

DEFINITIVE SUBDIVISION PLAN OF LAND

AT
57 PERKINS ROW
TOPSFIELD, MASSACHUSETTS
(ASSESSOR'S MAP 58, LOT 25)

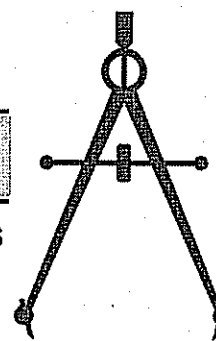
DEFINITIVE SUBDIVISION
PLAN OF LAND
IN
TOPSFIELD, MASSACHUSETTS

PREPARED FOR
NEW MEADOWS DEVELOPMENT, LLC
DATE: JUNE 16, 2015
SCALE: 1"=40'

ZONING DISTRICT: INNER RESIDENTIAL AND
AGRICULTURAL (IRA)

The
Morin-Cameron
GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 BOSTON STREET - U.S. ROUTE 1, TOPSFIELD, MASSACHUSETTS 01963
P: 978-887-8586, F: 978-887-3480, W: WWW.MORINCAMERON.COM



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

MASSACHUSETTS REGISTERED PROFESSIONAL DATE

I, _____ CLERK OF THE TOWN OF
TOPSFIELD, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
WAS RECEIVED ON _____ AND RECORDED AT
THIS OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NET FOLLOWING
SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE TOWN CLERK

APPROVED ON _____, SUBJECT TO
COVENANTS AND CONDITIONS EXECUTED BY
_____, AND RECORDED IN THE ESSEX
COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT,
BOOK No. _____, PAGE No. _____

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW REQUIRED

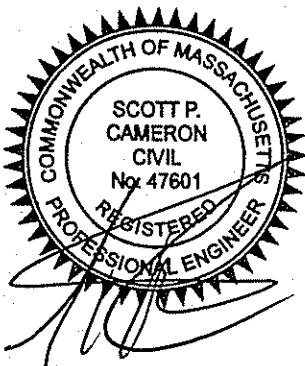
DATE OF APPLICATION: JUNE 16, 2015

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

TOPSFIELD PLANNING BOARD



COVER SHEET

DRAWING NO.

1 OF 10

PROJ. #3274
DRAWING: 3274 MAIN

FOR REGISTRY USE ONLY

SCHEDULE OF PLAN SET DRAWINGS:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 LOTTING PLAN
- 4 SITE PLAN
- 5 ROAD PLAN & PROFILE
- 6 ROAD LAYOUT & CROSS SECTIONS
- 7 CONSTRUCTION DETAILS
- 8 CONSTRUCTION DETAILS
- 9 CONSTRUCTION DETAILS
- 10 SOIL TEST LOGS

ABBREVIATIONS

APPROX	APPROXIMATE
APR	APRON
BIT	BITUMINOUS
BVW	BORDERING VEGETATED WETLAND
CB	CATCH BASIN
CCB	CAPE COD BERM
CONC	CONCRETE
CP	CENTER POINT
DBL	DOUBLE
DI	DUCTILE IRON
DIA	DIAMETER
DMH	DRAIN MANHOLE
DOC	DOCUMENT
EP	EDGE OF PAVEMENT
ELEV	ELEVATION
EXIST	EXISTING
FA	FOOTPRINT AREA
FT	FEET
HDPE	HIGH DENSITY POLYETHYLENE
MIN	MINIMUM
MOD	MODULAR
N/F	NOW OR FORMERLY
NO	NUMBER
OHW	OVERHEAD WIRES
PROP	PROPOSED
REQ'D	REQUIRED
RET	RETAINING
SD	SITE DISTANCE
SF	SQUARE FEET
SGC	SLOPED GRANITE CURB
SQ	SQUARE
ST	STREET
TP	TEST PIT
TYP	TYPICAL
WF	WETLAND FLAG

LEGEND

CONTOURS	MAJOR
	MINOR
SPOT GRADES	
OVERHEAD ELECTRIC SERVICE	
UNDERGROUND ELECTRIC SERVICE	
STORM SEWER	
SANITARY SEWER	
WATER MAIN OR SERVICE	
CATCH BASIN	
DRAIN MANHOLE	
WATER GATE	
UTILITY POLE	
TREE	
CHAIN-LINK FENCE	
GUARDRAIL	
LIMIT OF WORK	
TREELINE	
WETLANDS	

SUBDIVISION WAIVERS REQUESTED:

	SECTION	REQUIRED	PROVIDED
1. PAVEMENT WIDTH	TABLE 1 & TEMPLATE	26 FT.	24 FT.
2. MODIFY TYPICAL CROSS SECTION	5.1.2		
3. PAVEMENT STRUCTURE	5.1.6	BIT. CONC.	PERMEABLE PAVERS
4. GRASS STRIP	5.5.1 & TEMPLATE	7-12 FT	VARIES
5. NO LIGHT POLES	5.10		
6. DRAINAGE PIPE	5.12.3.e	RCP	HDPE & DUCTILE IRON
7. SIDE SLOPES	TEMPLATE	4H:1V	3H:1V OR WALL
8. VERTICAL STOPPING SIGHT DISTANCE	TABLE 1	200 FT	155 FT
9. CUL-DE-SAC R.O.W. RADIUS-NO ISLAND	TABLE 1	65 FT	60 FT

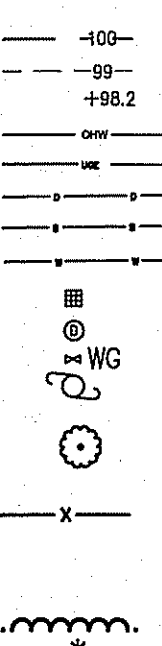
ANTICIPATED PERMITS:

1. FORM C: DEFINITIVE SUBDIVISION
2. WPA FORM 3A: NOTICE OF INTENT
3. TOPSFIELD STORMWATER AND EROSION CONTROL PERMIT
4. EPA NPDES PERMIT

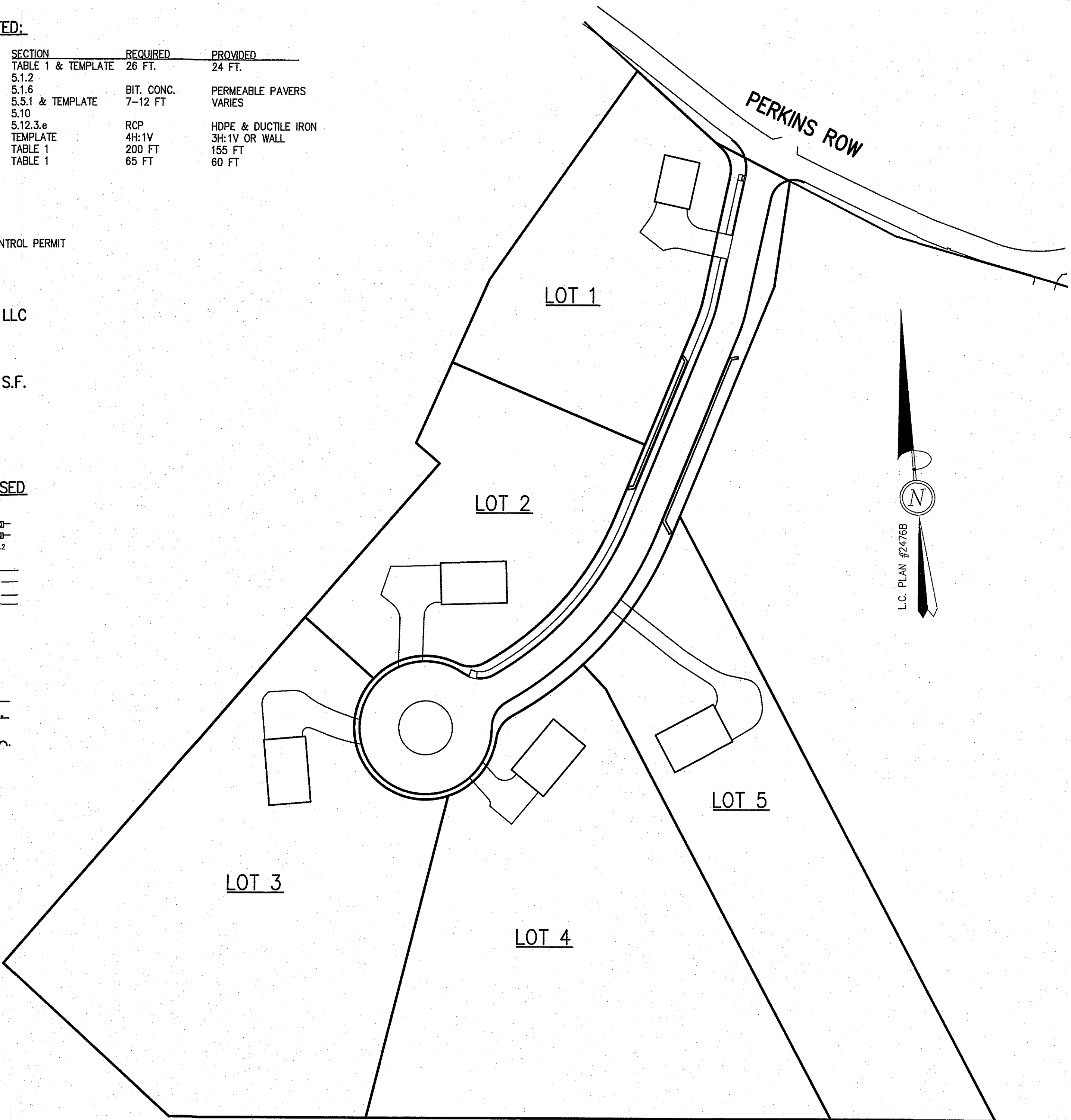
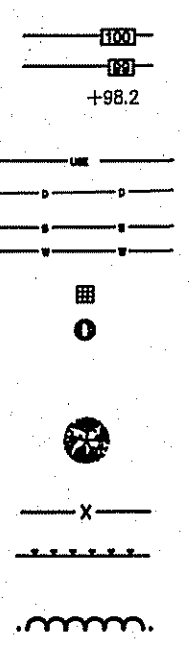
OWNER/APPLICANT:
NEW MEADOWS DEVELOPMENT, LLC
60 NORTH MAIN STREET
MIDDLETON, MA 01949

