Booster Pump  Domestic Circulator or Booster Pump  Domestic Circulator or Booster Pump   | No tag/plate found<br>0.5 HP<br>No tag/plate found   | Water Treatment Plant Water Treatment Plant  | Potassium permagnatate room<br>Potassium permagnatate room<br>KOH room   | LMI<br>Marathon Electric<br>LMI  | AD951-930SI<br>SXK56T17X6328B3<br>AD951-930SI  | Inaccessible No tag/plate found 18014418596-2  | 2018<br>2018<br>2018   |         |     |
| 32 1<br>33 1   | 1234691<br>1234651<br>1234587   | D2023<br>D2023<br>D2023<br>D2023  | Domestic Circulator or Booster Pump   | No tag/plate found<br>0.5 HP<br>No tag/plate found<br>No tag/plate found   | Water Treatment Plant<br>Water Treatment Plant<br>Water Treatment Plant  | Potassium permagnatate room<br>Potassium permagnatate room<br>KOH room<br>Phosphate  | LMI<br>Marathon Electric<br>LMI<br>LMI   | AD951-930SI<br>SXK56T17X6328B3<br>AD951-930SI<br>AD951-930SI   | Inaccessible<br>No tag/plate found<br>18014418596-2<br>18014418596-2   | 2018<br>2018<br>2018<br>2018                                 |         |     |
| 32 1<br>33 1<br>34 1   | 1234691<br>1234651<br>1234587<br>1234798  | D2023<br>D2023<br>D2023<br>D2023<br>D2023   | Domestic Circulator or Booster Pump   | No tag/plate found 0.5 HP No tag/plate found No tag/plate found 1 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall  | Potassium permagnatate room<br>Potassium permagnatate room<br>KOH room<br>Phosphate<br>Mechanical room   | LMI Marathon Electric LMI Intertek   | AD951-930SI<br>SXK56T17X6328B3<br>AD951-930SI<br>AD951-930SI<br>Magna1 32-100 F 165  | Inaccessible No tag/plate found 18014418596-2 18014418596-2 10005213   | 2018<br>2018<br>2018<br>2018<br>2018                         |         |     |
| 32 1<br>33 1<br>34 1   | 1234691<br>1234651<br>1234587<br>1234798  | D2023<br>D2023<br>D2023<br>D2023  | Domestic Circulator or Booster Pump   | No tag/plate found<br>0.5 HP<br>No tag/plate found<br>No tag/plate found   | Water Treatment Plant<br>Water Treatment Plant<br>Water Treatment Plant  | Potassium permagnatate room<br>Potassium permagnatate room<br>KOH room<br>Phosphate  | LMI<br>Marathon Electric<br>LMI<br>LMI   | AD951-930SI<br>SXK56T17X6328B3<br>AD951-930SI<br>AD951-930SI   | Inaccessible<br>No tag/plate found<br>18014418596-2<br>18014418596-2   | 2018<br>2018<br>2018<br>2018                                 |         |     |
| 32 1<br>33 1<br>34 1<br>35 1   | 1234691<br>1234651<br>1234587<br>1234798<br>1234647<br>1234567  | D2023<br>D2023<br>D2023<br>D2023<br>D2023<br>D2023  | Domestic Circulator or Booster Pump   | No tag/plate found<br>0.5 HP<br>No tag/plate found<br>No tag/plate found<br>1 HP<br>15 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall  | Potassium permagnatate room<br>Potassium permagnatate room<br>KOH room<br>Phosphate<br>Mechanical room   | LMI Marathon Electric LMI Intertek   | AD951-930SI<br>SXK56T17X6328B3<br>AD951-930SI<br>AD951-930SI<br>Magna1 32-100 F 165  | Inaccessible No tag/plate found 18014418596-2 18014418596-2 10005213 No tag/plate found  | 2018<br>2018<br>2018<br>2018<br>2018<br>2018                 |         |     |
| 32 1<br>33 1<br>34 1<br>35 1<br>36 1<br>37 1   | 1234691<br>1234651<br>1234587<br>1234798<br>1234647<br>1234567<br>1234674<br>1234591  | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found<br>0.5 HP<br>No tagiplate found<br>No tagiplate found<br>1 HP<br>15 HP<br>15 HP<br>15 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Water Treatment Plant Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water treatment Water treatment   | LMI Marathon Electric LMI LMI Internek US motors US motors   | AD851-930SI<br>XMX66T17X6328B3<br>AD951-930SI<br>AD951-930SI<br>Magnat 32-100 F 165<br>17706385-100<br>17706387-100<br>17706387-100<br>17706387-100<br>17706387-100  | Inaccessible No tag/plate found 18014418596-2 18014418596-2 10005213 No tag/plate found No tag/plate found   | 2018<br>2018<br>2018<br>2018<br>2018<br>2018<br>2018<br>2018 |         |     |
| 33 1<br>33 1<br>34 1<br>35 1<br>36 1<br>36 1<br>37 1<br>38 1   | 1234691<br>1234651<br>1234587<br>1234798<br>1234647<br>1234667<br>1234674<br>1234591<br>1234563   | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP 15 HP 15 HP 15 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatale room POtassium permagnatale room KOH room Proophate Mechanical room Water reatment Water reatment Water reatment Water beatment Water beatment Water beatment   | LMI Marsthon Electric LMI LMI Interfek US motors US motors US motors US motors US motors US motors   | AD961-930SI AD961-930SI AD961-930SI AD961-930SI AD961-930SI 17008385-1-00 17708385-1-00 17708144-100 17708587-1-00 17708587-1-00   | Inaccessible No taglylate found 18014418969-2 18014418969-2 10005213 No taglylate found  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 32 1<br>33 1<br>34 1<br>35 1<br>35 1<br>36 1<br>37 1<br>38 1<br>39 1   | 1234691<br>1234651<br>1234587<br>1234798<br>1234647<br>1234567<br>1234674<br>1234591<br>1234563<br>1234606  | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP 15 HP 15 HP 15 HP 15 HP 15 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Toon Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water beatment Water reatment Water reatment Water treatment Water treatment Water treatment Water treatment Water treatment Water treatment  | LMI Marathon Electric LMI LMI LMI US motors  | AD851-930SI SXXS61717852883 AD851-930SI AD851-930SI AD851-930SI AD851-930SI T706385-100 17706385-100 17706387-100 17706387-100 17706387-100 17706387-100   | Inaccessible No tapplate found 18014418596-2 18014418596-2 18014418596-2 180058213 No tapplate found   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 32 1<br>33 1<br>34 1<br>355 1<br>366 1<br>367 1<br>368 1<br>369 1  | 1234691<br>1234651<br>1234587<br>1234798<br>1234647<br>1234567<br>1234674<br>1234591<br>1234663<br>1234606<br>1234586   | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP 15 HP 15 HP 15 HP 15 HP 15 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water treatment Water reatment Water treatment  | LMI Marethon Electric LMI LMI LMI Intertek US motors   | AD951-930SI SMX69F17X9328B3 AD951-930SI AD951-930SI Magnat 32-100 F 165 17706395-100 17706397-100 17706397-100 17706397-100 17706397-100 17706397-100 1770644-100 1770644-100 1770644-100  | Inaccessible No tapjoplate found 18014418596-2 18014418596-2 1000523 No tapjoplate found   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 32 1<br>33 1<br>34 1<br>35 1<br>36 1<br>36 1<br>37 1<br>38 1<br>39 1<br>70 1   | 1234691<br>1234651<br>1234587<br>1234798<br>1234697<br>1234567<br>1234567<br>1234591<br>1234591<br>1234591<br>1234583<br>1234586<br>1234586   | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water treatment   | LMI Marathon Electric LMI LMI Interfek US notors   | AD81-30081  \$XX56F17X6328B3  AD851-30081  AD851-30081  AD851-30081  FOR TO THE | Inaccessible No tapplate found 18014418596-2 18014418596-2 18014418596-2 180058213 No tapplate found   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 332 1333 1334 1355 1355 1355 1355 1355 1355  | 1234691<br>1234651<br>1234651<br>1234798<br>1234798<br>1234647<br>1234667<br>1234591<br>1234563<br>1234506<br>1234588<br>1234586  | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP 5 HP 5 HP 5 HP 5 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Town Hall  | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water treatment Water reatment Water treatment Metanical com  | LMI Marathon Electric LMI LMI Intertek US motors   | AD851-930SI SXXS6F17X9328B3 AD951-930SI AD951-930SI Magna1 32-100 F 165 177063857-100 17706387-100 17706387-100 17706387-100 17706387-100 1770614-100 1770614-100 1770614-100 1770614-100 9052   | Inaccessible No tapiplate found 18014418596-2 18014418596-2 18004818596-2 10006213 No tapiplate found Son tapiplate found  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 332 1333 1334 1355 1355 1355 1355 1355 1355  | 1234691<br>1234651<br>1234657<br>1234798<br>1234647<br>1234677<br>1234674<br>1234563<br>1234563<br>1234566<br>1234566<br>1234566<br>1234566   | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water treatment   | LMI Marathon Electric LMI LMI Interfek US notors   | AD81-30081  \$XX56F17X6328B3  AD851-30081  AD851-30081  AD851-30081  FOR TO THE | Inaccessible No tapplate found 18014415656-2 18014415656-2 18014415656-2 180145656-2 No tapjoiste found   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 332 1333 1344 1355 1355 1355 1355 1355 1355  | 1234691<br>1234687<br>1234587<br>1234587<br>1234587<br>1234567<br>1234674<br>1234574<br>1234563<br>1234606<br>1234588<br>1234588<br>1234586<br>1234542<br>1234586<br>1234542<br>1234586<br>1234542  | D2023   | Domestic Circulator or Booster Pump   | No tay/plate found No tay/plate found No tay/plate found No tay/plate found 1 HP 15 HP | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Proophate Mechanical room Water treatment Mater manufactured Bedanical room Mechanical room Beooster station  | LMI Marathon Electric LMI LMI Interfek US motors   | AD961-9305I AD961- | Inaccessible No tagiplate found 18014418569-2 18014418569-2 18014418569-2 18014818569-2 No tagiplate found 18007 No tagiplate found 17110311518  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 333 1333 1333 144 1555 1555 1555 1555 15   | 1234691<br>1234651<br>1234657<br>1234798<br>1234647<br>1234667<br>1234667<br>1234667<br>1234691<br>1234663<br>1234606<br>1234642<br>123464<br>123466<br>1234654<br>123466<br>1234654<br>123466<br>1234654<br>123466   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found O.S. HP No tag/plate found No tag/plate found 1 HP 15 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Trown Hall Water Treatment Plant   | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water heatment Water beatment Water beatment Water restment Water restment Water restment Water beatment Calcinities on   | LMI Marathon Electric LMI LMI Interfek US notors To notors US notors US notors US notors US notors US notors US notors Figure To notors Spirotherm Dakota pump Toshiba Toshiba Filex-pro   | AD951-3005I  \$XX56F117X6328B3  AD951-3005I  | Inaccessible No lapplate found 18014415696-2 18014415696-2 18014415696-2 18014415696-2 No lapplate found 1711031518  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 332 1333 1333 1333 1333 1333 1333 1333   | 1234691<br>1234651<br>1234651<br>1234587<br>1234587<br>1234647<br>123467<br>123467<br>1234650<br>1234591<br>1234586<br>1234586<br>1234586<br>1234586<br>1234586<br>1234586<br>1234586<br>1234624<br>1234626   | D2023   | Domestic Circulator or Booster Pump   | No tagiplate found 0.5 HP No tagiplate found No tagiplate found 1 HP 15 HP 2 HP 2 HP 3 HP 3 HP 3 HP 3 HP 3 HP 3 HP   | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant The Water Treatment Plant Town Hall Water Treatment Plant Water Treatment Plant Town Hall  | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water beatment Water reatment Water reatment Water reatment Water beatment Water beatment Water beatment Mater beatment Water beatment Mechanical room Booster station Water beatment Water beatment Water beatment Water beatment  | LMI Marathon Electric LMI LMI LMI US motors To motors US motors US motors US motors US motors US motors To motors US | AD851-930SI XXX65177X528B3 AD851-930SI A   | Inaccessible No tapplate found 18014418989-2 18014418989-2 18014418989-2 10005213 No tapplate found 17110311517 No tapplate found  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 52 133 133 134 155 155 156 157 157 157 157 157 157 157 157 157 157   | 1234691 1234691 1234651 1234671 1234798 1234674 1234674 1234674 1234691 1234696 1234686 1234686 1234686 1234686 1234686 1234686 1234684 1234644 1234647   | D2023   | Domestic Circulator or Booster Pump   | No tay/plate found O.S. HP No tay/plate found No tay/plate found 1 HP 15 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water reatment Color reatment Water reatment Water reatment Water reatment Color reatment Water reatment Color reatment Color reatment Color reatment Color room Methanical room Color room Methanical room Color room Methanical room Color room   | LMI Marethon Electric LMI LMI Interfek US motors   | AD951-300SI AD951-300SI AD951-300SI AD951-300SI Magnat 32-100F 165 17706395-100 17706395-100 17706397-100 17706397-100 17706144-100 17706397-100 17706144-100 17706144-100 17706144-100 17706144-100 0024SDSR41A-P M-324-SNR   | Inaccessible No tag/plate found 18014418589-2 18014418589-2 18014418589-2 18014418589-2 No tag/plate found 1711031515   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 32 1333 1333 1333 1344 1155 1277 1177 1177 1360 11777 1360 11777 1360 11777 1360 11777 1360 11777 1360 11779 1180 1180 1180 1333 1333 1333 1333 1333 | 1234691 1234691 1234691 1234691 1234697 1234798 1234647 1234674 1234691 1234693 1234606 1234684 1234640 1234654 1234696 1234654 1234699 1234654 1234699   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found 0.5 HP No tag/plate found No tag/plate found 1 HP 15 HP 2 HP 2 HP 3 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water treatment Mechanical room Methanical room Water treatment Water treatment Water treatment Water treatment   | LMI Marathon Electric LMI LMI Intertek US notors   | A0851-0306I SXX56F17X6328B3 AD951-9305I A0951-9305I Magnat 32-100 F 165 17706365-100 17706365-100 17706367-100 1770614-100 1770614-100 1770614-100 1770614-100 1770614-100 1770614-100 9052 No tagiplate found 00245D5R41A-P M-324-SNR Magna 32-100F 165 M-324-SNR Magna 32-100F 165 M-324-SNR   | Inaccessible No tapplate found 18014418596-2 18014418596-2 18014418596-2 18001481596-2 10008213 No tapplate found 100 tapplate found 1011011111111111111111111111111111111   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 52 1333 1333 1333 1333 1333 1333 1333 13   | 1234691 1234691 1234691 1234687 1234789 1234789 1234697 1234691 1234691 1234691 1234691 1234691 1234696 1234692 1234696 1234640 1234693 1234690 1234693 1234696   | D2023   | Domestic Circulator or Booster Pump   | No tay/plate found O.S. HP No tay/plate found No tay/plate found 1 HP 15 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant  | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water reatment Color reatment Water reatment Water reatment Water reatment Color reatment Water reatment Color reatment Color reatment Color reatment Color room Methanical room Color room Methanical room Color room Methanical room Color room   | LMI Marethon Electric LMI LMI Interfek US motors   | AD951-300SI AD951- | Inaccessible No tag/plate found 18014418589-2 18014418589-2 18014418589-2 18014418589-2 No tag/plate found 1711031515   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 52 133 133 1354 1555 1555 1555 1555 1555 1   | 1224691 1234691 1234691 1234697 1234798 1224797 1224677 1224677 1234674 1234674 1234683 1234690 1234684 1234684 1234680 1234681 1234680 1234681 1234680 1234687 1234687   | D2023   | Domestic Circulator or Booster Pump | No tag/plate found 0.5 HP No tag/plate found No tag/plate found 1 HP 15 HP 2 HP 2 HP 3 HP  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall  | Potassium permagnatale room Potassium permagnatale room KOH room Prosphate Mechanical room Water reatment Water reatment Water reatment Water beatment Water reatment Water reatment Water reatment Water reatment Water reatment Water reatment Water beatment Colories room Beoseler station Water beatment Chlories room Chlories room Chlories room Chlories room Water beatment Water beatment Water beatment Chlories room Mechanical room Chlories room Water beatment Mechanical room Chlories room Water beatment Mechanical room Chlories room Water beatment  | LMI Marethon Electric LMI LMI Interfek US motors To shorts US motors Daketa pump Toshba Toshba Files pro Grundfas Files pro US motors Grundfas   | A0851-0306I SXX56F17X6328B3 AD951-9305I A0951-9305I Magnat 32-100 F 165 17706365-100 17706365-100 17706367-100 1770614-100 1770614-100 1770614-100 1770614-100 1770614-100 1770614-100 9052 No tagiplate found 00245D5R41A-P M-324-SNR Magna 32-100F 165 M-324-SNR Magna 32-100F 165 M-324-SNR   | Inaccessible No tagiplate found 18014418569-2 18014418569-2 18014418569-2 18014418569-2 No tagiplate found On tagiplate found 17110311518 1710311519 171031517 O00810516-180719 No tagiplate found O00910516-180719 No tagiplate found   | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 332 1333 1333 1333 1333 1333 1333 1333   | 1224691 1234657 1234587 1234587 1234587 1234587 1234567 1234567 1234567 1234567 1234568 1234586 1234586 1234586 1234586 1234586 1234586 1234586 1234587 123467 123467 123467  | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found O.S. HP No tag/plate found No tag/plate found 1 HP 15 HP 16 HP 16 HP 17 HP 18 HP 18 HP 18 HP 19 HP 19 HP 10 GAL 10 GAL  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Uster Treatment Plant Uster Treatment Plant Water Treatment Plant Uster Treatment Plant Us | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water reatment Continue of the contin | LMI Marathon Electric LMI LMI Interfek US motors Fiex-pro Grundfos Fiex-pro US motors Grundfos Harmonic Guard State  | AD951-3005I  XXX56T17X6328B3 AD951-3005I A | Inaccessible No lapplate found 18014415696-2 18014415696-2 18014415696-2 18014415696-2 No lapplate found 1711031516 1711031517 000010516-180719 No lapplate found  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 322 1 1 333 1 334 1 1 3 3 2 1 1 3 3 3 1 3 3 3 3 3 3 3 3 3  | 1234691 1234651 1234587 1234788 1234788 1234788 1234789 1234677 1234667 1234691 1234693 1234693 1234693 1234690 | D2023 | Domestic Circulator or Booster Pump [P-3] Water Heater Water Heater Water Heater  | No tag/plate found 0.5 HP No tag/plate found No tag/plate found 1 HP 15 HP 3  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Uster Veratment Veratmen | Potassium permagnatate room Potassium permagnatate room KOH room Phosphate Mechanical room Water treatment Control of the Cont | LMI Marethon Electric  LMI LMI Intertek US motors Spirotherm Dakets pump Toshiba T | AD851-030SI SXX56T17X6328B3 AD951-030SI AD951-030SI AD951-030SI Magnat 32-100 F 165 17706385-100 17706385-100 17706387-100 17706144-100 17706144-100 17706144-100 17706144-100 17706144-100 17706144-100 9052 No taglylate found 0024SDSR41A-P 0 | Inaccessible No tapplate found 18014418596-2 18014418596-2 18014418596-2 10005213 No tapplate found 100 tapplate found 1011519 101 | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |
| 322 1133 133 133 1344 1135 1135 1135 1135 1  | 1234691 1234697 1234597 1234798 1234798 1234798 1234674 1234677 1234667 1234686 1234686 1234686 1234686 1234686 1234686 1234686 1234686 1234687 1234687 1234687 1234688   | D2023   | Domestic Circulator or Booster Pump   | No tag/plate found O.S. HP No tag/plate found No tag/plate found 1 HP 15 HP 16 HP 16 HP 17 HP 18 HP 18 HP 18 HP 19 HP 19 HP 10 GAL 10 GAL  | Water Treatment Plant Water Treatment Plant Water Treatment Plant Town Hall Water Treatment Plant Town Hall Water Treatment Plant Uster Treatment Plant Uster Treatment Plant Water Treatment Plant Uster Treatment Plant Us | Potassium permagnatate room Potassium permagnatate room KOH room Prosphate Mechanical room Water reatment Color reatment Water reatment Water reatment Water reatment Color reatment Water reatment Color reatment Water reatment Water reatment Water reatment Color reatment Water reatment Color room Mechanical room Color room Water reatment Mechanical room Booster station Booster station Booster station Booster station   | LMI Marathon Electric LMI LMI Interfek US motors Fiex-pro Grundfos Fiex-pro US motors Grundfos Harmonic Guard State  | AD951-300SI AD951-300SI AD951-300SI AD951-300SI Magnat 32-100 F 165 17708395-100 17708395-100 17708397-100 1770814-100 17708397-100 1770814-100 1770814-100 1770814-100 1770814-100 024SDSR41A-P 024SDSR41A-P M-324-SNR Magna 22-100F 165 M-324-SNR 1770834-100 UPS 30-80 F HGPO10004W1C0000 Ps 10 10MS972 K   | Inaccessible No lapplate found 18014415696-2 18014415696-2 18014415696-2 18014415696-2 No lapplate found 1711031516 1711031517 000010516-180719 No lapplate found  | 2018 2018 2018 2018 2018 2018 2018 2018                      |         |     |

| 10 12  |  |  |  |  |  |  |  |   |  |   |                 |  |
|--|--|--|--|--|--|--|--|---|--|---|-----------------|--|
|  | 234239   | D2023  | Water Heater   | GAL  | Fire Station   | Boiler room  | American Water Heater Co.  | BFG6140S403NOV  | 0808T408543  | 2008  |                 |  |
|  | 234620   | D2023  | Water Heater   | 80 GAL   | Water Treatment Plant  | Mechanical room  | HTP  | GSU-80  | No tag/plate found   | 2018  |                 |  |
|  | 234720   | D2043  | Sump Pump  | 5 HP   | Water Pump Station - North   | Main building  | No tag/plate found   | No tag/plate found  | No tag/plate found   |   |                 |  |
|  | 234550   | D2043  | Sump Pump  | 3 HP   | Water Treatment Plant  | Water treatment  | No tag/plate found   | No tag/plate found  | No tag/plate found   | 2018  |                 |  |
| 3 12   | 234876   | D2043  | Sump Pump  | 3 HP   | Town Hall  | Basement   | No tag/plate found   | No tag/plate found  | No tag/plate found   | 2018  |                 |  |
| D30 HVAC   |  |  |  |  |  |  |  |   |  |   |                 |  |
| ndex ID  | 0  | UFCode   | Component  | Canacity   | Pullding   | Location Detail  | Manufacturer   | Model   | Serial   | Dataplate Yr  | Barcode         | Qty                                    |
|  | 234570   | D3021  | Boller   | Capacity<br>399 MBH  | Building Water Treatment Plant   | Mechanical room  | Lochinvar  | WHN100  | 1807 109183462   | 2018  | Barcode         | uty                                    |
|  |  |  |  |  |  |  |  |   |  |   |                 |  |
|  | 234257   | D3021  | Boiler   | 1010 MBH   | Fire Station   | Boiler room  | Weil-McLain  | 488   | No tag/plate found   | 1997  |                 |  |
|  | 234327   | D3021  | Boiler   | 399 MBH  | Library  | Sprinkler room   | Lochinvar  | KBN400  | I14H10318115   | 2014  |                 |  |
|  | 234484   | D3021  | Boiler   | 699 MBH  | Police Station   | Basement   | Weil-McLain  | 488R  | No tag/plate found   | 1993  |                 |  |
|  | 234887   | D3021  | Boiler   | 125 MBH  | Town Hall  | Mechanical room  | Burnham  | No tag/plate found  | No tag/plate found   | 2011  |                 |  |
| 12   | 234314   | D3022  | Condensate Return Station  | No tag/plate found   | Library  | Sprinkler room   | Bell & Gossett   | 658459  | No tag/plate found   | 1998  |                 |  |
| 12   | 234575   | D3022  | Deaerator  | 950 gpm  | Water Treatment Plant  | Water treatment  | Delta  | A7-080SA  | No tag/plate found   | 2018  |                 |  |
| 12   | 234333   | D3031  | Chiller  | 50 TON   | Library  | Roof   | Trane  | CGAFC50EAAA1TW  | J98E81456  | 1998  |                 |  |
| 12   | 234511   | D3032  | Condensing Unit/Heat Pump  | 3.5 TON  | Police Station   | Site   | Carrier  | 24ABB348A510  | 1717E03751   | 2017  |                 |  |
| 0 12   | 234493   | D3032  | Condensing Unit/Heat Pump  | 3.5 TON  | Police Station   | Site   | International Comfort Products   | CAE042HAC   | E032537277   | 2010  |                 |  |
| 1 12   | 234207   | D3032  | Condensing Unit/Heat Pump  | TON  | DPW Building - New   | Site   | Rheem  | RAWD-076CAZ   | 6416 M1900 19302   |   |                 |  |
| 2 12   | 234881   | D3032  | Condensing Unit/Heat Pump [AccU-3]   | 1 TON  | Town Hall  | Roof   | Mitsubishi Electric  | PUY-A12NKA7   | 7ZU06850A  | 2018  |                 |  |
| 3 12   | 234847   | D3032  | Condensing Unit/Heat Pump [ACCU-4]   | 1 TON  | Town Hall  | Roof   | Mitsubishi Electric  | SUZ-KA12NA  | No tag/plate found   | 2018  |                 |  |
|  | 234811   | D3032  | Condensing Unit/Heat Pump [ACCU-5]   | 1 TON  | Town Hall  | Roof   | Mitsubishi Electric  | PUZ-A12NKA7   | 6ZU00436A  | 2019  |                 |  |
|  | 234661   | D3032  | Condensing Unit/Heat Pump [Heat pump 2]  | Inaccessible   | Water Treatment Plant  | Building exterior  | Mitsubishi   | Inaccessible  | Inaccessible   | 2018  |                 |  |
|  | 234641   | D3032  | Condensing Unit/Heat Pump  | 4 TON  | Water Treatment Plant  | Site   | Trane  | 4TTR7048A1000BA   | 183144GD2F   | 2018  |                 |  |
|  | 234884   | D3032  | Condensing Unit/Heat Pump  | 10 TON   | Town Hall  | Roof   | Mitsubishi   | PURY-P120TKMU-A   | 77W03026   | 2018  |                 |  |
|  | 234838   | D3032  | Condensing Unit/Heat Pump  | 10 TON   | Town Hall  | Roof   | Mitsubishi   |   | 79W03106   | 2018  |                 |  |
|  |  |  |  |  |  |  |  | PURY-P120TKMU-A   |  |   |                 |  |
|  | 234610   | D3032  | Condensing Unit/Heat Pump  | 3 TONS   | Water Treatment Plant  | Booster station  | Bard   | W36A2-C15BWXXXJ   | 311C183529021-02   | 2018  |                 |  |
|  | 234377   | D3032  | Condensing Unit/Heat Pump  | TON  | Library  | Site   | Reznor   | No tag/plate found  | No tag/plate found   | 2014  |                 |  |
|  | 234814   | D3032  | Condensing Unit/Heat Pump  | 8 TON  | Town Hall  | Roof   | Mitsubishi   | PURY-P96TKMU-A  | 79W03321   | 2018  |                 |  |
|  | 234640   | D3032  | Ductless Split System  | Inaccessible   | Water Treatment Plant  | Building exterior  | Mitsubishi   | Inaccessible  | Inaccessible   | 2018  |                 |  |
|  | 234224   | D3041  | Air Handler  | No tag/plate found   | Fire Station   | Attic  | Hartzel  | DN24-6M   | 9388   |   |                 |  |
|  | 234334   | D3041  | Make-Up Air Unit   | No tag/plate found   | Library  | Roof   | Reznor   | No tag/plate found  | No tag/plate found   | 2014  |                 |  |
|  | 234839   | D3041  | Make-Up Air Unit   | 6000 CFM   | Town Hall  | Attic  | Mitsubishi   | CMB-P1016NU-HA1   | 7ZW03475   | 2018  |                 |  |
|  | 234269   | D3041  | Unit Ventilator  | CFM  | Fire Station   | Throughout interior  |  |   |  |   |                 | 5                                      |
|  | 234373   | D3041  | Unit Ventilator  | CFM  | Library  | Second floor   |  |   |  | 2010  |                 | 10                                     |
| 28 12  | 234371   | D3041  | Unit Ventilator  | No tag/plate found   | Library  | First floor  | No tag/plate found   | No tag/plate found  | No tag/plate found   | 2014  |                 | 10                                     |
|  | 238362   | D3041  | Variable Air Volume (VAV) Unit   | Inaccessible   | Library  | Throughout interior  | No tag/plate found   | Inaccessible  | Inaccessible   | 2014  |                 | 30                                     |
|  | 234175   | D3042  | Exhaust Fan  | CFM  | DPW Building - New   | Garage   |  |   |  | 2018  |                 |  |
|  | 234345   | D3042  | Exhaust Fan [EF-1]   | No tag/plate found   | Library  | Roof   | Greenheck  | GB-140-4X-OD  | 98G07662   |   |                 |  |
|  | 234821   | D3042  | Exhaust Fan (EF-2)   | 5000 CFM   | Town Hall  | Attic  | Greenheck  | SQ-97-V6-4-X  | 15276033   | 2018  |                 |  |
|  | 234349   | D3042  | Exhaust Fan [EF-3]   | 2000 CFM   | Library  | Utility closet   | Greenheck  | BSO-130-4   | 9808086  |   |                 |  |
|  | 234303   | D3042  | Exhaust Fan  | Inaccessible   | Library  | Roof   | Greenheck  | Inaccessible  | Inaccessible   |   |                 |  |
|  | 234208   | D3042  | Exhaust Fan  | No tag/plate found   | DPW Building - New   | Vehicle repair   |  |   |  | 2018  |                 |  |
|  | 234200   | D3042  | Exhaust Fan  |  | Fire Station   |  | No tag/plate found   | No tag/plate found  | No tag/plate found<br>Inaccessible   | 2010  |                 |  |
|  |  |  |  | Inaccessible   |  | Hose drying tower  | Pyro Vent  | Inaccessible  |  |   |                 |  |
|  | 234336   | D3045  | Distribution Pump [P-1]  | 3 HP   | Library  | Sprinkler room   | Bell & Gossett   | 2RCXX   | 2111398  | 1999  |                 |  |
|  | 234360   | D3045  | Distribution Pump [P-2]  | 3 HP   | Library  | Sprinkler room   | Bell & Gossett   | 2RCXX   | 2111399  | 1999  |                 |  |