TOTAL PARCEL AREA 356,838± S.F.
8.2± ACRES

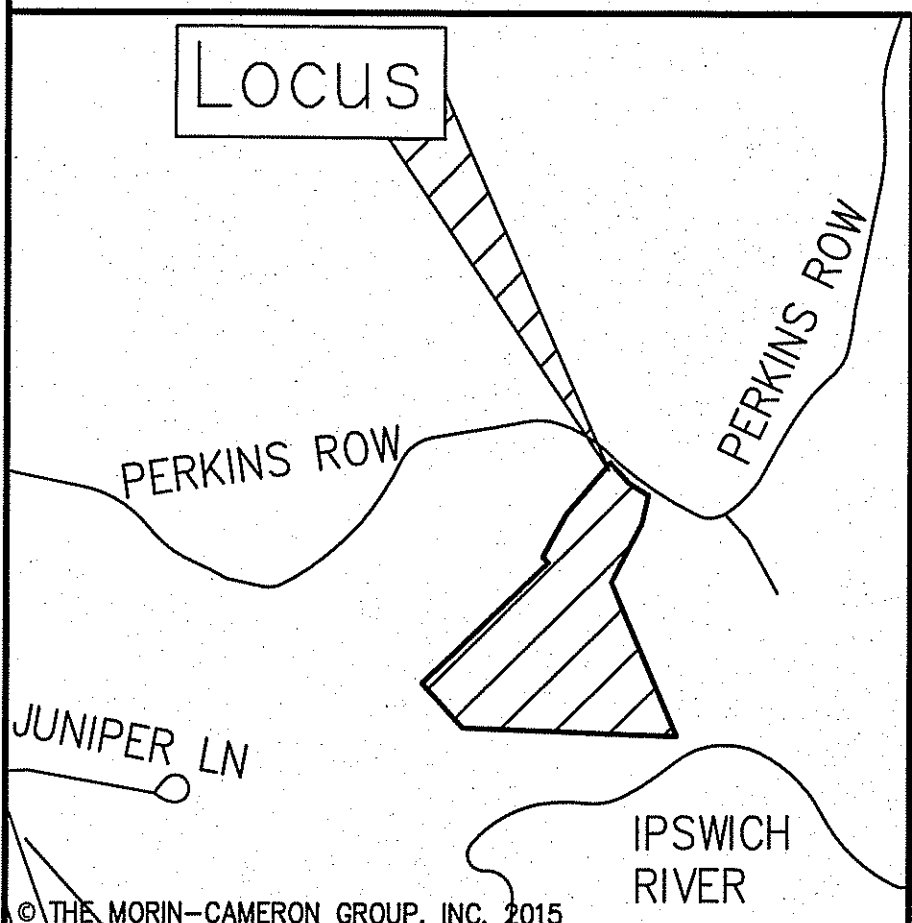
EXISTING



PROPOSED

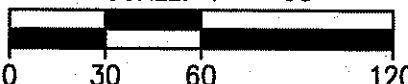


LOCUS MAP:
1" = 600'±



PLAN

SCALE: 1" = 60'



DEFINITIVE SUBDIVISION
PLAN OF LAND
IN
TOPSFIELD, MASSACHUSETTS

PREPARED FOR
NEW MEADOWS DEVELOPMENT, LLC

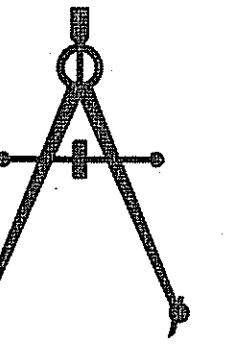
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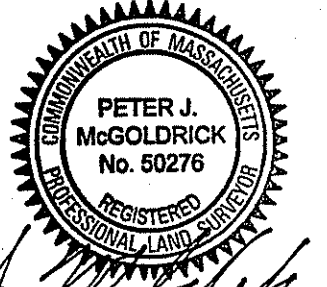
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COMMONWEALTH OF MASSACHUSETTS.



Peter J. McGoldrick 6/16/15
MASSACHUSETTS REGISTERED
PROFESSIONAL LAND SURVEYOR

I, _____, CLERK OF THE TOWN OF
TOPSFIELD, HEREBY CERTIFY THAT THE NOTICE OF
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DATE _____ TOWN CLERK _____

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_____ AND RECORDED IN THE ESSEX
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BOOK No. _____, PAGE No. _____

APPROVAL UNDER THE SUBDIVISION
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DATE OF APPLICATION: JUNE 16, 2015

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TOPSFIELD PLANNING BOARD

EXISTING
CONDITIONS PLAN

DRAWING NO.

2 OF 10

PROJ. #3274
DRAWING: 3274 MAIN

NOTES:

- ELEVATIONS BASED ON NAVD83.
- TOPOGRAPHIC FEATURES AND LOCATIONS ARE THE RESULT OF AN ACTUAL
FIELD SURVEY PERFORMED BY THE MORIN-CAMERON GROUP INC.
SEPTEMBER OF 2014.
- WETLAND RESOURCE AREAS WERE FLAGGED BY DEROSA ENVIRONMENTAL
CONSULTING LLC. AND LOCATED BY THE MORIN-CAMERON GROUP INC. SEE
ORDER OF RESOURCE AREA DELINEATION DEP FILE NO. 307-0720.
- MEAN ANNUAL HIGH WATER DETERMINED IN FIELD BY OBSERVATIONS OF
STAINING ON TREES AS DETERMINED BY DEROSA ENVIRONMENTAL
CONSULTING LLC.
- IPSWICH RIVER LOCATION TAKEN FROM THE TOWN OF TOPSFIELD GIS MAP.
- PROPERTY LINE INFORMATION COMPILED FROM VARIOUS PLANS AND DEEDS
AND SHOULD BE CONSIDERED APPROXIMATE ONLY.
- WETLAND RESOURCE AREAS WITHIN THE SURVEYED PREMISES INCLUDE THE
FOLLOWING:
 - LIMIT OF MEAN HIGH WATER
 - APPROXIMATE BANK FULL RIVER CHANNEL
 - WETLAND FLAG NUMBERS A3 TO A20, B5 TO B13 AND C1 TO C10
 - *ALL OTHER WETLAND RESOURCE AREAS DEPICTED OUTSIDE THE
PREMISES AND ILLUSTRATED HEREON ARE TO DETERMINE THE EXTENT OF
JURISDICTIONAL BUFFER ZONE IMPACTS ON THE SUBJECT PREMISE ONLY.
- THIS PLAN HAS BEEN PREPARED FOR OUR CLIENTS USE ONLY FOR THE
SPECIFIC PURPOSE OF A PRELIMINARY SUBDIVISION PLAN. IT IS NOT TO BE
USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER
USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON
GROUP, INC.

FOR REGISTRY USE ONLY

PLAN & DEED REFERENCES:

- LAND COURT CERTIFICATE NO. 87747.
- LAND COURT PLAN 21476-B.
- DOCUMENT NO. 107106

DIMENSIONS FOR INNER RESIDENTIAL &
AGRICULTURAL ZONING DISTRICT (IRA)

SETBACK	REQUIRED
AREA	40,000 SF
FRONTAGE	150 FT.
DEPTH	150 FT
WIDTH	120 FT. AT BUILDING LINE
FRONT	20 FT.
SIDE	15 FT.
REAR	40 FT.
HEIGHT/STORIES	35 FT./2.5
MAXIMUM BUILDING AREA	25%
MINIMUM OPEN SPACE	50%

ZONING TABLE NOTE:

- EACH LOT MUST FIT A 100' DIAMETER CIRCLE WHERE
ONLY 10% OF THE CIRCLE IS WITHIN THE BUFFER ZONE
TO A WETLAND RESOURCE AREA.
- THE MINIMUM BUILDABLE AREA IS 20,000 SF.

ABBREVIATIONS - LEGEND

BK	BOOK
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
GS	GAS GATE
LC	LAND COURT
LP	LIGHT POLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
PG	PAGE
SBDH	STONE BOUND DRILL HOLE
SMH	SEWER MANHOLE
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
UP	UTILITY POLE
WG	WATER GATE
OHW	OVERHEAD WIRE
—	FENCE LINE

N/F
ESTATE OF RITA CHITRO
43 PERKINS ROW
MAP 58 LOT 28
DOC. 359101

ASSESSOR'S MAP 58 LOT 25

356,838± SF
8.2 ± ACRES
(LOT B SHOWN ON LAND COURT PLAN NO. 21476-B)

100' BUFFER TO BVW

100 YEAR FEMA
FLOOD PLAIN
(ELEV. 36.5)

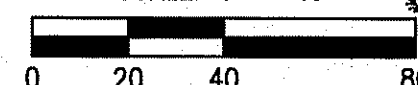
N/F
PAUL L. HARDING
31 PERKINS ROW
MAP 58 LOT 29
BK 30990 / PG 566

N/F
KEITH H. SHERWOOD
291 PERKINS ROW
MAP 58 LOT 30
BK 27984 / PG 602

N/F
MASS AUDUBON SOCIETY
87 PERKINS ROW
MAP 51 LOT 21
BK 6199 / PG 368

PLAN

SCALE: 1" = 40'



N 70°36'00" W 693.57'

TO IPSWICH
RIVER

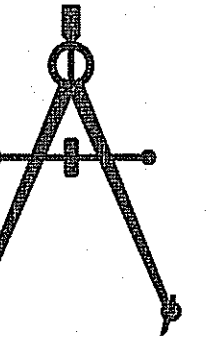
MEAN ANNUAL HIGH
WATER (INLAND BANK)
LIMIT OF BORDERING
VEGETATED WETLAND (BVW)

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PLAN OF LAND
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REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS. I FURTHER CERTIFY
THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH
250 CMR

[Signature] 6/16/15
MASSACHUSETTS REGISTERED
PROFESSIONAL LAND SURVEYOR DATE

I, _____ CLERK OF THE TOWN OF
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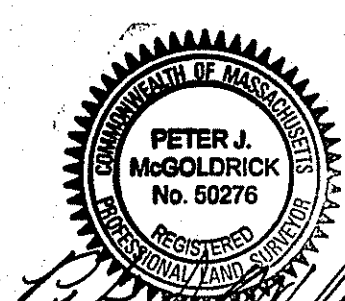
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TOPSFIELD PLANNING BOARD



[Signature]
6/16/15

PROJ. #3274
DRAWING: 3274 MAIN

LOTING PLAN

DRAWING NO.

3 OF 10

FOR REGISTRY USE ONLY

LEGEND

BK BOOK
CONC CONCRETE
EPLP ESCUTCHEON PIN IN LEAD PLUG
N/F NOW OR FORMERLY
NO NUMBER
PG PAGE
SF SQUARE FEET
SGC SLOPED GRANITE CURB
SF SQUARE FEET

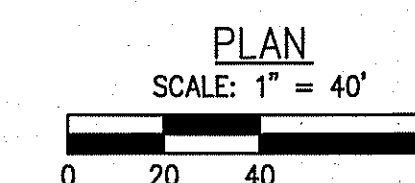
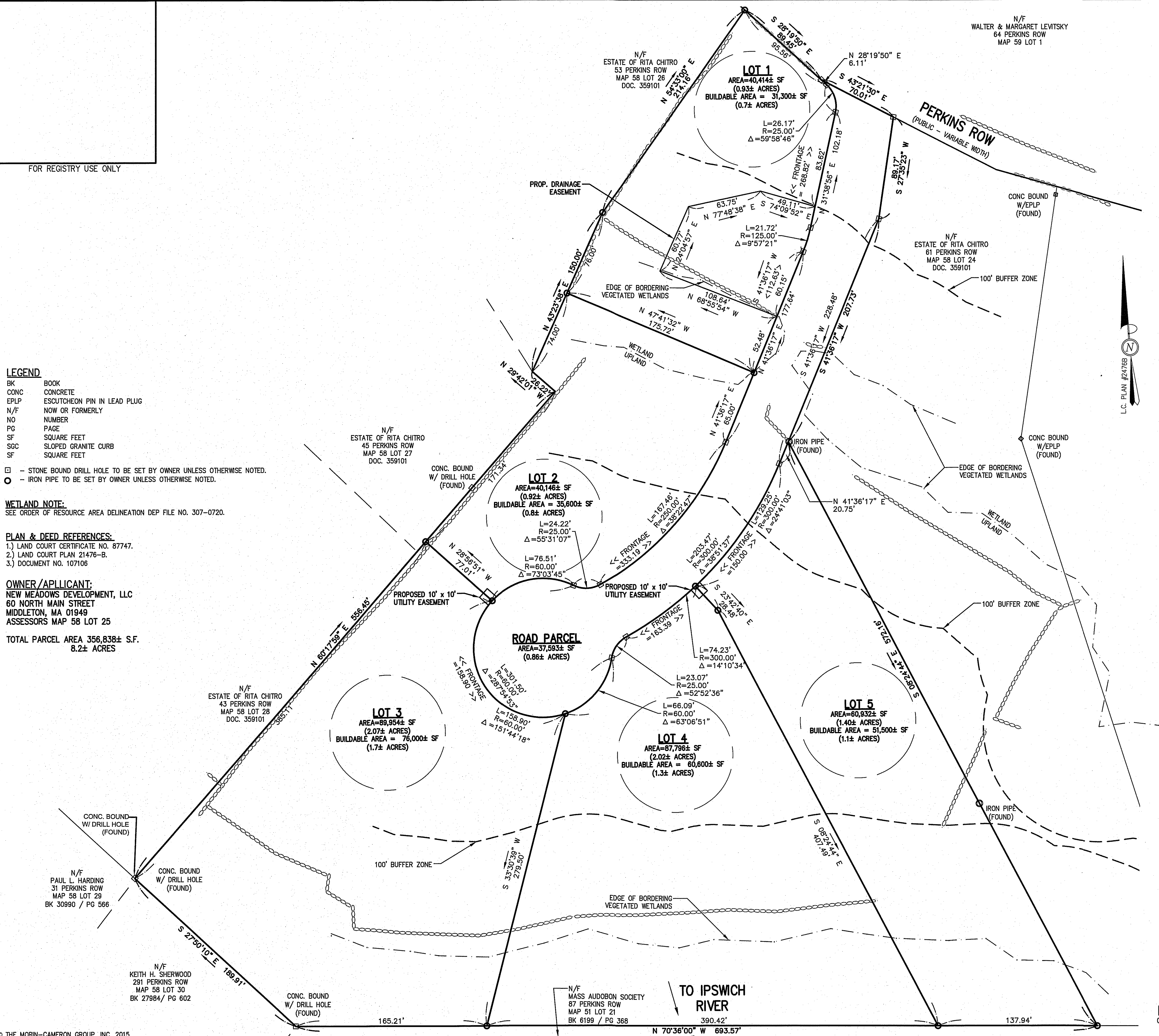
□ - STONE BOUND DRILL HOLE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.
○ - IRON PIPE TO BE SET BY OWNER UNLESS OTHERWISE NOTED.

WETLAND NOTE:
SEE ORDER OF RESOURCE AREA DELINEATION DEP FILE NO. 307-0720.

PLAN & DEED REFERENCES:
1.) LAND COURT CERTIFICATE NO. 87747.
2.) LAND COURT PLAN 21476-B.
3.) DOCUMENT NO. 107106

OWNER/APPLICANT:
NEW MEADOWS DEVELOPMENT, LLC
60 NORTH MAIN STREET
MIDDLETON, MA 01949
ASSESSORS MAP 58 LOT 25

TOTAL PARCEL AREA 356,838± S.F.
8.2± ACRES



EROSION AND SEDIMENTATION CONTROL:

WIDELY ACCEPTED PRACTICES FOR REDUCING EROSION AND SEDIMENTATION WILL BE EMPLOYED IN THE DEVELOPMENT OF THIS SITE. REFER TO THE CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN FOR THE PROJECT.

1. THE DEVELOPMENT OF THE SITE HAS BEEN PLANNED TO MATCH EXISTING TOPOGRAPHY AND GROUND COVER. EXISTING DRAINAGE PATTERNS OF THE SITE HAVE BEEN MAINTAINED TO THE EXTENT PRACTICABLE.
2. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.
3. NATURAL WETLANDS WILL BE PRESERVED AND PROTECTED, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT POSSIBLE.
4. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED LAND TO THE EXTENT FEASIBLE.
5. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.
6. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO, FILTER FABRIC SILT FENCES, SEEDING AND MULCHING, SEEDING FILTER STRIPS AND SILT SACKS IN CATCH BASINS (EXISTING AND NEWLY INSTALLED).
7. TOPSOIL STRIPPED FROM THE SITE WILL BE STOCKPILED FOR LOAMING AND SEEDING AT LATER CONSTRUCTION STAGES. THE STOCKPILES SHALL BE LOCATED SO AS TO ACT AS TEMPORARY DIVERSIONS, GENERALLY ON AN UPHILL SLOPE.
8. SITE DEVELOPMENT WILL NOT COMMENCE UNTIL ALL TEMPORARY EROSION CONTROL MEASURES ARE IN PLACE. THESE MEASURES SHALL BE EMPLOYED UNTIL FINAL PAVING AND ADEQUATE VEGETATION HAS BEEN ESTABLISHED.
9. THE OWNER IS RESPONSIBLE FOR CONDUCTING WEEKLY ENVIRONMENTAL MONITORING DURING CONSTRUCTION AND ANY CONDITIONS SET FORTH AS REQUIRED BY THE MIDDLETON CONSERVATION COMMISSION.
10. THE MIDDLETON CONSERVATION COMMISSION SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO INSPECT EROSION CONTROLS TO BE IMPLEMENTED DURING CONSTRUCTION.
11. THE CONSTRUCTION PHASE MUST COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PROTOCOLS. AN EPA NOTICE OF INTENT SHALL BE FILLED OUT AT LEAST 2 WEEKS PRIOR TO THE START OF CONSTRUCTION.