|  | 234761   | D3045  | Flow Control Valve   | No tag/plate found   | Water Pump Station - Perkins   | Main building  | No tag/plate found   | No tag/plate found  | No tag/plate found   |   |                 |  |
|  | 234533   | D3051  | Furnace  | 180 MBH  | Police Station   | Electrical room  | Carrier  | FV4CNB005   | 1617A82429   | 2017  |                 |  |
|  | 234850   | D3051  | Furnace  | No tag/plate found   | Town Hall  | Attic  | No tag/plate found   | No tag/plate found  | No tag/plate found   | 2018  |                 |  |
|  | 234162   | D3051  | Furnace  | 25 MBH   | DPW Building - New   | Administration   | Rheem  | Criterion II  | Inaccessible   |   |                 | 5                                      |
|  | 234465   | D3051  | Radiator   | kW   | Police Station   | Throughout interior  |  |   |  | 1935  |                 | 21                                     |
|  | 234508   | D3051  | Unit Heater  | kW   | Police Station   | Throughout interior  |  |   |  |   |                 | 3                                      |
| 5 12   | 234809   | D3051  | Unit Heater  | kW   | Town Hall  | Throughout interior  |  |   |  | 2018  |                 | 6                                      |
| 6 12   | 234204   | D3051  | Unit Heater  |  | DPW Building - New   | Throughout interior  |  |   |  | 2016  |                 | 6                                      |
| 7 12   | 234760   | D3051  | Unit Heater  | No tag/plate found   | Water Pump Station - Perkins   | Main building  | Modine   | No tag/plate found  | No tag/plate found   |   |                 |  |
| 18 12  | 234401   | D3051  | Unit Heater  | Inaccessible   |  |  |  | Inaccessible  |  |   |                 |  |
| 9 12   | 234344   |  |  | maccessible  | Old Highway Garage   | Throughout interior  | Inaccessible   |   | Inaccessible   |   |                 | 2                                      |
| 0 12   | 234687   | D3051  | Unit Heater  | 20 kW  | Old Highway Garage<br>Library  | Throughout interior Throughout interior  | Inaccessible<br>TPI Corporation  | F1F5103N  | Inaccessible  No tag/plate found   |   |                 | 2                                      |
|  | 234822   |  |  | 20 kW  | Library  | Throughout interior  | TPI Corporation  | F1F5103N  | No tag/plate found   | 2018  |                 |  |
|  |  | D3051  | Unit Heater<br>Unit Heater   | 20 kW<br>8 MBH   |  | Throughout interior Throughout interior  | TPI Corporation Trane  | F1F5103N<br>UHS8A081TAA1C00000A   | No tag/plate found<br>No tag/plate found   | 2018<br>2018  |                 | 10                                     |
|  |  | D3051<br>D3051   | Unit Heater Unit Heater Unit Heater  | 20 kW<br>8 MBH<br>24 MBH   | Library Water Treatment Plant Town Hall  | Throughout interior Throughout interior Throughout interior  | TPI Corporation Trane Sterling   | F1F5103N<br>UHS8A081TAA1C00000A<br>HS-024   | No tag/plate found<br>No tag/plate found<br>No tag/plate found   | 2018<br>2018  |                 | 10                                     |
|  | 234231   | D3051<br>D3051<br>D3051  | Unit Heater Unit Heater Unit Heater Unit Heater Unit Heater  | 20 kW<br>8 MBH<br>24 MBH<br>Inaccessible   | Library Water Treatment Plant Town Hall Fire Station   | Throughout interior Throughout interior Throughout interior Aparatus room  | TPI Corporation Trane Sterling Modine Manufacturing  | F1F5103N<br>UHS8A081TAA1C00000A<br>HS-024<br>Inaccessible   | No tag/plate found<br>No tag/plate found<br>No tag/plate found<br>Inaccessible   | 2018  |                 | 10                                     |
| 4 12   | 234231<br>234725   | D3051<br>D3051<br>D3051<br>D3051   | Unit Heater Unit Heater Unit Heater Unit Heater Unit Heater Unit Heater  | 20 kW<br>8 MBH<br>24 MBH<br>Inaccessible<br>No tag/plate found   | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North  | Throughout interior Throughout interior Throughout interior Aparatus room Main building  | TPI Corporation Trane Sterling Modine Manufacturing Reznor   | F1F5103N<br>UHSA081TAA1C00000A<br>HS-024<br>Inaccessible<br>No teg/plate found  | No tag/plate found<br>No tag/plate found<br>No tag/plate found<br>Inaccessible<br>No tag/plate found   | 2018  |                 | 10<br>14<br>2                          |
|  | 234231<br>234725<br>234426   | D3051<br>D3051<br>D3051<br>D3051<br>D3051  | Unit Heater Unit Heater Unit Heater Unit Heater Unit Heater  | 20 kW<br>8 MBH<br>24 MBH<br>Inaccessible   | Library Water Treatment Plant Town Hall Fire Station   | Throughout interior Throughout interior Throughout interior Aparatus room  | TPI Corporation Trane Sterling Modine Manufacturing  | F1F5103N<br>UHS8A081TAA1C00000A<br>HS-024<br>Inaccessible   | No tag/plate found<br>No tag/plate found<br>No tag/plate found<br>Inaccessible   | 2018  |                 | 10                                     |
| D40 FIRE PR  | 234231<br>234725<br>234426<br>PROTECTION   | D3051 D3051 D3051 D3051 D3051 D3051  | Unit Heater  | 20 kW<br>8 MBH<br>24 MBH<br>Inaccessible<br>No tag/plate found<br>No tag/plate found   | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building   | Throughoul Interior Throughoul Interior Throughoul Interior Aparatus room Main building Grounds garage   | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tag/plate found  | F1F5103N UHSBAG81TA-1C00000A HS-024 Inaccessible No tagiplate found No tagiplate found  | No tagiplate found  No tagiplate found  No tagiplate found  Inaccessible  No tagiplate found  No tagiplate found   | 2018<br>2004<br>2018  |                 | 10<br>14<br>2                          |
| D40 FIRE PR  | 234231<br>234725<br>234426<br>PROTECTION   | D3051 D3051 D3051 D3051 D3051 D3051 V  | Unit Heater Component  | 20 kW 8 MBH 124 MBH Inaccessible No tag/plate found No tag/plate found Capacity  | Library Water Treatment Plant Town Half Fire Station Fire Station - North Park & Cemetery Building Building  | Throughou Interior Throughou Interior Throughou Interior Aparatus room Main building Grounds garage Location Detail  | TPI Corporation Trane Stefing Modine Manufacturing Reznor No tagiplate found Manufacturer  | FFETION UHSBADBITAN1C00000A HS-024 Inaccessible No tagiplate found No tagiplate found Model   | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found On tagiplate found Serial   | 2004<br>2018<br>Dataplate Yr  | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR  | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568  | D3051 D3051 D3051 D3051 D3051 D3051 D3051 V UFCode D4011   | Unit Heater Ecomponent Backflow Preventer  | 20 kW 8 MBH 124 MBH Inaccessible No tagiplate found No tagiplate found Capacity 6 NNCH   | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room  | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tapiplate found Manufacturer Apollo Walves   | F1F5103N UHSBAGE1TA1C00000A HS-024 Inaccessible No tagiplate found No tagiplate found Model DC4A  | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found No tagiplate found No tagiplate found Serial 34816  | 2004<br>2018<br>Dataplate Yr<br>2018  | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR<br>ndex ID<br>12:<br>12:   | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234888  | D3051 D3051 D3051 D3051 D3051 D3051 V UFCode D4011 D4011   | Unit Heater Component Backflow Preventer Backflow Preventer  | 20 kW 8 MBH 22 MMBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building Building Water Treatment Plant Town Hall  | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage Location Detail Mechanical room Sprinder room   | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagiplate found Manufacturer Apolto Valves No tagiplate found  | F1F5103N UHSBA08TAA1C00000A HSS-024 Inaccessible No tag/blate found No tag/blate found Model DC4A No tag/blate found  | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found Inaccessible No tagiplate found Serial 34816 No tagiplate found   | 2018<br>2004<br>2018<br>Dataplate Yr<br>2018                                  | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR<br>ndex ID<br>12:<br>12:<br>12:<br>13: 12:   | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234888<br>234325  | D3051 D3051 D3051 D3051 D3051 D3051 V UFCode D4011 D4011   | Unit Heater Component Backflow Preventer Backflow Preventer  | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building Building Water Treatment Plant Library Library  | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room  | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tagiplate found  Manufacturer Apollo Valves No tagiplate found  No tagiplate found   | F1FS1C3N UHSBA08TTA1C00000A HS-024 Inaccessible No tagiplate found No tagiplate found Model DC4A No tagiplate found No tagiplate found No tagiplate found   | No tagipilate found No tagipilate found No tagipilate found Inaccessible No tagipilate found No tagipilate found Serial 34816 No tagipilate found No tagipilate found No tagipilate found No tagipilate found  | 2018 2004 2018 Dataplate Yr 2018 2018 2000                                    | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR<br>ndex ID<br>12:<br>12:<br>12:<br>13: 12:   | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234888<br>234325<br>234361  | D3051 D3051 D3051 D3051 D3051 D3051 D3051 V UFCode D4011 D4011 D4011 D4012   | Unit Heater Example Service Seackflow Preventer Backflow Preventer Fire Pump   | 20 kW 8 MBH 1 maccessible No tagiplate found No tagiplate found Capacity 6 INCH 6 IN No tagiplate found  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library   | Throughout Interior Throughout Interior Throughout Interior Aparatas room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room   | TPI Corporation Trane Sterling Modine Manufacturing Rezzor No tagliplate found Manufacturer Apolio Valves No tagliplate found No tagliplate found Bell & Cossett Bell & Cossett  | F1F5103N UHSBAGB1TA1C00000A HSS.024 Inaccessible No tagiplate found Not bagiplate found Model DCCA No tagiplate found No tagiplate found No tagiplate found 1,539.5   | No tagiplate found  No tagiplate found  No tagiplate found  Inaccessible  No tagiplate found  No tagiplate found  Serial  34816  No tagiplate found  No tagiplate found  155010  | 2018 2014 2018 Dataplate Yr 2018 2018 2010 2010                               | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR ndex ID 12: 12: 12: 12: 12: 12: 12: 12: 12: 12:  | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>1234568<br>1234388<br>1234325<br>1234361<br>1234889   | D3051 D3051 D3051 D3051 D3051 D3051 D3051  W UFCode D4011 D4011 D4011 D4012 D4012  | Unit Heater Component Backtow Preventer Backtlow Preventer Backtlow Preventer Fire Pump Fire Pump  | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Treatment Plant Town Hall Fire Station - North Park & Cemetery Building Building Water Treatment Plant Town Hall Library Library Town Hall   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Sprinkler room  | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2018                          | Barcode         | 10<br>14<br>2                          |
| D40 FIRE PR ndex ID 12: 12: 12: 12: 12: 12: 12: 12: 12: 12:  | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234888<br>234325<br>234361<br>234889<br>234572  | D3051 D3051 D3051 D3051 D3051 D3051 D3051 N UFCode D4011 D4011 D4011 D4012 D4012 D4012   | Unit Heater Example Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump  | 20 kW 8 MBH 1 maccessible No tagiplate found No tagiplate found Capacity 6 INCH 6 IN No tagiplate found  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Sprinker room Mechanical room Mechanical room Mechanical room Mechanical room Mechanical room Mechanical room  | TPI Corporation Trane Sterling Modine Manufacturing Rezzor No tagliplate found Manufacturer Apolio Valves No tagliplate found No tagliplate found Bell & Cossett Bell & Cossett  | F1F5103N UHSBAGB1TA1C00000A HSS.024 Inaccessible No tagiplate found Not bagiplate found Model DCCA No tagiplate found No tagiplate found No tagiplate found 1,539.5   | No tagiplate found  No tagiplate found  No tagiplate found  Inaccessible  No tagiplate found  No tagiplate found  Serial  34816  No tagiplate found  No tagiplate found  155010  | 2018 2014 2018 Dataplate Yr 2018 2018 2010 2010                               | Barcode         | 10<br>14<br>2<br>2<br>Qty              |
| D40 FIRE PR ndex ID 12: 12: 12: 12: 12: 12: 12: 12: 12: 12:  | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234888<br>234888<br>234381<br>234381<br>234389<br>234572<br>234479  | D3051 D3051 D3051 D3051 D3051 D3051 N UFCode D4011 D4011 D4011 D4012 D4012 D4012 D4012 D4031   | Unit Heater Component Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Etinguisher   | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Treatment Plant Town Half Fire Station Fire Station - North Park & Cemetery Bulding  Building Water Treatment Plant Town Half Library Library Town Half Water Treatment Plant Town Half Water Treatment Plant Town Half Usbrary Town Half Water Treatment Plant Town Half Water Treatment Plant Plant Town Half  | Throughout Interior Throughout Interior Throughout Interior Aparatas room Main building Grounds garage Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Basement Mechanical room Mechanical room Mechanical room Mechanical room Mechanical room Mechanical room   | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2018                          | Barcode         | 10<br>14<br>2<br>2<br>Qty              |
| D40 FIRE PR ndex ID 12: 12: 12: 13: 12: 14: 12: 15: 12: 12: 14: 15: 12: 14: 15: 16: 17: 18: 18: 18: 18: 18: 18: 18: 18: 18: 18   | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>234325<br>234325<br>234325<br>234325<br>234325<br>234325<br>234325<br>234325<br>234329<br>234479<br>234198  | D3051 D3051 D3051 D3051 D3051 D3051  N  UFCode D4011 D4011 D4011 D4012 D4012 D4012 D4012 D4031   | Unit Heater Component Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump   | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant Town Hall Water Station DPW Building New   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Mechanical room Throughout Interior Throughout Interior  | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2018                          | Barcode         | 10<br>14<br>2<br>2<br>Qty              |