SITE PLAN NOTES:

1. PROPOSED GRADING ON THE LOTS SHOULD BE CONSIDERED APPROXIMATE AND SUBJECT TO CHANGE BASED ON THE FINAL DWELLING BUILDING PLANS AND SEPTIC SYSTEM DESIGN ASSOCIATED WITH SINGLE-FAMILY HOME DEVELOPMENT.
2. ROOF DRYWELLS SHALL BE ADJUSTED BY THE LOT DEVELOPERS BASED ON THE FINAL DWELLING DESIGN.
3. SUBDRAINS SHALL BE INSTALLED WITHIN CUT AREAS AT THE LOCATIONS SHOWN. REFER TO ROADWAY PLAN AND PROFILE FOR PROPOSED UTILITIES INCLUDING WATER SYSTEM, STORM SEWER SYSTEM, CULVERTS AND UNDERGROUND ELECTRIC, TELEPHONE AND COMMUNICATION CONDUITS.

SEWAGE DISPOSAL NOTE:

1. APPROXIMATE LOCATION AND SIZE OF ON-SITE SEWAGE DISPOSAL SYSTEMS BASED ON A DESIGN FLOW RATE OF 110 GALLONS PER DAY PER BEDROOM FOR 4 BEDROOMS.

STORM DRAIN NOTES:

1. STORMWATER CONVEYANCE PIPES SHALL BE HDPE (ADS N-12) PIPE UNLESS NOTED OTHERWISE.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
3. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
4. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
5. ROOF DRAINS SHALL BE DIRECTED TO THE INFILTRATING DRYWELLS. (COORDINATE ROOF DRAIN LOCATIONS WITH THE DWELLING ARCHITECT).
6. UNSUITABLE MATERIALS SHALL BE REMOVED FROM BENEATH THE INFILTRATION FACILITY AND REPLACED WITH CLEAN, GRANULAR FILL MEETING THE SPECIFICATIONS SET FORTH IN THE 310 CMR 15.00: TITLE V REGULATIONS.

APPROX. BIT. CONC. DRIVEWAY (TYP.)
PROP. UTILITY EASEMENT
APPROX. ON SITE WASTEWATER DISPOSAL SYSTEM (TYP.)
EROSION CONTROL MULCH SOCK OR EQUAL (TYP.)
PROP. PERMEABLE PAVEMENT ISLAND

PROP. DRAINAGE EASEMENT
PROP. CONSTRUCTED POCKET WETLAND

PROP. 1,300 SF OF WETLAND REPLICATION

PROP. SEDIMENT FOREBAY

PROP. MOD. BLOCK RET. WALL WITH GUARDRAIL AND 42" CHAIN LINK FENCE

PROP. 470 SF OF WETLAND ALTERATION AND 491 SF OF TEMPORARY ALTERATION TO BE REPLACED IN KIND

PROP. UNDERGROUND ELECTRIC, TELEPHONE AND CABLE CONDUITS

PROP. ROAD SUBDRAIN

APPROX. LIMIT OF CLEARING (TREELINE)
APPROX. DRYWELL (TYP.)

LIMIT OF BORDERING VEGETATED WETLAND (BVW)

200' RIVERFRONT AREA (3.3± ACRES WITHIN THE PARCEL BOUNDARY) (TOPSFIELD BY-LAW)

100' SETBACK TO INLAND BANK (TOPSFIELD BY-LAW)

100' BUFFER TO BVW

MEAN ANNUAL HIGH WATER (INLAND BANK)
LIMIT OF BORDERING VEGETATED WETLAND (BVW)

PLAN
SCALE: 1" = 40'
0 20 40 80

TO IPSWICH RIVER

DEFINITIVE SUBDIVISION PLAN OF LAND

IN
TOPSFIELD, MASSACHUSETTS

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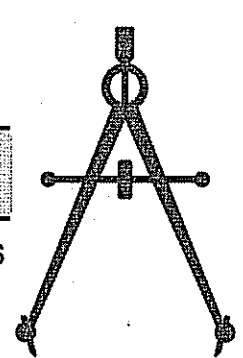
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MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER DATE

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DATE TOWN CLERK

APPROVED ON _____ SUBJECT TO COVENANTS AND CONDITIONS EXECUTED BY _____ AND RECORDED IN THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT, BOOK No. _____, PAGE No. _____

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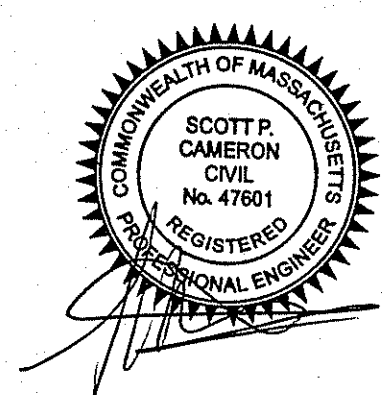
DATE OF ENDORSEMENT: _____

DIMENSIONS FOR INNER RESIDENTIAL & AGRICULTURAL ZONING DISTRICT (IRA)

SETBACK	REQUIRED
AREA	40,000 SF
FRONTAGE	150 FT.
DEPTH	150 FT
WIDTH	120 FT. AT BUILDING LINE
FRONT	20 FT.
SIDE	15 FT.
REAR	40 FT.
HEIGHT/STORIES	35 FT./2.5
MAXIMUM BUILDING AREA	25%
MINIMUM OPEN SPACE	50%

ZONING TABLE NOTE:

1. EACH LOT MUST FIT A 100' DIAMETER CIRCLE WHERE ONLY 10% OF THE CIRCLE IS WITHIN THE BUFFER ZONE TO A WETLAND RESOURCE AREA.
2. THE MINIMUM BUILDABLE AREA IS 20,000 SF.



SITE
PLAN

DRAWING NO.

4 OF 10

PROJ. #3274
DRAWING: 3274 MAIN

DEFINITIVE SUBDIVISION
PLAN OF LAND
IN
TOPSFIELD, MASSACHUSETTS

PREPARED FOR
NEW MEADOWS DEVELOPMENT, LLC

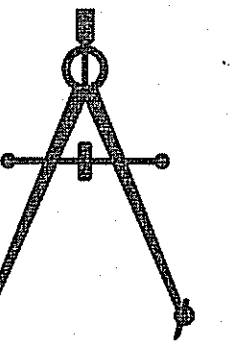
DATE: JUNE 16, 2015

SCALE: 1"=40'

ZONING DISTRICT: INNER RESIDENTIAL AND
AGRICULTURAL (IRA)

The
Morin-Cameron
GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 BOSTON STREET • U.S. ROUTE 1, TOPSFIELD, MASSACHUSETTS 01963
P: 978-887-8586, F: 978-887-3480, W: WWW.MORINCAMERON.COM



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

MASSACHUSETTS REGISTERED
PROFESSIONAL CIVIL ENGINEER

DATE

I, _____ CLERK OF THE TOWN OF
TOPSFIELD, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
WAS RECEIVED ON _____ AND RECORDED AT
THIS OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY DAYS NET FOLLOWING
SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

APPROVED ON _____ SUBJECT TO
COVENANTS AND CONDITIONS EXECUTED BY
_____, AND RECORDED IN THE ESSEX
COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT,
BOOK No. _____, PAGE No. _____