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| D40 FIRE PR ID I 12: 12: 12: 3 12: 4 12: 5 12: 7 12: 8 12: 9 12: 10 12: 11 12:   | 234231<br>234725<br>234426<br>PROTECTION<br>D<br>234568<br>2234588<br>223425<br>234361<br>234889<br>224572<br>234479<br>234479<br>234479<br>234479<br>234479<br>234480   | D3051 D3051 D3051 D3051 D3051 D3051  V UFCode D4011 D4011 D4011 D4012 D4012 D4012 D4031 D4031 D4031  | Unit Heater Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Extinguisher Fire Extinguisher Fire Extinguisher  | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Freshment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant Plan | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Mechanical room Mechanical room Throughout Interior Throughout Interior Throughout Interior Throughout Interior   | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2018                          | Barcode         | 10 14 2 2 Qty Gty 66 8 9 5 5           |
| D40 FIRE PR    12  | 2234231 2234725 223426 223426 2234568 2234588 223425 2234361 2234572 2234479 2234198 2234280 2234280   | D3061 D3061 D3061 D3061 D3061 D3061 D3061  W UFCode D4011 D4011 D4011 D4012 D4012 D4012 D4012 D4031 D4031 D4031  | Unit Heater Experiment Heater Unit Heater Unit Heater Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Ettinguisher  | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant Pales Station Depth Suiding - New Library Fire Station Park & Cemetery Building   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Sprinker room Sprinker room Throughout Interior  | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018  Dataplate Yr 2018 2018 2018 2018 2018 2018 2018               | Barcode         | 10 14 2 2 2 Qty 6 6 8 9 9 5 3          |
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| D40 FIRE PR  dex ID  122  123  124  125  126  127  127  127  127  127  127  127  | 234231 234725 234426 234426 200 200 21234568 2234361 2234361 2234361 2234361 2234361 2234361 2234361 2234361 223456 223456 223456 223456 223457 2234479 2234479 2234479 223456   | D0051 D3051 D3051 D3051 D3051 D3051 D3051 N UFCode D4011 D4011 D4011 D4012 D4012 D4012 D4031 D4031 D4031 D4031 D4031 D4031   | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Estinguisher   | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP  | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant Plant Freatment Plant Freatment Plant Freatment Plant Freatment Plant Price Station DPW Building - New Library Fire Station Park & Cemetery Building Treatment Plant Water Pump Station - North Water Pump Station - North  | Throughout Interior Throughout Interior Throughout Interior Aparatas room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Sprinker room Throughout Interior  | TPI Corporation Trane Stetring Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Monufacturer Apollo Valves No tagipitate found No tagipitate found Beil & Cossett Manaration   | FFETGION  UHSBAOBTTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  Mo tagiplate found  No tagiplate found  1.5X9.5  SCK 56BITD15524B  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2010 2018 2018                | Barcode         | 10 14 2 2 2 Qty 6 6 8 9 5 3 3 10 0 2 2 |
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| D40 FIRE PR  ndex ID  1 121  2 122  3 122  4 125  5 122  6 122  9 122  9 122  11 122  11 122  12 122  13 122  14 122  15 122  15 122  15 125   | 234231 234725 234725 PROTECTION D 2234568 2234325 2234325 2234326 2234372 2234479 2234479 2234429 2234422 2234480 2234424 2234481 223475 2234760 2234775   | D0051 D0051 D0051 D0051 D0061 D0061 N UFCode D4011 D4011 D4012 D4012 D4012 D4013 D4031 D4031 D4031 D4031 D4031 D4031   | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Extinguisher - Type ABC Fire Extinguisher - Type ABC Fire Extinguisher - Type ABC   | 20 kW 8 MBH 24 MBH Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN NO tag/plate found 10 HP 10 HP  | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library Town Hall Water Treatment Plant Plant Plant Plant Plant Plant Plant Plant Plant DPW Building - New Library Library Water Freatment Plant DPW Building - New Library Water Treatment Plant Water Pump Station - North Water Treatment Plant Water Treatment Plant Water Pump Station - Perkins   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Mechanical room Throughout Interior Main building Throughout Interior Main building Main building  | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tagiplate found  Manufacturer Apollo Valves No tagiplate found  No tagiplate found  Bell & Gossett Manathon Marathon   | F1FS1G3N UHS8A08TTA1C00000A HS-024 Inaccessible No tagiplate found No tagiplate found Model DC4A No tagiplate found No tagiplate found No tagiplate found T-024 No tagiplate found T-024 T-025 SCK-08BT/D15524B TDQ56C17D15569AP  | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found No tagiplate found Serial 34815 No tagiplate found   | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2010 2018 2018 2018           |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
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| D40 FIRE PR  ID 1012  12 12 12 12 13 12 13 14 12 12 13 14 12 12 12 12 12 12 12 12 12 12 12 12 12   | 234231 224426 234426 234426 234426 234426 234568 234688 234688 234568 234326 234326 234327 234479 234479 234479 234479 234479 234479 234470 234770 23 | D0051   D005   | Unit Heater Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Estinguisher - Type ABC Fire Esti | 20 kW 8 MBH 124 MBH Inaccessible No tagiplate found No tagiplate found Capacity 6 INCH 6 IN No tagiplate found 10 HP 10 HP 10 HP 25 AMPS 225 AMP 400 AMP 400 AMP 225 AMP 300 AMP 200 AMP   | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Library Library Town Hall Water Treatment Plant Water Plant Water Plant Water Plant Water Plant Water Plant Water Plant Plant Water Plant Plant Water Plant Water Plant Plant Water P | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Throughout Interior Main building Throughout Interior Main building Location Detail Man building Utility closet Mechanical room Electrical room Electrical room Electrical room Electrical room Electrical room Electrical room   | TPI Corporation Trane Stetting Modine Manufacturing Rezmor No tagiplate found  Manufacturer Apollo Valves No tagiplate found  Manufacturer Apollo Valves No tagiplate found No tagiplate found No tagiplate found No tagiplate found Manufacturer See  | FFFSIGN UHSBA08TTA1C00000A HSC024 Inaccessible No tagiplate found  | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found   | 2018 2004 2018 Dataplate Yr 2018 2019 2010 2010 2010 2018 2018 2018 2018 2018 |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
| D40 FIRE PR    10   12   12   12   12   12   12   12   | 224421 224426 PROTECTION D D 224568 224488 224488 224488 224481 224489 224479 224479 224479 224479 224479 224479 224489 224566 223488 224566 223488 223488 223488 223488 223488 223488 223488  | D0051 D0051 D0051 D0051 D0051 D0051  N UFCode D4011 D4011 D4012 D4012 D4012 D4012 D4013 D4031  | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Pump Fire Pump Fire Extinguisher - Type ABC Distribution Panel Distribution Panel Distribution Panel Distribution Panel [L-1] Distribution Panel [L-1] Distribution Panel Distribution Panel [L-1] Distribution Panel  | 20 kW 8 MBH 2 MBH Inaccessible Inaccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP 10 HP 10 HP 10 HP 10 AMP 225 AMP 100 AMP 225 AMP 300 AMP 100 AMP 100 AMP 200 AMP   | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building  Building Water Treatment Plant Town Hall Library Library Town Hall Pulce Station DPW Building - New Library Fire Station DPW Building - New Library Water Treatment Plant Town Hall Water Treatment Plant DPW Building - New Library Fire Station DPW Building - New Library Building - New Library Fire Station Park & Cemetery Building Town Hall Water Pump Station - Perkins Building Water Pump Station - Perkins Library Town Hall Police Station Police Station Police Station Police Station Police Station Police Station Park & Cemetery Building  | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Sprinker room Sprinker room Mechanical room Throughout Interior Main building Utility doset Mechanical room Electrical room Electrical room Electrical room Utility doset Electrical room Utility doset Electrical room Utility doset  | TPI Corporation Trane Sterting Modine Manufacturing Rezmor No tagiplate found  Manufacturer Apolto Valves No tagiplate found  Manufacturer Apolto Valves No tagiplate found  Bell & Gossett Manathon  Marathon  Marathon  General Electric Eaton Gel Eaton General Electric Ceneral Electric  | FFETGAN UHSBA08TTA1C00000A HSS-024 Inaccessible No tagiplate found No tagiplate found Model DC4A No tagiplate found No tagiplate found Model TD4A No tagiplate found  | No tag/plate found No tag/plate found No tag/plate found Inaccessible No tag/plate found No tag/plate found No tag/plate found Serial 34815 No tag/plate found  | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2010 2018 2018 2018 2018           |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
| D40 FIRE PR    1   | 234231 224725 234426 PROTECTION D 234568 234868 234868 234868 234326 234326 234327 234326 234327 2344198 234326 234527 234420 234477 234342 234462 234461 2234560 234775   | D0061 D3061 D3061 D3061 D3061 D3061 D3061 D3061 D4011 D4011 D4011 D4011 D4012 D4012 D4012 D4012 D4013 D4031  | Unit Heater Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Estinguisher Fire Esting | 20 kW 8 MBH 124 MBH 1naccessible No tag/plate found No tag/plate found Capacity 6 INCH 6 IN No tag/plate found 10 HP 10 HP 10 HP 10 HP 25 AMPS 400 AMP 25 AMP 300 AMP 100 AMP 200 AMP 200 AMP 200 AMP  | Library Water Treatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Building Building Water Treatment Plant Town Hall Library Library Town Hall Library Library Folice Station DPW Building - New Library Fire Station Pow Station Pow Building - New Library Fire Station Pow Real Water Treatment Plant Building - New Library Fire Station Park & Cemetery Building Town Hall Water Pump Station - North Water Pump Station - Perkins Building Water Pump Station - Perkins Building Water Pump Station - Perkins Building Water Pump Station - Perkins Ulbrary Town Hall Folice Station Police | Throughout Interior Throughout Interior Throughout Interior Aparatisa room Main building Grounds garage Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Mechanical room Throughout Interior Main building Throughout Interior Main building Location Detail Main building Utility closet Electrical room El | TPI Corporation Trane Steting Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Manufacturer Apollo Valves No tagipitate found  Mo tagipitate found Mo tagipitate found Mo tagipitate found Marathon  Marathon  Marathon  Gesett  Manufacturer Siemens General Electric Eaton Ge Geareral Electric Gesett Eaton GeGesett Eaton GeGesett Eaton GeGesett Eaton GeGesett Eaton GeGesett Eaton GeGesett Eaton GeGeGesett Eaton GeGeGegeGesett Eaton GeGeGegeGesett Eaton GeGeGesett Eaton GeGeGegeGesett Eaton GeGeGegeGesett Eaton GeGeGege | FFETGON  UHSBAOBTTANTCO0000A  HS-C24  Inaccessible  No tagiplate found  No tagiplate found  Model  DC4A  No tagiplate found  No tagiplate found  TO4A  No tagiplate found  No tagiplate found | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found                                     | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2018 2018 2018 2018 2018           |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
| Description  | 234231 2342426 234426 234426 234426 234426 234568 234868 234868 234869 234572 234479 234572 234479 234566  | D0051   D005   | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Extinguisher - Type ABC Fire Extinguisher - | 20 kW 8 MBH 24 MBH Inaccessible No tagiplate found No tagiplate found Capacity 6 INCH 6 IN No tagiplate found 10 HP 10 HP 10 HP 10 HP 200 AMP 200 AMP 200 AMP  | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Bulding  Building Water Treatment Plant Town Hall Library Library Town Hall Library Library Fire Station DPW Building - New Library Fire Station DPW Building - New Library  Water Treatment Plant Plant Water Pump Station - North Water Pump Station - Perkins Library  Building Water Pump Station - Perkins Library Town Hall Water Pump Station - Perkins Library  Building Water Pump Station - Perkins Library Town Hall Police Station Pulse Station Police Station Park & Cemetery Building Park & Cemetery Building Park & Cemetery Building Police Station Park & Cemetery Building Park & Cemetery Building Park & Cemetery Building Water Treatment Plant Library Town Hall Town Hall   | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinker room Sprinker room Sprinker room Sprinker room Sprinker room Mechanical room Throughout Interior Main building Utility close Interior Main building Utility closet Mechanical room Electrical room Electrical room Electrical room Electrical room Utility closet Becertical room Office Booster stallon Mechanical room  | TPI Corporation Trane Sterling Modine Manufacturing Reznor No tagiplate found  Manufacturer Apollo Valves No tagiplate found  Manufacturer Apollo Valves No tagiplate found No tagiplate found No tagiplate found No tagiplate found Manufacturer Selection Beil & Cossett Manufacturer Selection General Electric Eaton GE GE Square D Square D Square D Square D Screen  | FFETGON  UHSBA08TTA1C00000A  HS-024  Inaccessible  No tagiplate found  No tagiplate found  Model  DCAA  No tagiplate found  No tagiplate found  1.5K8.5  SSGSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSS   | No tag/plate found No tag/plate found No tag/plate found Inaccessible No tag/plate found No tag/plate found Serial 34616 No tag/plate found                                      | 2018 2004 2018 Dataplate Yr 2018 2000 2010 2010 2018 2018 2018 2018           |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
| Description  | 224421 224426 PROTECTION D D 224568 224488 224488 224488 224489 224457 2244479 224467 2244479 2244651 224426 D D 224568 224424 2244860 224422 224810 D D D D D D D D D D D D D D D D D D D   | D0061 D0061 D0061 D0061 D0061 D0061 D0061  UIFCode D4011 D4011 D4011 D4011 D4012 D4012 D4012 D4012 D4013 D4031 D40 | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Pump Fire Pump Fire Extinguisher Fir | 20 kW 8 MBH 124 MBH 1naccessible No tagiplate found No tagiplate found No tagiplate found Capacity 6 INCH 6 IN No tagiplate found 10 HP 10 HP 10 HP 10 HP 205 AMPS 225 AMPS 225 AMP 300 AMP 100 AMP 200 AMP 200 AMP 200 AMP 200 AMP 200 AMP 200 AMP  | Library Water Prestment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Bulding  Building Water Treatment Plant Town Hall Library Library Town Hall Ubrary Town Hall Water Pump Station - North Water Station DPW Building - New Library Library Fire Station DPW Building - New Library Fire Station Prive Station Prive Station Prive Station Prive Station Prive Station Prive Station Building Town Hall Water Pump Station - Perkins  Building Water Pump Station - Perkins  Building Water Pump Station - Perkins  Library Town Hall Prolice Station Prolice Sta | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Basement Mechanical room Throughout Interior Main building Utility Closet Location Detail Main building Utility Closet Mechanical room Electrical room Electrical room Electrical room Electrical room Electrical room Electrical room Office Booster station Mechanical room   | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tagipitate found  Manufacturer Apolto Valves No tagipitate found  Manufacturer Apolto Valves No tagipitate found No tagipitate found No tagipitate found Manufacturer Selection  Manufacturer Selection Gesett Manufacturer Selection Gesett Eaton Gesett Eaton Gesett Eaton Gesett Eaton Square D Square D Square D Square D Selaton  | FFETGAN UHSBA08TTA1C00000A HSC024 Inaccessible No tagiplate found No tagiplate found Model DC4A No tagiplate found No tagiplate found T.5X9.5 SCK.68BT7D15524B TDQ56C17D15568AP  Model No tagiplate found  | No tagplate found No tagplate found No tagplate found Inaccessible No tagplate found | 2018 2004 2018 Dataplate Yr 2018 2018 2000 2018 2018 2018 2018 2018           |                 | 10 14 2 2 2 Qty 6 6 8 8 9 10 2 2 4 4 2 |
| Description  | 234231 2342426 234426 234426 234426 234426 234426 234428 234428 234428 234429 234429 234419 234419 234419 234426 234429 23442 234429 234426 234460 234460 234442 234460 234461 234705 234600 234441 234342 234659 234659 234659 234659 234659 234659 234659 234659 234659 234669   | D3051   D4071   D4071   D4072   D4072   D4072   D4072   D4072   D4073   D5073   D507   | Unit Heater  Component Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Backflow Preventer Fire Pump Fire Pump Fire Pump Fire Pump Fire Pump Fire Estinguisher - Type ABC Fire Estinguisher  | 20 kW 8 MBH 24 MBH Inaccessible No tagiplate found No tagiplate found Capacity 6 NCH 6 IN No tagiplate found 10 HP 10 HP 10 HP 10 HP 20 AMP 200 AMP  | Library Water Freatment Plant Town Hall Fire Station Water Pump Station - North Park & Cemetery Bulding  Building Water Treatment Plant Library Library Library Town Hall Water Treatment Plant Plant Police Station DPW Bullding - New Library Fire Station Park & Cemetery Bulding Town Hall Water Treatment Plant Plant Water Pump Station - North Water Pump Station - Perkins  Bullding Water Pump Station - Perkin | Throughout Interior Throughout Interior Throughout Interior Aparatus room Main building Grounds garage  Location Detail Mechanical room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Sprinkler room Throughout Interior Main building Utility Cootet Mechanical room Electrical room Electrical room Electrical room Electrical room Electrical room Electrical room Office Booster station Mechanical room   | TPI Corporation Trane Sterling Modine Manufacturing Rezmor No tagiplate found  Manufacturer Apollo Valves No tagiplate found  Manufacturer Apollo Valves No tagiplate found Narathon  Manathon  Manathon  Manathon  Manathon  Gesel Eaton Gereal Electric Eaton Gesel | FFFSIGN UHSBA08TTA1C00000A HSC024 Inaccessible No tagiplate found No tagiplate found Model DC4A No tagiplate found No tagiplate found T.5X9.5 SGK 56B17D15524B TDQ56C17D1558AP  Model No tagiplate found  | No tagiplate found No tagiplate found No tagiplate found Inaccessible No tagiplate found No tagiplate found No tagiplate found Serial 34816 No tagiplate found                   | 2018 2004 2018 2018 2018 2018 2018 2000 2010 2018 2018                        |                 | Qty                                    |

| 16  | 1234823  | D5012   | Distribution Panel   | 225 AMP  | Town Hall  | Office   | Eaton   | No tag/plate found   | No tag/plate found   | 2018   |                 |             |
|---|--|---|--|--|--|--|---|--|--|--|-----------------|-------------|
| 17  | 1234210  | D5012   | Distribution Panel   | 400 AMP  | DPW Building - New   | Mechanical room  | Siemens   | No tag/plate found   | No tag/plate found   | 2000   |                 |             |
| 18  | 1234259  | D5012   | Distribution Panel   | 400 AMP  | Fire Station   | Breakroom  | General Electric  | No tag/plate found   | No tag/plate found   | 1995   |                 |             |
| 19  | 1234482  | D5012   | Distribution Panel [Panel MDP]   | 600 AMP  | Police Station   | Electrical room  | GE  | No tag/plate found   | No tag/plate found   |  |                 |             |
| 20  | 1234703  | D5012   | Motor Control Center w/ Main Breaker   | AMP  | Water Pump Station - North   | Main building  |   |  |  |  |                 |             |
| 21  | 1234649  | D5012   | Motor Control Center w/ Main Breaker [MCC-1]   | 1600 AMP   | Water Treatment Plant  | Electric room  | Eaton   | No tag/plate found   |  | 2018   |                 |             |
| 22  | 1234609  | D5012   | Motor Control Center w/ Main Breaker   | No tag/plate found   | Water Treatment Plant  | Electrical room  |   | No tag/plate found   | No tag/plate found   | 2018   |                 |             |
| 23  | 1234780  | D5012   | Motor Control Center w/ Main Breaker   | No tag/plate found   | Water Pump Station - Perkins   | Main building  | Clarke  | No tag/plate found   | No tag/plate found   |  |                 |             |
| 24  | 1234718  | D5012   | Motor Control Center w/ Main Breaker   | No tag/plate found   | Water Pump Station - North   | Main building  | No tag/plate found  | No tag/plate found   | No tag/plate found   |  |                 |             |
| 25  | 1234690  | D5012   | Secondary Transformer  | 45 kVA   | Water Treatment Plant  | Electric room  | Eaton   | No tag/plate found   | No tag/plate found   | 2018   |                 |             |
| 26  | 1234842  | D5012   | Secondary Transformer  | 15 KVA   | Town Hall  | Elevator   | General Electric  | No tag/plate found   | No tag/plate found   | 2018   |                 |             |
| 27  | 1234302  | D5012   | Transfer Switch  | 200 AMP  | Library  | Basement   | Emerson   | No tag/plate found   | 1130317-009 RE   | 2015   |                 |             |
| 28  | 1234489  | D5012   | Transfer Switch  | 150 AMP  | Police Station   | Electrical room  | Generac   | 88A02333-W   | 8297   |  |                 |             |
| 29  | 1234662  | D5012   | Transfer Switch  | 200 AMP  | Water Treatment Plant  | Booster station  | Cummins   | OTECSEC-1821272  | C18M328325   | 2018   |                 |             |
| 30  | 1234214  | D5012   | Transfer Switch  | 400 AMP  | DPW Building - New   | Mechanical room  | Kohler  | No tag/plate found   | No tag/plate found   |  |                 |             |
| 31  | 1234750  | D5012   | Transfer Switch  | 600 AMP  | Water Pump Station - North   | Main building  | Cutler-Hammer   | No tag/plate found   | No tag/plate found   | 2004   |                 |             |
| 32  | 1234669  | D5012   | Variable Frequency Drive (VFD) [P-151]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 33  | 1234624  | D5012   | Variable Frequency Drive (VFD) [P-152]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 34  | 1234665  | D5012   | Variable Frequency Drive (VFD) [P-153]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 35  | 1234608  | D5012   | Variable Frequency Drive (VFD) [P-421]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 36  | 1234592  | D5012   | Variable Frequency Drive (VFD) [P-422]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 37  | 1234540  | D5012   | Variable Frequency Drive (VFD) [P-423]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 38  | 1234684  | D5012   | Variable Frequency Drive (VFD) [P-452]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 39  | 1234590  | D5012   | Variable Frequency Drive (VFD) [P-541]   | 20 HP  | Water Treatment Plant  | Electrical room  | Eaton   | DG1  | No tag/plate found   | 2018   |                 |             |
| 40  | 1234365  | D5022   | LED Lighting Fixture   |  | Library  | Site   |   |  |  | 2047   |                 | 5           |
| 41  | 1234437  | D5037   | Fire Alarm Control Panel   |  | Park & Cemetery Building   | Office   | 507   |  |  | 2017   |                 |             |
| 42  | 1234172  | D5037   | Fire Alarm Control Panel   |  | DPW Building - New   | Electrical room  | EST   |  |  | 2010   |                 |             |
| 43  | 1234515  | D5037   | Fire Alarm Control Panel   | No tag/plate found   | Police Station   | Lobby  | Simplex   | Fire-lite  | No tag/plate found   |  |                 |             |
| 44  | 1234864  | D5037   | Fire Alarm Control Panel   | No tag/plate found   | Town Hall  | Main lobby   | Honeywell   | IFP-100  | No tag/plate found   | 2018   |                 |             |
| 45<br>46  | 1234256<br>1234364   | D5037<br>D5037  | Fire Alarm Control Panel Fire Alarm Control Panel  | No tag/plate found<br>No tag/plate found   | Fire Station   | Office Utility closet  | Fire-Lite<br>Simplex  | MS-4<br>No tag/plate found   | No tag/plate found No tag/plate found  |  |                 |             |
|   |  |   |  |  | Library  |  |   |  |  |  |                 |             |
| 47  | 1234683  | D5037   | Fire Alarm Control Panel   | No tag/plate found   | Water Treatment Plant  | Electric room  | Edwards Systems Technology  | No tag/plate found   | No tag/plate found   | 2018   |                 |             |
| 48  | 1234562  | D5092   | Exit Lighting Fixture  |  | Water Treatment Plant  | Throughout interior  |   |  |  | 2018   |                 | 7           |
| 49  | 1234872  | D5092   | Exit Lighting Fixture  |  | Town Hall  | Throughout interior  |   |  |  | 2018   |                 | 22          |
| 50  | 1234278  | D5092   | Exit Lighting Fixture  |  | Fire Station   | Throughout interior  |   |  |  |  |                 |             |
| 51  | 1234514  | D5092   | Exit Lighting Fixture  |  | Police Station   | Throughout interior  |   |  |  |  |                 | 4           |
| 52  | 1234218  | D5092   | Exit Lighting Fixture  |  | DPW Building - New   | Throughout interior  |   |  |  |  |                 | 7           |
| 53<br>54  | 1234323<br>1234212   | D5092<br>D5092  | Exit Lighting Fixture  | 60 kW  | Library DPW Building - New   | Throughout interior  |   |  |  |  |                 | 20          |
|   |  |   | Generator  |  |  |  |   |  |  |  |                 |             |
|   |  |   |  |  |  | Site   | Kohler  | 60HZ   | 0668116  | 2000   |                 |             |
| 55  | 1234555  | D5092   | Generator  | 125 KW   | Water Treatment Plant  | Booster station  | Cummins   | C125D6C-1821273  | D180342145   | 2000<br>2018   |                 |             |
| 55<br>56  | 1234555<br>1234370   | D5092<br>D5092  | Generator<br>Generator   | 125 KW<br>60 kW  | Water Treatment Plant<br>Library   | Booster station<br>Site  | Cummins<br>Generac  | C125D6C-1821273<br>No tag/plate found  | D180342145<br>No tag/plate found   |  |                 |             |
| 55<br>56<br>57  | 1234555<br>1234370<br>1234277  | D5092<br>D5092<br>D5092   | Generator Generator Generator  | 125 KW<br>60 kW<br>30 kW   | Water Treatment Plant<br>Library<br>Fire Station   | Booster station Site Utility closet  | Cummins<br>Generac<br>Onan  | C125D6C-1821273<br>No tag/plate found<br>30.05K-16B/28796B   | D180342145<br>No tag/plate found<br>L860850390   | 2018   |                 |             |
| 55<br>56<br>57<br>58  | 1234555<br>1234370<br>1234277<br>1234470   | D5092<br>D5092<br>D5092<br>D5092  | Generator<br>Generator<br>Generator<br>Generator   | 125 KW<br>60 kW<br>30 kW<br>30 kW  | Water Treatment Plant Library Fire Station Police Station  | Booster station Site Utility closet Electrical room  | Cummins<br>Generac<br>Onan<br>Generac   | C125D6C-1821273<br>No tag/plate found<br>30.05K-16B/28796B<br>88A02333-S   | D180342145<br>No tag/plate found<br>L860850390<br>886759   | 2018<br>1993   |                 |             |
| 55<br>56<br>57<br>58  | 1234555<br>1234370<br>1234277<br>1234470<br>1234716  | D5092<br>D5092<br>D5092<br>D5092<br>D5092   | Generator<br>Generator<br>Generator<br>Generator<br>Generator  | 125 KW<br>60 kW<br>30 kW<br>30 kW  | Water Treatment Plant<br>Library<br>Fire Station<br>Police Station<br>Water Pump Station - North   | Booster station Site Utility closet Electrical room Site   | Cummins<br>Generac<br>Onan<br>Generac<br>Cummins  | C125D6C-1821273  No tag/plate found  30.05K-16B/26796B  88A02233-S  GGKD-5656440   | D180342145<br>No tag/plate found<br>L860850390<br>886759<br>A040587795   | 2018<br>1993<br>2004   |                 |             |