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW REQUIRED

DATE OF APPLICATION: JUNE 16, 2015

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

TOPSFIELD PLANNING BOARD



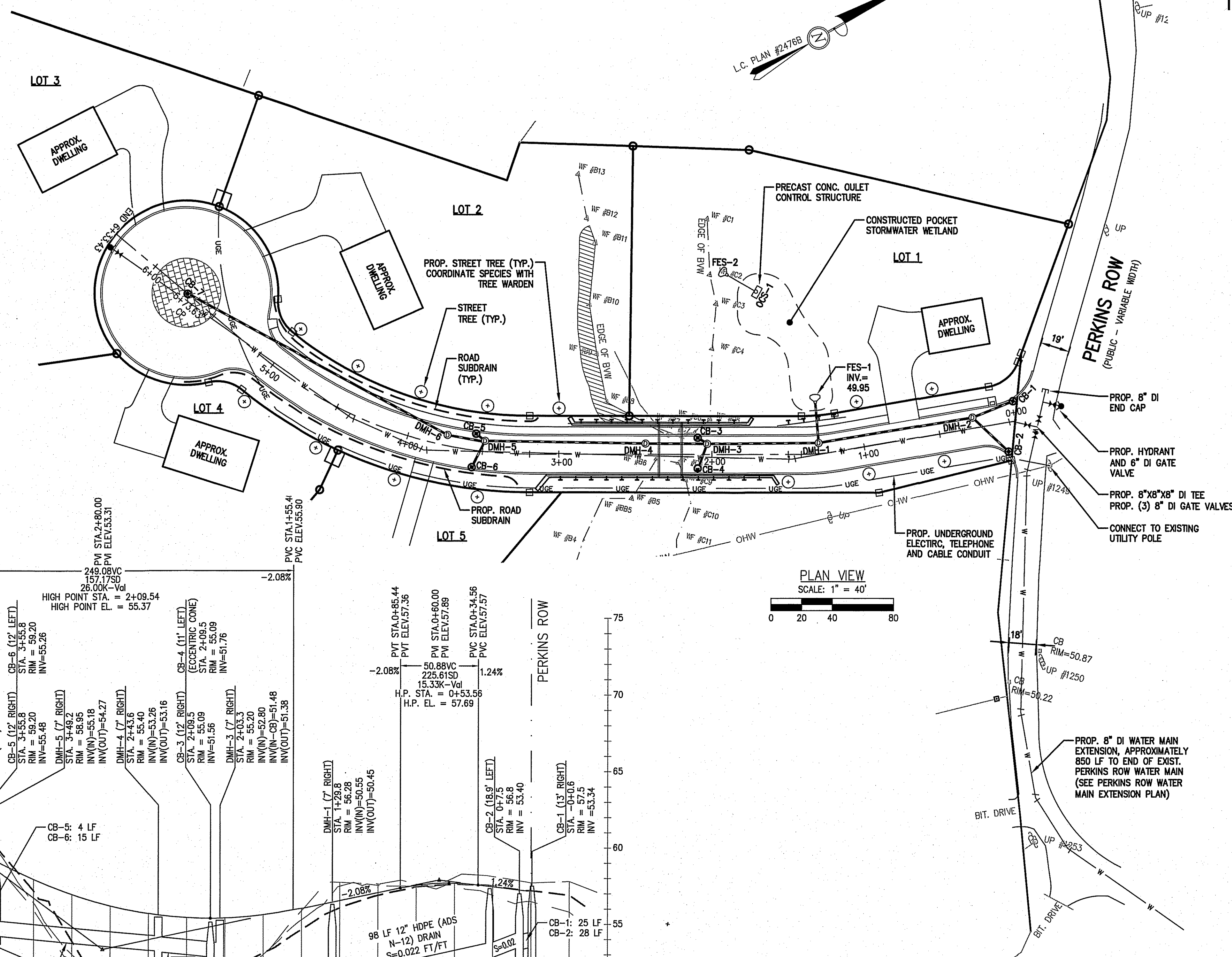
ROAD PLAN
& PROFILE

DRAWING NO.

5 OF 10

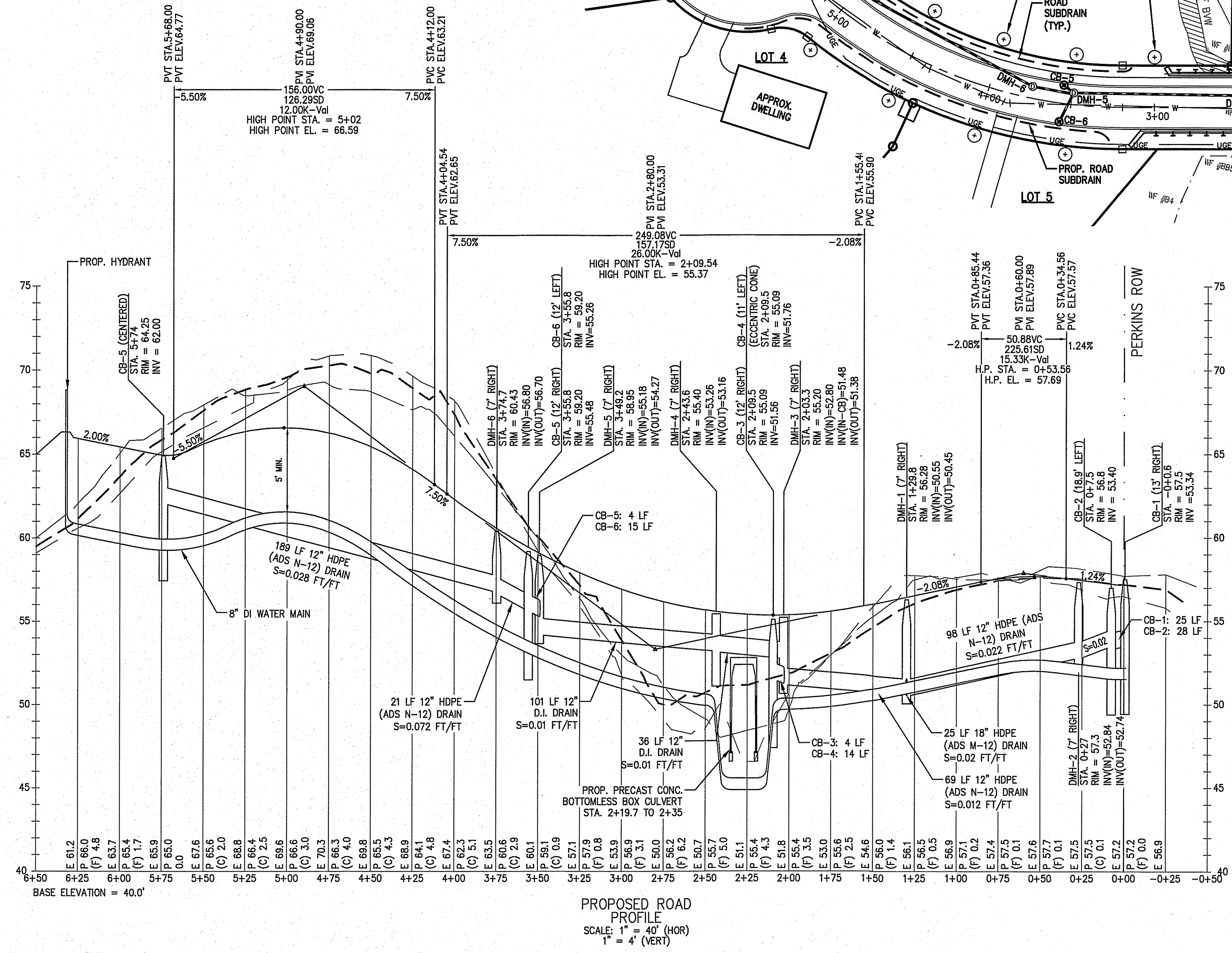
PROJ. #3274
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FOR REGISTRY USE ONLY



PLAN VIEW
SCALE: 1" = 40'

- LEGEND
- PROPOSED DRAIN LINE
 - PROPOSED WATER LINE
 - PROPOSED UTILITY CONDUIT
 - PROPOSED ROADWAY SUBDRAIN
 - PROPOSED GUARDRAIL
 - PROPOSED TREE



DEFINITIVE SUBDIVISION
PLAN OF LAND
IN
TOPSFIELD, MASSACHUSETTS

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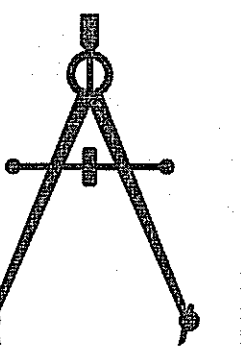
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LAND SURVEYORS | LAND USE PLANNERS
447 BOSTON STREET - U.S. ROUTE 1, TOPSFIELD, MASSACHUSETTS 01863
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PROFESSIONAL CIVIL ENGINEER

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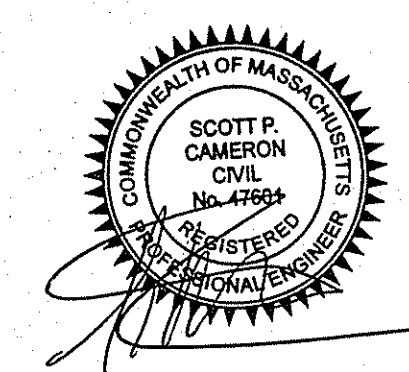
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TOPSFIELD PLANNING BOARD



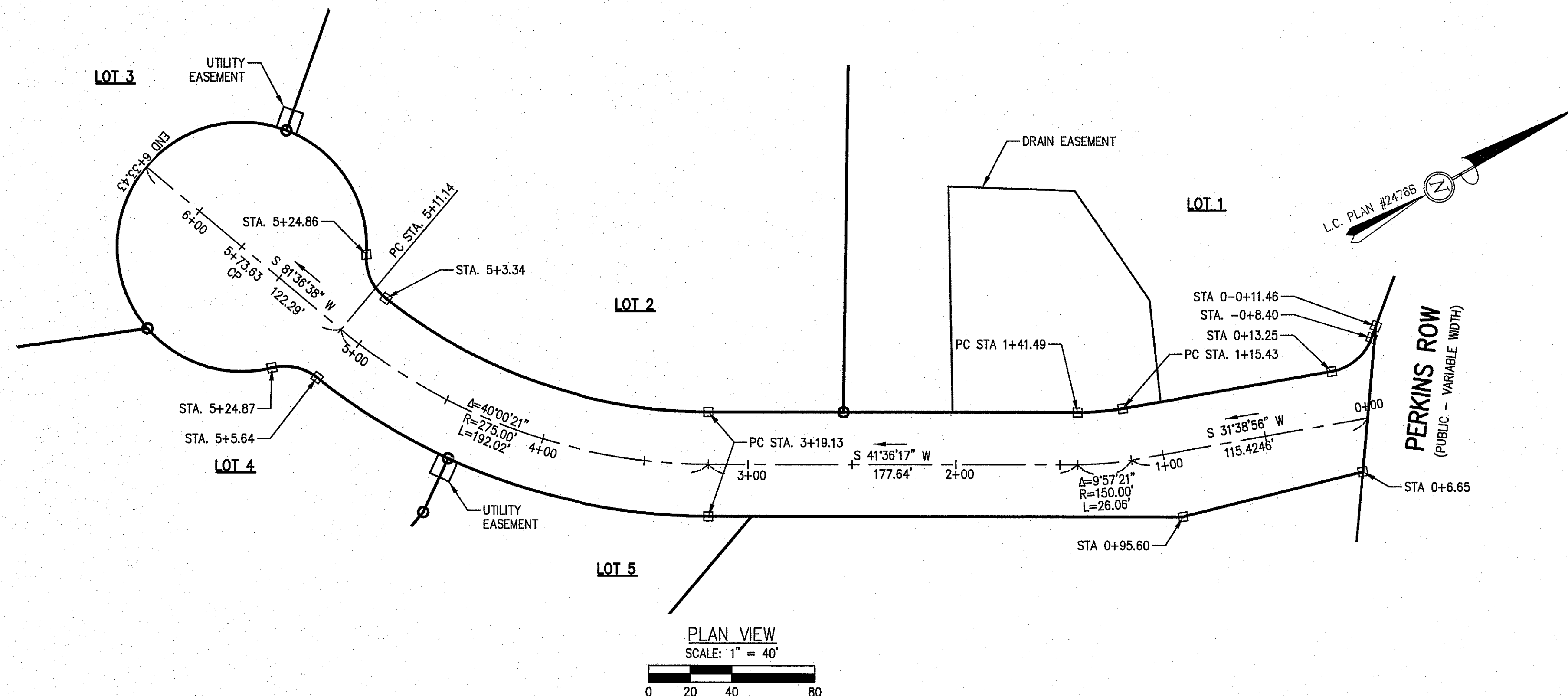
ROAD LAYOUT &
CROSS SECTIONS

DRAWING NO.

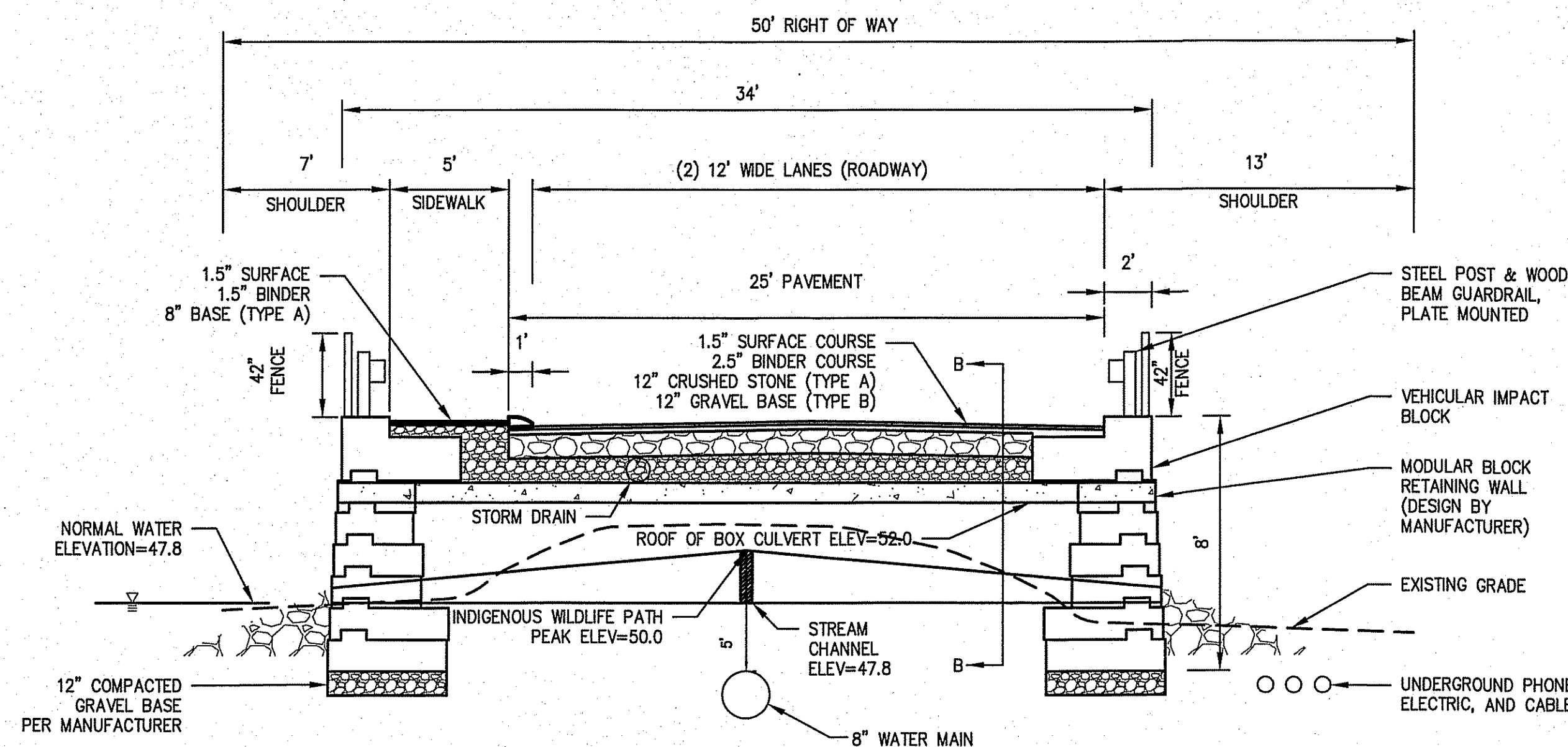
6 OF 10

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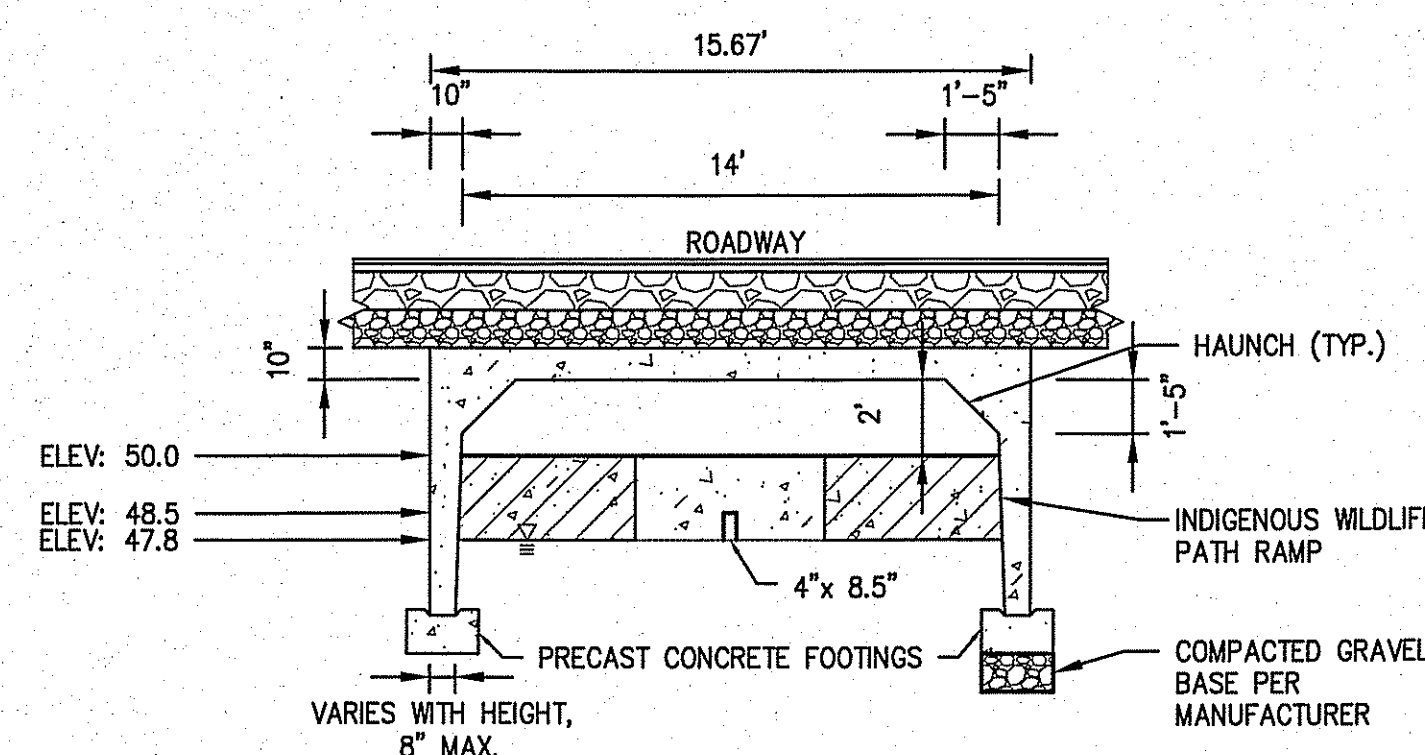
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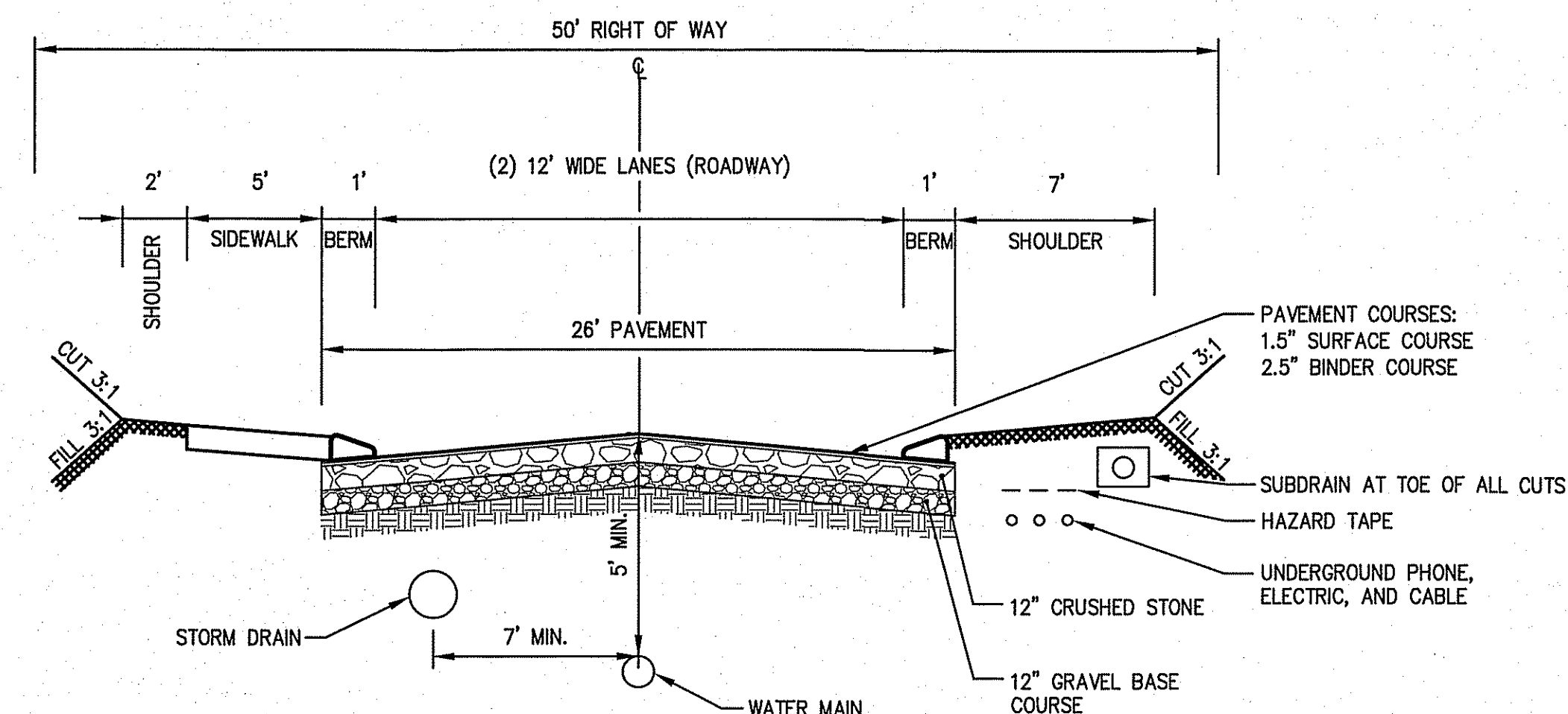
PLAN VIEW
SCALE: 1" = 40'