| 55<br>56<br>57<br>58<br>59  | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571   | D5092<br>D5092<br>D5092<br>D5092<br>D5092<br>D5092  | Generator Generator Generator Generator Generator Generator Generator  | 125 KW<br>60 kW<br>30 kW<br>30 kW<br>100 kW<br>250 kW  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant   | Booster station Site Utility closet Electrical room Site Water treatment   | Cummins Generac Onan Generac Cummins Cummins  | C125D8C-1821273 No tagiplate found 30.08K-16Bi/28796B 88A02333-S GGKD-5656440 C25ON6   | D180342145 No tag/plate found L860860390 886759 A040557795 SOF7 220983   | 2018<br>1993   |                 |             |
| 55<br>56<br>57<br>58<br>59<br>60  | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267  | D5092<br>D5092<br>D5092<br>D5092<br>D5092   | Generator<br>Generator<br>Generator<br>Generator<br>Generator  | 125 KW<br>60 kW<br>30 kW<br>30 kW  | Water Treatment Plant<br>Library<br>Fire Station<br>Police Station<br>Water Pump Station - North   | Booster station Site Utility closet Electrical room Site   | Cummins<br>Generac<br>Onan<br>Generac<br>Cummins  | C125D6C-1821273  No tag/plate found  30.05K-16B/26796B  88A02233-S  GGKD-5656440   | D180342145<br>No tag/plate found<br>L860850390<br>886759<br>A040587795   | 2018<br>1993<br>2004   |                 |             |
| 55<br>56<br>57<br>58<br>59  | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267  | D5092<br>D5092<br>D5092<br>D5092<br>D5092<br>D5092  | Generator Generator Generator Generator Generator Generator Generator  | 125 KW<br>60 kW<br>30 kW<br>30 kW<br>100 kW<br>250 kW  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant   | Booster station Site Utility closet Electrical room Site Water treatment   | Cummins Generac Onan Generac Cummins Cummins  | C125D8C-1821273 No tagiplate found 30.08K-16Bi/28796B 88A02333-S GGKD-5656440 C25ON6   | D180342145 No tag/plate found L860860390 886759 A040557795 SOF7 220983   | 2018<br>1993<br>2004   |                 |             |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267<br>IPMENT  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode  | Generator Generator Generator Generator Generator Generator Generator  | 125 KW<br>60 kW<br>30 kW<br>30 kW<br>100 kW<br>250 kW  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant   | Booster station Site Utility closet Electrical room Site Water treatment   | Cummins Generac Onan Generac Cummins Cummins  | C12508C-1821273 No lapipitate found 30.06K-186122796B 88802333-S GGKD-9566440 C250N8 LTGCA1000-39U/26404G Model  | D180342145 No tag/plate found L860860390 886759 A040557795 SOF7 220983   | 2018<br>1993<br>2004   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267  | D5092<br>D5092<br>D5092<br>D5092<br>D5092<br>D5092<br>D5092   | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  | 125 KW<br>60 kW<br>30 kW<br>30 kW<br>100 kW<br>250 kW  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  | Cummins Generac Onan Generac Cummins Cummins Cummins  | C16508C-1821273 No tagiplate found 0.05K-16B/22796B 88802333-5 GCRD-5656440 C250NB LTGCA1000-39U/26404G  | D180342145 No tapipitate found L80950390 886759 A040587755 SOF7 220983 L860859438  | 2018<br>1993<br>2004<br>2018   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267<br>IPMENT  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode  | Generator Generator Generator Generator Generator Generator Transfer Switch Component  | 125 KW 60 kW 30 kW 100 kW 100 kW 250 kW 100 AMP  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station Building  | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail  | Cummins Generac Onan Generac Cummins Cummins Onan Manufacturer  | C12508C-1821273 No lapipitate found 30.06K-186122796B 88802333-S GGKD-9566440 C250N8 LTGCA1000-39U/26404G Model  | D180342145 No taglipitate found L808950390 886759 A040587795 SOF7 220883 L860859438 Serial No taglipitate found FD981203975  | 2018<br>1993<br>2004<br>2018   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267<br> PMENT   ID   1234225<br>1234682<br>1234564   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027  | Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laborator Eshaust Hood  | 125 KW 60 kW 30 kW 30 kW 100 kW 250 kW 100 AMP   | Water Treatment Plant Library File Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station Water Treatment Plant   | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen Laboratory   | Cummins Generac Onan Generac Cummins Cummins Onan Manufacturer Wesconst   | C12508C-1821273 No tapipitate found 30.05K-186122796B 88A02333-S GGKD-5856440 C2550NB LTGCA1000.39Li/26404G  | D180342145 No tap/plate found L809850390 886759 A040587795 SOF7 220983 L800859438  Serial No tap/plate found   | 2018<br>1993<br>2004<br>2018<br>Dataplate Yr   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234710<br>1234716<br>1234716<br>1234571<br>1234267<br>IPMENT<br>ID<br>1234225<br>1234682<br>1234684<br>1234335   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028  | Generator Generator Generator Generator Generator Generator Tansfer Switch  Component Component Component Laboratory Exhaust Hood Delbrillatory Exhaust Hood   | 125 KW 60 kW 30 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No taginiste found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station  Building Fire Station Water Treatment Plant Water Treatment Plant Water Treatment Plant Water Treatment Plant Library  | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen Kitchen Laboratory Community room  | Cummins Generac Onan Generac Cummins Cummins Cummins Warufacturer Wascomat Bosch  | C12586-118:173 No tagipiste found 30,058:186182796B 88402333-5 GGKD-5856440 C250N6 LTGCA1000-39U/28404G  Model W8555 SHESAR75UC/23   | D180342145 No taglipitate found L808950390 886759 A040587795 SOF7 220883 L860859438 Serial No taglipitate found FD981203975  | 2018  1993 2004 2018  Dataplate Yr  2018 2018  | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>1234470<br>1234716<br>1234571<br>1234267<br> PMENT   ID   1234225<br>1234682<br>1234564   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027  | Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laborator Eshaust Hood  | 125 KW 60 kW 30 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No taginiste found  | Water Treatment Plant Library File Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station Water Treatment Plant   | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen Laboratory   | Cummins Generac Onan Generac Cummins Cummins Cummins Warufacturer Wascomat Bosch  | C12586-118:173 No tagipiste found 30,058:186182796B 88402333-5 GGKD-5856440 C250N6 LTGCA1000-39U/28404G  Model W8555 SHESAR75UC/23   | D180342145 No taglipitate found L808950390 886759 A040587795 SOF7 220883 L860859438 Serial No taglipitate found FD981203975  | 2018 1993 2004 2018 Dataplate Yr   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555<br>1234370<br>1234277<br>123470<br>1234716<br>1234571<br>1234267<br>IPMENT<br>ID<br>1234225<br>1234682<br>1234684<br>1234355<br>1234879  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Component Dishwasher Laboratory Eshaust Hood Destiruliar (AED) Commercial Commercial Microwave Commercial Commercial Microwave  | 125 KW S0 kW S0 kW 100 kW 250 kW 100 kW Capacity E0 LB No tag/glate found No tag/glate found No tag/glate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station Building Fire Station Water Treatment Plant Fire Station Under Treatment Plant Library Town Hall Town Hall   | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen Lisboratory Community room Kitchen Kitchen Kitchen Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Manufacturer Wascomat Boach Laboonco No tagipitate found   | C12508C-1821273 No tagipiate found 30.054-188.72796B 888.02333-5 GCKRD-5656440 C250NB LTGCA1000-39U/26404G  Model W855 SHE3AR75UC23 303002  No tagipiate found   | D180x24145 No tagipitate found L80x850390 886739 A040587796 SOF7 220803 L80x850438 Serial No tagipitate found FD681203975 180963808  | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555 1234370 1234277 12344716 1234571 1234267 1234267 1D 1234265 1234682 1234682 1234684 1234335 1234882 1234853  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093 E1093  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Dethrillator, EAED) Commercial Food Warmer Commercial Food Warmer   | 125 KW 30 kW 30 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No tag/plate found No tag/plate found No tag/plate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Water Treatment Plant User Treatment Plant Water Treatment Plant User Treatment Plant  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen Kitchen Laboratory Community room Kitchen Kitchen Kitchen Kitchen Kitchen Kitchen Kitchen Kitchen Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Manufacturer Wescomat Bosch Labconco  No tapiplate found Whiripool   | C125806-11821 273 No tapipitate found 30.06X-168122796B 888402333-3 GCKC5-566440 C250N6 LTGCA1000-39U/26404G  Model W655 SHE2AR75UC/23 303002  No tapipitate found M6F1686FEZ02  | D18042145 No tagliplate found L808950390 886799 A040987795 SOF7 220983 L860859438  Serial No tagliplate found FD981203975 180963808  | 2018  1993 2004 2018  Dataplate Yr  2018 2018  | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555 1234370 1234277 1234470 1234470 12344716 1234571 1234267 10 1234225 1234682 1234564 1234584 1234587 1234882 1234882 1234835 1234835  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093 E1093 E1093  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Detibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer  | 125 KW 60 kW 30 kW 100 kW 100 kW 250 kW 100 AMP Capacity 60 LB No tag/plate found No tag/plate found 19 CU No tog/plate found  | Water Treatment Plant Library Files Station Police Station Water Pump Station - North Water Treatment Plant Files Station  Building Files Station Water Treatment Plant Water Treatment Plant Water Treatment Plant Library Town Hall Town Hall Files Station  | Booster station Site Utility doset Electrical room Site Water treatment Generator room  Location Detail Kitchen Laboratory Community room Kitchen  | Cummins Generac Onan Generac Cummins Cummins Onan  Manufacturer Wasscomat Basch Labconco  No tag/plate found Whiripool Bosch  | C12508C-1821273 No lapipilate found 30.06K-186122796B 880402333-S GGKD-9566440 C250N8 LTGCA1000-39U/26404G  Model W655 SHE3AR75UC23 303002 No tagipilate found MBF1656FEZ02 SHESAR76UC22   | D180342145 No 1apipiate found L80080390 886739 A040587796 SOF7 220983 L800859438 Serial No 1apipiate found FD81203975 180963808  | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555 1234370 1234470 1234470 12344716 1234571 1234571 1234267 PMENT ID 1234225 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524 1234524  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093 E1093 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Delibrillator Agent Commercial Commercial Microwave Commercial Generatory Commercial Generatory Commercial Commercial Microwave Commercial Refrigerator, 2-Door Reach-in Residential Microwave  | 125 KW 50 kW 30 kW 100 kW 150 kW 250 kW 100 AMP  Capacity 60 LB No taginiste found No taginiste found 19 CU No taginiste found 19 CU No taginiste found  | Water Treatment Plant Library Pire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station  Building Fire Station Water Treatment Plant Vater Treatment Plant Library Town Hall Violent Treatment Plant Violent Treatment Plant Library Town Hall Water Treatment Plant Violent Fire Station Violent Fire Station Fire Station   | Booster station Site Utility closet Electrical room Site Water restment Generator room  Location Detail Kitchen  | Cummins Generac Onan Generac Cummins Cummins Cummins Chan Manufacturer Wisscomat Bosch Labconco No tagiplate found Wisripcoil Bosch   | C125806-11821 273 No tagipitate found 30,058-1186128796B 888402333-3 GCKR5-9565440 C250N8 LTGCA1000-39U25404G  Model W655 SHE3AR78UC/23 303002  No tagipitate found MBF1656FEZ02 SHE3AR7BUC/22 SHE3AR7BUC/22   | D18042145 No tagipitate found L806805090 886739 A040587765 SOF7 220683 L806850438 Serial No tagipitate found FD081203975 180963808 K84605387 FD071201680 TR71733230  | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>E10 EQU   | 1234555 1234370 1234277 1234277 1234470 1234716 1234571 1D 1234225 1234682 1234682 1234682 1234882 1234883 1234234 1234234 1234274   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Eshaust Hood Defibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Residential Dishwasher Residential Dishwasher Residential Dishwasher Residential Microwave  | 125 KW  50 kW  30 kW  100 kW  250 kW  100 AMP  Capacity  60 LB  No tag/plate found   | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station  Building Fire Station  Water Treatment Plant Water Treatment Plant Under Treatment Plant Water Treatment Plant Library Town Hall Town Hall Town Hall Fire Station Fire Station Fire Station Fire Station Fire Station Police Station   | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Debail Kitchen Kitchen Laboratory Community room Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Onan  Manufacturer Wascomat Bosch Labconco  No tagiplate found Wiripool Bosch Whiripool Broan  | C12508C-1821273 No tapipitate found 30.06K-186128796B 880402333-S GGKD-9565440 C250N6 LTGCA1000-39U/28404G  Model W655 SHE3AR75UC23 303002  No tapipitate found MBF1958FEZ02 SHE3AR76UC/22 WMH5S20CS-7 88E   | D 180242145 No tagipitate found L808950390 886759 A040587795 SOF7 220983 L800859438 Serial No tagipitate found FD981203975 180963808 K84605387 FD971201680 TRY1733230 No tagipitate found  | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>1<br>2<br>3<br>4<br>5<br>6<br>6<br>7<br>8<br>9  | 1234555 1234370 1234470 1234470 12344716 1234571 1234267 1234560 1234662 1234662 1234664 1234355 1234369 1234389 1234389 1234381 1234234 1234274   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1027 E1028 E1093 E1093 E1093 E1094 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Destruitlator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer Residential Dishwasher Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Range Hood, Vented or Ventless Residential Range Hood, Vented or Ventless Residential Range Nood, Vented or Ventless  | 125 KW 50 kW 30 kW 100 kW 250 kW 100 AMP Capacity 60 LB No tag/plate found No tag/plate found 19 CU No tag/plate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station Building Fire Station Water Treatment Plant Fire Station Water Treatment Plant Library Town Hatl Town Hatl Water Treatment Plant Fire Station   | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen  | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Coman Manufacturer Wascomat Bosch Labconco No tagiplate found Wiripcod Broan Broan   | C125806-11821 273 No tagipitate found 30.054-1861827968 888402333-5 GCKRD-5856440 C25CN8 LTGCA1000-39U/28404G  Model W655 SHE3AR75UC/23 303002  No tagipitate found MBF1595FEZ02 SHE3AR75UC/22 WMH53620CS-7 88E  | D18042145 No tagipitate found L80680390 886739 A04058776 SOF7 22083 L80685438 Serial No tagipitate found FD881203975 180963808 K84605387 FD971201680 TR7173230 No tagipitate found No tagipitate found   | 2018  1993 2004 2018  Dataplate Yr 2018 2018 2018 2018 2018  | Barcode         | Gty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>1ndex<br>1<br>2<br>3<br>4<br>5<br>6<br>6<br>7<br>8<br>9<br>10   | 1234555 1224370 1234470 1234470 1234470 1234471 1234267 124627 1234621 1234622 1234682 1234682 1234682 1234835 1234836 1234831 1234834 1234834 1234834 1234834 1234838   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1028 E1093 E1093 E1093 E1094 E1094 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Dethirillator, AED) Commercial Food Warmer Commercial Frigerator, 2-Door Reach-In Residential Ohiwasher Residential Range Mood, Vented or Ventless Residential Range Nood, Vented or Ventless Residential Range, Electric Residential Range, Electric   | 125 KW  30 kW  30 kW  100 kW  250 kW  100 AMP  Capacity  60 LB  No tag/plate found  No tag/plate found  19 CU  No tag/plate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Building Fire Station  Water Treatment Plant Library Town Hall Town Hall Town Hall Fire Station Police Station Police Station Police Station Police Station Police Station   | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Chan Manufacturer Wescomat Bosch Labconco  No tapipiste found Whiripool Bosch Whiripool Broan Frigdaire General Electric   | C125806-118:173 No tagipitate found 30.06X-168122796B 888402333-3 GGKD-5866440 C250N6 LTGCA1000-39U/26404G  Model W656 SHE3AR75UC/23 303002  No tagipitate found M8F1468FE202 SHE3AR76UC/22 HWH-58320CS-7 88E No tagipitate found JGBS07P6AT7WW  | D18042145 No taglipitate found L808950390 886759 A040587795 SOF7 220893 L860859438  Serial No taglipitate found FD981203975 180963808  K84605387 FD971201880 IK71733230 No taglipitate found No taglipitate found No taglipitate found   | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018  | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br><b>E10 EQU</b><br>104<br>2<br>3<br>4<br>5<br>6<br>7<br>8<br>9<br>10   | 1234555 1224370 1234470 1234470 1234470 1234471 1234267 1234267 1234267 1234225 1234682 1234582 1234882 1234882 1234873 1234872 123427 123427 1234271  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1028 E1093 E1093 E1093 E1094 E1094 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Component Commercial Laundry Dishwasher Laboratory Eshaust Hood Destinitator (AED) Commercial Food Warmer Commercial Food Warmer Commercial Registant, 2-boor Reach-in Residential Shiwasher Residential Microwave Residential Microwave Residential Range Hood, Vented or Ventless Residential Range, Gea  | 125 KW 50 kW 30 kW 100 kW 250 kW 100 AMP Capacity 60 LB No tag/plate found No tag/plate found 19 CU No tag/plate found   | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station Building Fire Station Water Treatment Plant Fire Station Water Treatment Plant Ubrary Town Hall Water Treatment Plant Library Town Hall Fire Station Fire Station Fire Station Fire Station Police Station Police Station Police Station   | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Coman Manufacturer Wascomat Boach Labconco  No tagiplate found Wiripcod Boach Wiripcod Boach Frigdaire General Electric General Electric   | C125806-1821273 No tagiplate found 30.054-188128796B 88802333-5 GCIKD-5656440 C25CNB LTGCA1000-39U/26404G  Model W655 SHE3AR75UC23 303002  No tagiplate found MBF1969FE202 WMH53820CS-7 88E No tagiplate found JGBS079EA7WW GTS15F10MH8BB  | D18042145 No tagipitate found L806805090 886739 A04058776 SOF7 220803 L806850438 Serial No tagipitate found FD881203975 180963808  K84805387 FD971201680 TR71733230 No tagipitate found TO 112678P HL821316  | 2018  1993 2004 2018  Dataplate Yr  2018  2018  2018  2018  2018  2018  2018   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>Index<br>1<br>2<br>3<br>4<br>5<br>6<br>7<br>8<br>9<br>10<br>11<br>12  | 1234555 1234370 1234470 1234470 1234470 1234571 1234267 1234671 1234225 1234624 1234225 1234624 1234225 1234624 1234235 1234624 1234235 1234624 1234274 1234274 1234274 1234274 1234277 1234271  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1028 E1093 E1093 E1093 E1094 E1094 E1094 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Destinitians (AECB) Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer Residential Refrigerator, 2-Door Reach-in Residential Refrigerator, 2-Door Reach-in Residential Range, Bood, Wented or Ventless Residential Range, Electric Residential Range, Clast Range Residential Range Range Range Residential Range Range Range Residential Range Rang | 125 KW 50 kW 30 kW 100 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No taginiste found No taginiste found 19 CU No taginiste found 19 CU No taginiste found No taginiste found 19 CU No taginiste found 19 CU No taginiste found  | Water Treatment Plant Library Pire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station Water Treatment Plant Fire Station Water Treatment Plant Library Town Hall Water Treatment Plant Fire Station Water Treatment Plant Library Town Hall Water Treatment Plant Fire Station Fire Station Fire Station Police Station  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Chan Manufacturer Wascomat Bosch Labconco No tag/plate found Whripcol Bosch Prigdiare General Electric General Electric General Electric   | C125806-11821 273 No tagipitate found 30,058-1186128796B 88A02333-5 GCRC-9566440 C250NB LTGCA1000-39U25404G  Model W655 SHESAR75UC23 303002  No tagipitate found M8F1459FE202 SHESAR76UC22 WHH5532005-7 88E No tagipitate found GBS07PEA7WW GTS160THAMEB   | D18042145 No tag pilate found L80890390 886739 A040587795 SOF7 220983 L80805438 Serial No tag pilate found FD981203975 180963808 K84605387 FD971201690 TR71733230 No tag pilate found D112678P HL821316 HL821316   | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018  | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br><b>E10 EQU</b><br>Index<br>1<br>2<br>2<br>3<br>4<br>4<br>5<br>6<br>6<br>7<br>8<br>9<br>10<br>11<br>12<br>13<br>14<br>15       | 1234555 1234370 1234470 1234470 1234470 1234471 123467 123467 1234627 1234624 1234684 1234684 1234682 1234682 1234682 1234682 1234682 1234682 1234682 1234681 123424 123427 123427 123427 123427 1234271   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1027 E1027 E1028 E1003 E1003 E1004  | Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Eshaust Hood Delibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Residential Dishwasher Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Range Rectric Residential Range Rectric Residential Range Ges Residential Range Ges Residential Refrigerator, 14-15 CF   | 125 KW  30 kW  30 kW  100 kW  250 kW  100 AMP  Capacity  60 LB  No tag/pilate found  19 CU  No tag/pilate found   | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Building Fire Station Water Treatment Plant Library Town Hall Town Hall Fire Station Fire Station Fire Station Fire Station Fire Station Fire Station Police Station  | Booster station Site Utility doset Electrical room Site Water treatment Generator room  Location Debail Kitchen  | Cummins Generac Onan Generac Cummins Cummins Cummins Onan  Manufacturer Wascomat Bosch Labconco  No tagiptate found Whiripcol Bosch Whiripcol Bosch Frigidate General Electric General Electric General Electric General Electric   | C125B6C-1821273 No tapipitate found 30.06K-186128796B 88A02333-S GCKCP-5866440 C25ON6 LTGCA1000-39U/28404G  Model W6565 SHE2AR75UC23 303002  No tapipitate found MBF196SFEZ02 SHE2AR76UC22 WMH3520CS-7 88E No tapipitate found JGSS07PEAT/WW GTS160THAMBB GNE29GSKISS HH317CB12RWW   | D 180242145 No tag/plate found L808950390 886759 886759 A040587765 SOF7 220983 L80859438 Serial No tag/plate found FD981203975 180963808 K84805387 FD971201880 TR7173230 No tag/plate found RN 525737219   | 2018  1993 2004 2018  Dataplate Yr  2018  2018  2018  2018  2018  2018  2018   | Barcode         | Qty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br><b>E10 EQU</b><br>Index<br>1<br>2<br>3<br>4<br>4<br>5<br>6<br>6<br>7<br>8<br>8<br>9<br>10<br>11<br>12<br>13<br>14<br>15<br>15 | 1234555 1224370 1234470 1234470 1234470 1234471 1234571 1234571 10 1234265 1234564 1234365 1234366 1234365 1234366 1234366 1234366 1234272 123457 1234581 1234271 1234271 1234271  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1028 E1093 E1093 E1093 E1094 E1094 E1094 E1094 E1094 E1094  | Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Destinitians (AECB) Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer Residential Refrigerator, 2-Door Reach-in Residential Refrigerator, 2-Door Reach-in Residential Range, Bood, Wented or Ventless Residential Range, Electric Residential Range, Clast Range Residential Range Range Range Residential Range Range Range Residential Range Rang | 125 KW 50 kW 30 kW 100 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No taginiste found No taginiste found 19 CU No taginiste found 19 CU No taginiste found No taginiste found 19 CU No taginiste found 19 CU No taginiste found  | Water Treatment Plant Library Pire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station Water Treatment Plant Fire Station Water Treatment Plant Library Town Hall Water Treatment Plant Fire Station Water Treatment Plant Library Town Hall Water Treatment Plant Fire Station Fire Station Fire Station Police Station  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Chan Manufacturer Wascomat Bosch Labconco No tag/plate found Whripcol Bosch Prigdiare General Electric General Electric General Electric   | C125806-11821 273 No tagipitate found 30,058-1186128796B 88A02333-5 GCRC-9566440 C250NB LTGCA1000-39U25404G  Model W655 SHESAR75UC23 303002  No tagipitate found M8F1459FE202 SHESAR76UC22 WHH5532005-7 88E No tagipitate found GBS07PEA7WW GTS160THAMEB   | D18042145 No tag pilate found L80890390 886739 A040587795 SOF7 220983 L80805438 Serial No tag pilate found FD981203975 180963808 K84605387 FD971201690 TR71733230 No tag pilate found D112678P HL821316 HL821316   | 2018  1993 2004 2018  Dataplate Yr  2018  2018  2018  2018  2018  2018  2018   | Barcode         | Oty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br><b>E10 EQU</b><br>Index<br>1<br>2<br>2<br>3<br>4<br>4<br>5<br>6<br>6<br>7<br>8<br>9<br>10<br>11<br>12<br>13<br>14<br>15       | 1234555 1224370 1234470 1234470 1234470 1234471 1234571 1234571 10 1234265 1234564 1234365 1234366 1234365 1234366 1234366 1234366 1234272 123457 1234581 1234271 1234271 1234271  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1027 E1027 E1028 E1003 E1003 E1004  | Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Eshaust Hood Delibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Residential Dishwasher Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Range Rectric Residential Range Rectric Residential Range Ges Residential Range Ges Residential Refrigerator, 14-15 CF   | 125 KW  30 kW  30 kW  100 kW  250 kW  100 AMP  Capacity  60 LB  No tag/pilate found  19 CU  No tag/pilate found   | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Building Fire Station Water Treatment Plant Library Town Hall Town Hall Fire Station Fire Station Fire Station Fire Station Fire Station Fire Station Police Station  | Booster station Site Utility doset Electrical room Site Water treatment Generator room  Location Debail Kitchen  | Cummins Generac Onan Generac Cummins Cummins Cummins Onan  Manufacturer Wascomat Bosch Labconco  No tagiptate found Whiripcol Bosch Whiripcol Bosch Frigidate General Electric General Electric General Electric General Electric   | C125B6C-1821273 No tapipitate found 30.06K-186128796B 88A02333-S GCKCP-5866440 C25ON6 LTGCA1000-39U/28404G  Model W6565 SHE2AR75UC23 303002  No tapipitate found MBF196SFEZ02 SHE2AR76UC22 WMH3520CS-7 88E No tapipitate found JGSS07PEAT/WW GTS160THAMBB GNE29GSKISS HH317CB12RWW   | D 180242145 No tag/plate found L808950390 886759 886759 A040587765 SOF7 220983 L80859438 Serial No tag/plate found FD981203975 180963808 K84805387 FD971201880 TR7173230 No tag/plate found RN 525737219   | 2018  1993 2004 2018  Dataplate Yr  2018  2018  2018  2018  2018  2018  2018   | Barcode         | Gty         |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>1<br>2<br>3<br>4<br>5<br>6<br>6<br>7<br>8<br>9<br>10<br>11<br>12<br>13<br>14<br>15<br>16<br>F10 OTH                           | 1234555 1224370 1234470 1234470 1234470 1234471 1234571 1234571 10 1234265 1234564 1234365 1234366 1234365 1234366 1234366 1234366 1234272 123457 1234581 1234271 1234271 1234271  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1027 E1027 E1028 E1003 E1003 E1004  | Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Eshaust Hood Delibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Residential Dishwasher Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Range Rectric Residential Range Rectric Residential Range Ges Residential Range Ges Residential Refrigerator, 14-15 CF   | 125 KW  30 kW  30 kW  100 kW  250 kW  100 AMP  Capacity  60 LB  No tag/pilate found  19 CU  No tag/pilate found   | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Building Fire Station Water Treatment Plant Library Town Hall Town Hall Fire Station Fire Station Fire Station Fire Station Fire Station Fire Station Police Station  | Booster station Site Utility doset Electrical room Site Water treatment Generator room  Location Debail Kitchen  | Cummins Generac Onan Generac Cummins Cummins Cummins Onan  Manufacturer Wascomat Bosch Labconco  No tagiptate found Whiripcol Bosch Whiripcol Bosch Frigidate General Electric General Electric General Electric General Electric   | C125B6C-1821273 No tapipitate found 30.06K-186128796B 88A02333-S GCKCP-5866440 C25ON6 LTGCA1000-39U/28404G  Model W6565 SHE2AR75UC23 303002  No tapipitate found MBF196SFEZ02 SHE2AR76UC22 WMH3520CS-7 88E No tapipitate found JGSS07PEAT/WW GTS160THAMBB GNE29GSKISS HH317CB12RWW   | D 180242145 No tag/plate found L808950390 886759 886759 A040587765 SOF7 220983 L80859438 Serial No tag/plate found FD981203975 180963808 K84805387 FD971201880 TR7173230 No tag/plate found RN 525737219   | 2018  1993 2004 2018  Dataplate Yr  2018  2018  2018  2018  2018  2018  2018   | Barcode Barcode | Oty Oty Oty |
| 55 56 56 57 57 58 59 59 60 61 Index 1 2 2 3 4 5 6 6 7 7 8 8 9 10 11 12 13 14 14 15 16 16 16 16 16 16 16 16 16 16 16 16 16   | 1234555 1234370 1234470 1234470 1234470 1234470 1234470 1234571 1234267 1234262 1234262 1234262 1234262 1234262 1234262 1234262 1234262 1234262 1234262 123427 123427 123427 123427 123427 123427 123427 123427 123427   | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 E1016 E1027 E1027 E1027 E1027 E1028 E1093 E1093 E1094   | Generator Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Delbrillator Age Laboratory Exhaust Hood Commercial Commercial Microwave Commercial Commercial Microwave Commercial Generatory Commercial Commercial Microwave Commercial Refrigerator, 2-Door Reach-in Residential Britowawe Residential Britowawe Residential Refrigerator, 4-18 CF Residential Refrigerator, 14-18 CF Residential Refrigerator, 14-18 CF Residential Refrigerator, 14-18 CF Residential Refrigerator, 14-13 CF Residential Refrigerator, 14-13 CF  | 125 KW 50 kW 30 kW 100 kW 100 kW 250 kW 100 AMP Capacity 60 LB No tag/plate found No tag/plate found 19 CU No tag/plate found No tag/plate found 19 CU No tag/plate found  | Water Treatment Plant Library Pire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station  Building Fire Station  Water Treatment Plant Fire Station  Water Treatment Plant Library Town Hall Town Hall Water Treatment Plant Fire Station  Water Station Fire Station Police Station Police Station Police Station Fire Station Fire Station Police Station Police Station Fire Station Police Station  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Chan Manufacturer Wisscomat Bosch Labconco  No tag/plate found Whripcol Bosch Prigdate General Electric General Electric General Electric Hotpont Frigdate   | C15886-1181273 No tagipitate found 30,058-168/287968 88A02333-5 GCKC5-5656440 C250N8 LTGCA1000-39U25404G  Model W655 SH-53AR75UC23 303002  No tagipitate found MBF1959FEZ02 SH-53AR76UC22 WHH-53520057 88E No tagipitate found JGBS07PEATWW GTS160THMRBB GME29GSKISS HTHT/CBTZRWW CTF2125DRW   | D18042145 No tagiplate found L80890390 886739 A040587796 SOF7 220983 L80859438 Serial No tagiplate found FD981203975 180963808 K84605387 FD971201680 TR71733230 No tagiplate found TD112678P HL821316 RL521266 Z5737219 15009125YS   | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018 2018   |                 |             |
| 55<br>56<br>57<br>58<br>59<br>60<br>61<br>1<br>2<br>3<br>4<br>5<br>6<br>6<br>7<br>8<br>9<br>10<br>11<br>12<br>13<br>14<br>15<br>16<br>F10 OTH                           | 1234555 1234370 1234470 1234470 1234470 1234470 1234470 1234671 1234267 1234267 1234267 1234262 1234682 1234682 1234682 1234682 1234682 1234682 1234682 1234682 1234682 1234681 123427 1234521 123427 1234521 1234271 1234171 128  | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 UFCode E1016 E1027 E1027 E1027 E1027 E1028 E1093 E1093 E1094  | Generator Transfer Switch  Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Delibrillator (AED) Commercial Commercial Microwave Commercial Food Warmer Commercial Food Warmer Residential Microwave Residential Microwave Residential Microwave Residential Microwave Residential Range Hood, Vented or Ventless Residential Range, Electric Residential Range Hood, Vented or Ventless Residential Range Hood, Vented or Residential Range Residenti | 125 KW 60 kW 30 kW 100 kW 250 kW 100 AMP  Capacity 60 LB No tag/pilate found No tag/pilate found 19 CU No tag/pilate found No tag/pilate found 19 CU No tag/pilate found No tag/pilate found No tag/pilate found 17 CU Capacity Capa | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Water Treatment Plant Fire Station  Water Treatment Plant Library Town Hall Town Hall Town Hall Fire Station Police Station  | Booster station Site Utility doset Electrical room Site Water treatment Generator room  Location Detail Kitchen Location Detail  | Cummins Generac Onan Generac Cummins Cummins Cummins Onan  Manufacturer Wassconat Bosch Labconco  No tagiptate found Whiripcol Bosch Whiripcol Bosch General Electric Frigidaire  | C12508C-1821273 No tapipitate found 30.06X-186128796B 880402333-3 GCKCD-5656440 C250N6 LTGCA1000-39U/28404G  Model W655 SHE3AR75UC/23 303002  No tapipitate found MBF1968FEZ02 SHE3AR76UC/22 WHSAR76UC/22 WHSAR76UC/2 | D 180242145 No tag/plate found L80895090 886799 A040587795 SOF7 220983 L800859438  Serial No tag/plate found FD981203975 180963808  K84605387 FD971201880 T7373230 No tag/plate found HL821316 RL521266 S25737219 15009125YS  | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018 2018 201   |                 |             |
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| 55 56 57 58 59 60 61 E10 EQU   10 10 10 10 10 10 10 10 10 10 10 10 10 1   | 1234555 1234370 1234470 1234470 1234470 1234470 1234471 1234267 1234267 10 1234262 1234682 1234882 1234882 1234879 1234882 1234879 123 | D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 D5092 E1016 E1027 E1027 E1027 E1027 E1027 E1028 E1093 E1093 E1094   | Generator Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Delibrillator AED Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer Commercial Food Warmer Residential Microwave Commercial Food Warmer Residential Refrigerator, 2-Door Reach-in Residential Refrigerator, 4-18 of Residential Range, Goal Residential Refrigerator, 4-18 of F Residential  | 125 KW 60 KW 30 KW 100 KW 250 KW 100 AMP  Capacity 60 LB No tag/pilate found No tag/pilate found 19 CU No tag/pilate found No tag/pilate found No tag/pilate found 17 CU Capacity No tag/pilate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Water Treatment Plant Fire Station  Water Treatment Plant Library Town Hall Town Hall Town Hall Fire Station Police Station Police Station Police Station Police Station Police Station Police Station Fire Station Police Station Police Station Police Station DPW Building - New  Building Water Treatment Plant Water Treatment Plant Fire Station Police Station Fire Station Pow Water Treatment Plant Water Treatment Plant Water Treatment Plant Water Treatment Plant  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen Location Oetail Water treatment Water treatment Location Detail Location Detail   | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Cummins Onan  Manufacturer Wasscomat Bosch Labconco  No tagipitate found Whiripool Bosch Whiripool Broan Frigdaire General Electric General Electric General Electric General Electric General Electric Holpoint Frigdaire  Manufacturer Allen Bradley Allen Bradley Allen Bradley   | C125806-1821273 No tapipitate found 30.06X-186122796B 880402333-8 GGKD-5866440 C250N6 LTGCA1000-39U/28404G  Model W655 SHE2AR75UC/23 303002  No tapipitate found M8F1968FEZ02 SHE2AR76UC/22 WMH53520CS-7 88E No tapipitate found JGBS079EA77W GTS160THAIRBB GHE29GSNSS HTH17C61Z2RWW CTF21250RW  Model 2711P-RP9D 2711P-RP9D   | D 180242145 No tag plate found L808950390 886759 886759 A040587785 SOF7 220883 L80859438  Serial No tag plate found FD981203975 180963808  K84605387 FD971201880 TR71730230 No tag plate found HL821316 HL821316 HL821316 SERSEN SE | 2018 1993 2004 2018 Detaplate Yr 2018 2018 2018 2018 2018 2018 2018 2018   | Barcode         | Cty         |
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| 55 56 57 58 60 61 E10 EQU Index 1 2 2 3 4 4 5 6 6 7 7 8 9 10 11 12 13 16 16 16 17 16 17 16 17 16 17 17 17 17 17 17 17 17 17 17 17 17 17                                 | 1234555 1234370 1234470 1234470 1234470 1234470 1234470 1234571 1234571 1234525 1234622 1234624 1234624 1234624 1234624 1234632 1234632 1234632 1234632 1234631 1234271 1234671  | D5092 E1027 E1027 E1027 E1027 E1028 E1093 E1094   | Generator Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Laboratory Exhaust Hood Delbrillator AEED Laboratory Exhaust Hood Delbrillator AEED Commercial Commercial Microwave Commercial Fordingerator, 2-Door Reach-In Residential Microwave Residential Microwave Residential Refrigerator, 2-Door Reach-In Residential Refrigerator, 4-18 CF                     | 125 KW 60 KW 30 KW 100 KW 250 KW 100 AMP  Capacity 60 LB No tag/pilate found No tag/pilate found 19 CU No tag/pilate found No tag/pilate found No tag/pilate found 17 CU Capacity No tag/pilate found  | Water Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Teatment Plant Fire Station  Building Fire Station Water Treatment Plant Fire Station Water Treatment Plant Usbrary Town Hall Town Hall Water Treatment Plant Fire Station Folice Station Folice Station Folice Station Fire Station Folice Station Folice Station Folice Station Fire Station DOW Building - New  Building Water Treatment Plant Water Treatment Plant Water Treatment Plant  Building Fire Station Library Water Treatment Plant  | Booster station Site Utility closet Electrical room Site Water treatment Generator room  Location Detail Kitchen Kitch | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Cummins Onan  Manufacturer Wasscomat Bosch Labconco  No tagipitate found Whiripool Bosch Whiripool Broan Frigdaire General Electric General Electric General Electric General Electric General Electric Holpoint Frigdaire  Manufacturer Allen Bradley Allen Bradley Allen Bradley   | C125806-1821273 No tapipitate found 30.06X-186122796B 880402333-8 GGKD-5866440 C250N6 LTGCA1000-39U/28404G  Model W655 SHE2AR75UC/23 303002  No tapipitate found M8F1968FEZ02 SHE2AR76UC/22 WMH53520CS-7 88E No tapipitate found JGBS079EA77W GTS160THAIRBB GHE29GSNSS HTH17C61Z2RWW CTF21250RW  Model 2711P-RP9D 2711P-RP9D   | D 180242145 No tag plate found L808950390 886759 886759 A040587785 SOF7 220883 L80859438  Serial No tag plate found FD981203975 180963808  K84605387 FD971201880 TR71730230 No tag plate found HL821316 HL821316 HL821316 SERSEN SE | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018 2018 201   | Barcode         | City        |
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| 55 56 57 58 60 61 E10 EQU Index 1 2 2 3 4 4 5 6 6 7 7 8 9 10 11 12 13 16 16 16 17 16 17 16 17 16 17 17 17 17 17 17 17 17 17 17 17 17 17                                 | 1234555 1234370 1234470 1234470 1234470 1234470 1234470 1234470 123471 123471 10 1234225 1234682 1234682 1234683 1234683 1234683 1234683 1234683 1234683 1234681 1234274 1234274 1234271 1234511 1234171 128888888888888888888888888888888888  | D5092 E1016 E1027 E1028 E1003 E1003 E1003 E1003 E1004 | Generator Generator Generator Generator Generator Generator Generator Generator Transfer Switch  Component Component Component Commercial Laundry Dishwasher Laboratory Exhaust Hood Dethirlistor (AED) Commercial Food Warmer Commercial Food Warmer Commercial Redignator, 2-Door Reach-in Residential Sidnwasher Residential Microwave Commercial Redignator, 2-Door Reach-in Residential Microwave Residential Range, General Residential Microwave Residential Range, Cale Too Residential Range, General Residential Range Residential  | 125 KW 60 KW 30 KW 100 KW 250 KW 100 AMP  Capacity 60 LB No tag/pilate found No tag/pilate found 19 CU No tag/pilate found No tag/pilate found No tag/pilate found 17 CU Capacity No tag/pilate found  | Weter Treatment Plant Library Fire Station Police Station Water Pump Station - North Water Treatment Plant Fire Station  Building Fire Station  Water Treatment Plant Fire Station  Water Treatment Plant  Water Treatment Plant  Library Town Hall Water Treatment Plant  Fire Station  Police Station Police Station Police Station DPW Building - New  Building Water Treatment Plant  Water Treatment Plant  Building Fire Station  Library Water Treatment Plant  Building Fire Station  Library Water Treatment Plant  Water Treatment Plant  Building Fire Station  Library Water Treatment Plant  Water Treatment Plant  Water Treatment Plant  Fire Station  Library Water Treatment Plant  | Booster station Site Utility closet Electrical room Site Water treatment Generator room Location Detail Kitchen Kitche | Cummins Generac Onan Generac Cummins Cummins Cummins Cummins Cummins Onan  Manufacturer Wasscomat Bosch Labconco  No tagipitate found Whiripool Bosch Whiripool Broan Frigdaire General Electric General Electric General Electric General Electric General Electric Holpoint Frigdaire  Manufacturer Allen Bradley Allen Bradley Allen Bradley   | C125806-1821273 No tapipitate found 30.06X-186122796B 880402333-8 GGKD-5866440 C250N6 LTGCA1000-39U/28404G  Model W655 SHE2AR75UC/23 303002  No tapipitate found M8F1968FEZ02 SHE2AR76UC/22 WMH53520CS-7 88E No tapipitate found JGBS079EA77W GTS160THAIRBB GHE29GSNSS HTH17C61Z2RWW CTF21250RW  Model 2711P-RP9D 2711P-RP9D   | D 180242145 No tag plate found L808950390 886759 886759 A040587785 SOF7 220883 L80859438  Serial No tag plate found FD981203975 180963808  K84605387 FD971201880 TR71730230 No tag plate found HL821316 HL821316 HL821316 SERSEN 180962814 Serial Serial Serial Se23614 66404582   | 2018  1993 2004 2018  Dataplate Yr  2018 2018 2018 2018 2018 2018 2018 201   | Barcode         | City        |