ROAD CROSS SECTION AT WETLAND CROSSING (A-A)
SCALE: 1"=5' (HORIZONTAL & VERTICAL)



CULVERT CROSS SECTION (B-B)
SCALE: 1"=5' (HORIZONTAL & VERTICAL)



ROAD CROSS SECTION NOTES:

- ALL SLOPED SURFACES ARE TO BE GRADED AT A MINIMUM SLOPE OF $\frac{1}{4}$ " VERTICALLY PER 1' HORIZONTALLY.
- ANY UNSUITABLE MATERIAL SUCH AS PEAT, LOAM, ORGANIC MATERIAL, SILT OR CLAY, AT THE DISCRETION OF THE TOPSFIELD DPW SUPERINTENDENT, SHALL BE REMOVED AND REPLACED WITH ORDINARY BORROW CONFORMING TO MASSDOT STANDARD SPECIFICATION M1.03.0.
- ALL FILL MATERIALS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM DESIGNATION 1557-70, METHOD D.

TYPICAL ROAD CROSS SECTION
(NOT TO SCALE)

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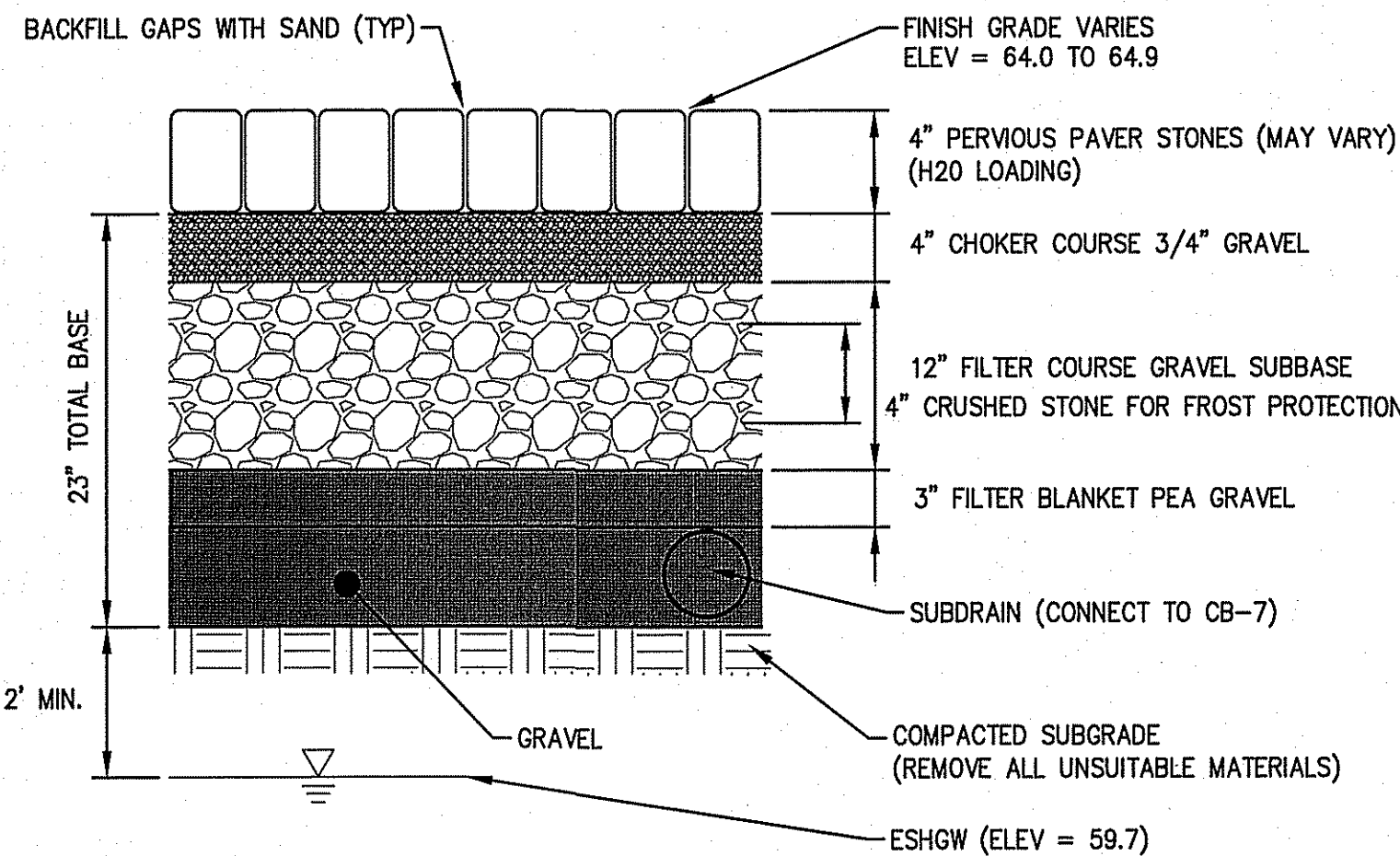
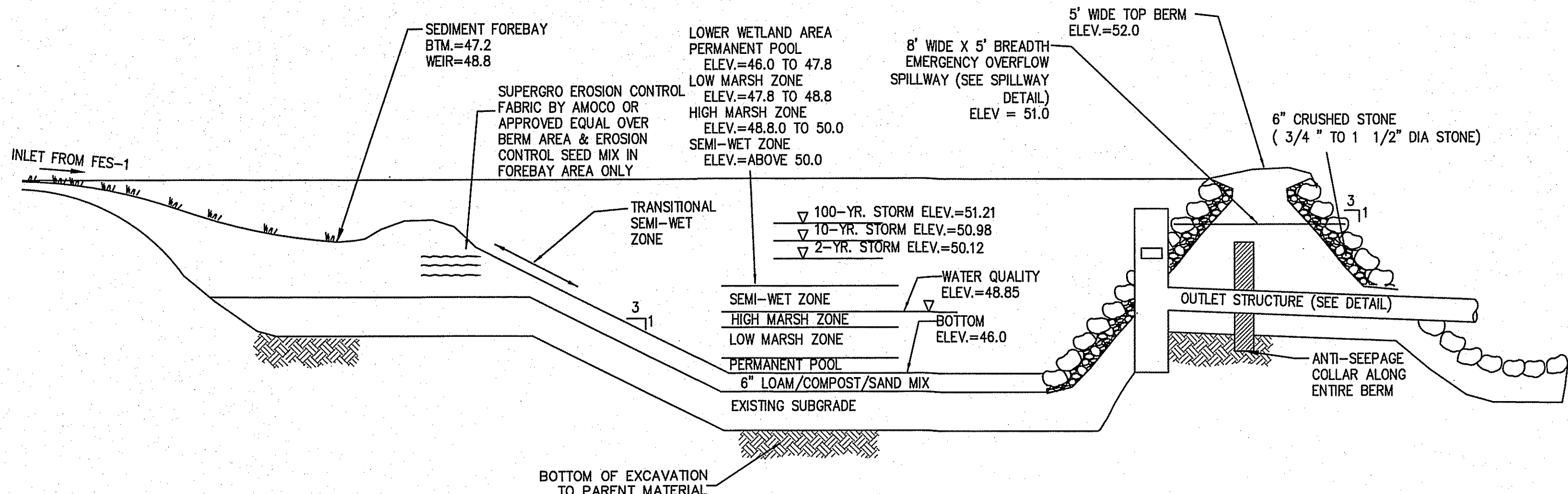
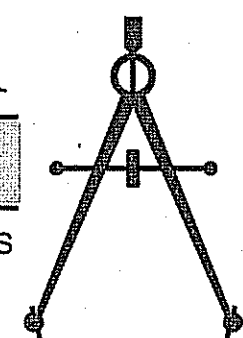
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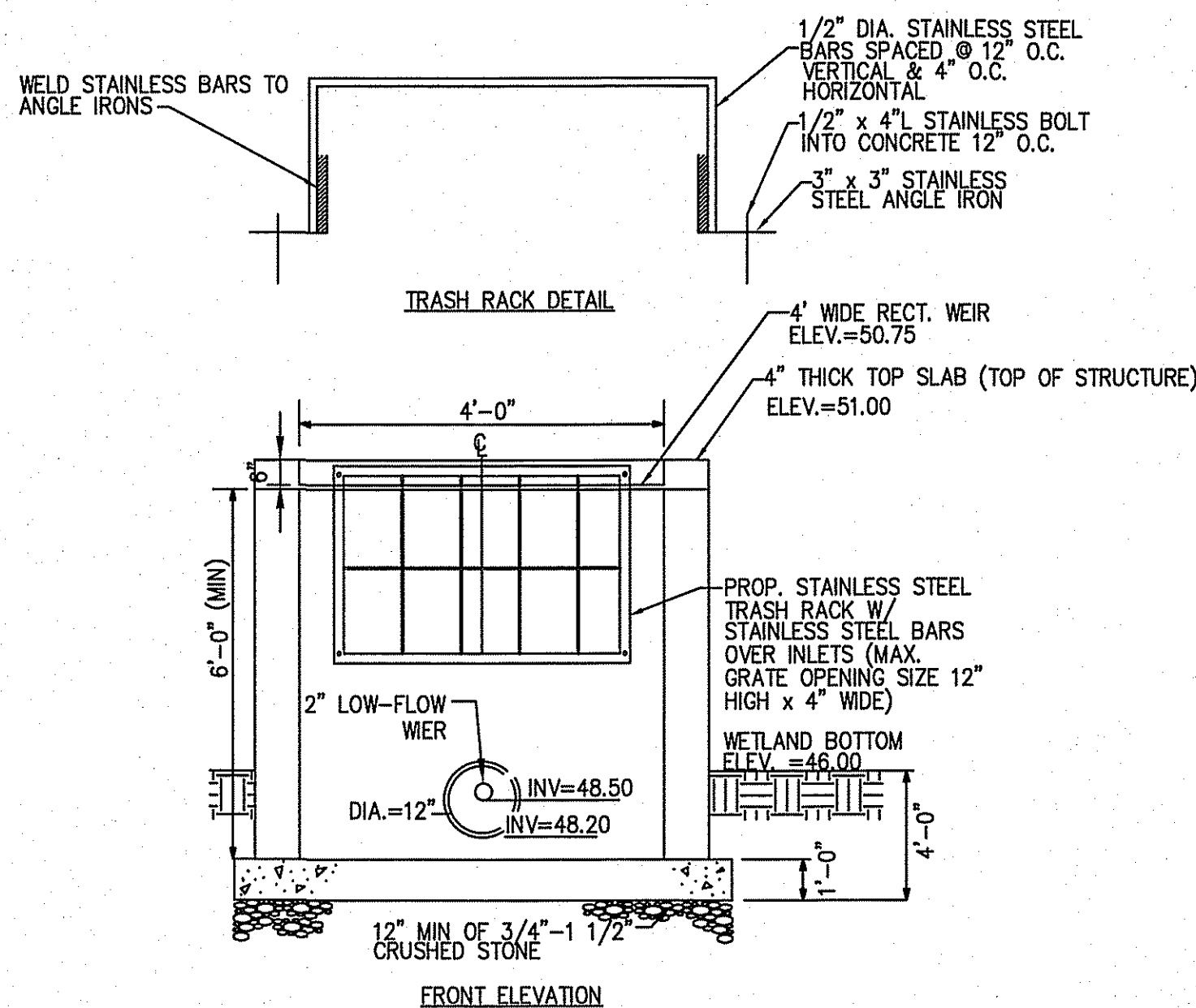
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NOTES:

1. ADJUST SECTION PER
MANUFACTURER'S SPECIFICATIONS
2. MEETS MASS. DEP STORMWATER
HANDBOOK VOL. 2, CH. 2, PG. 119
3. SEE PLAN FOR GRADING

HEAVY DUTY PAVER SECTION
(NOT TO SCALE)



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MASSACHUSETTS REGISTERED
PROFESSIONAL CIVIL ENGINEER

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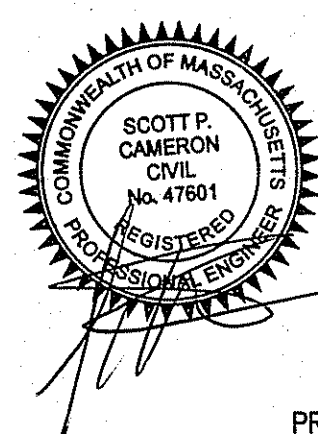
DATE OF APPLICATION: JUNE 16, 2015

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TOPSFIELD PLANNING BOARD



CONSTRUCTION
DETAILS

DRAWING NO.

9 OF 10

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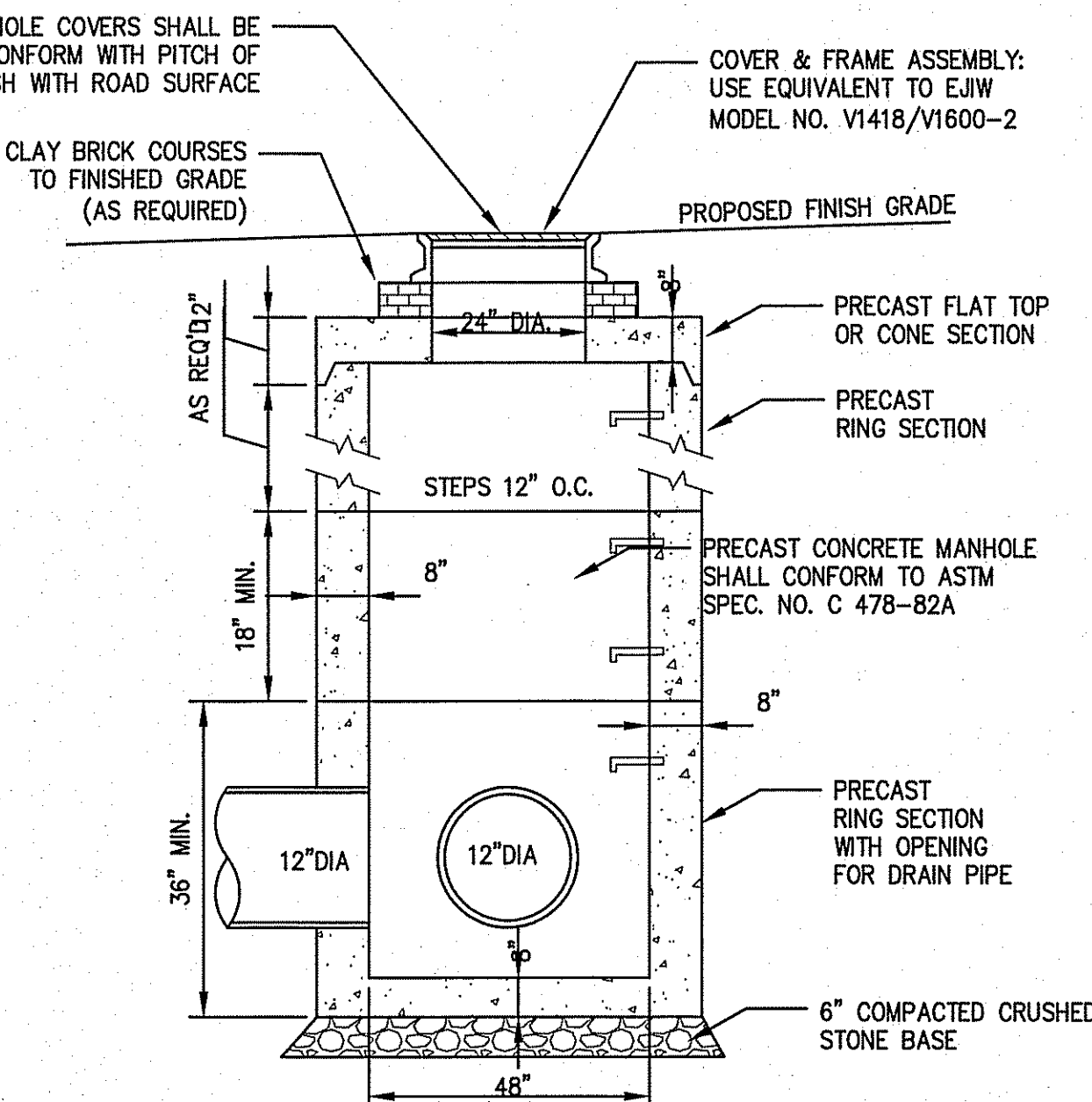
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CONSTRUCTED WETLAND NOTES:

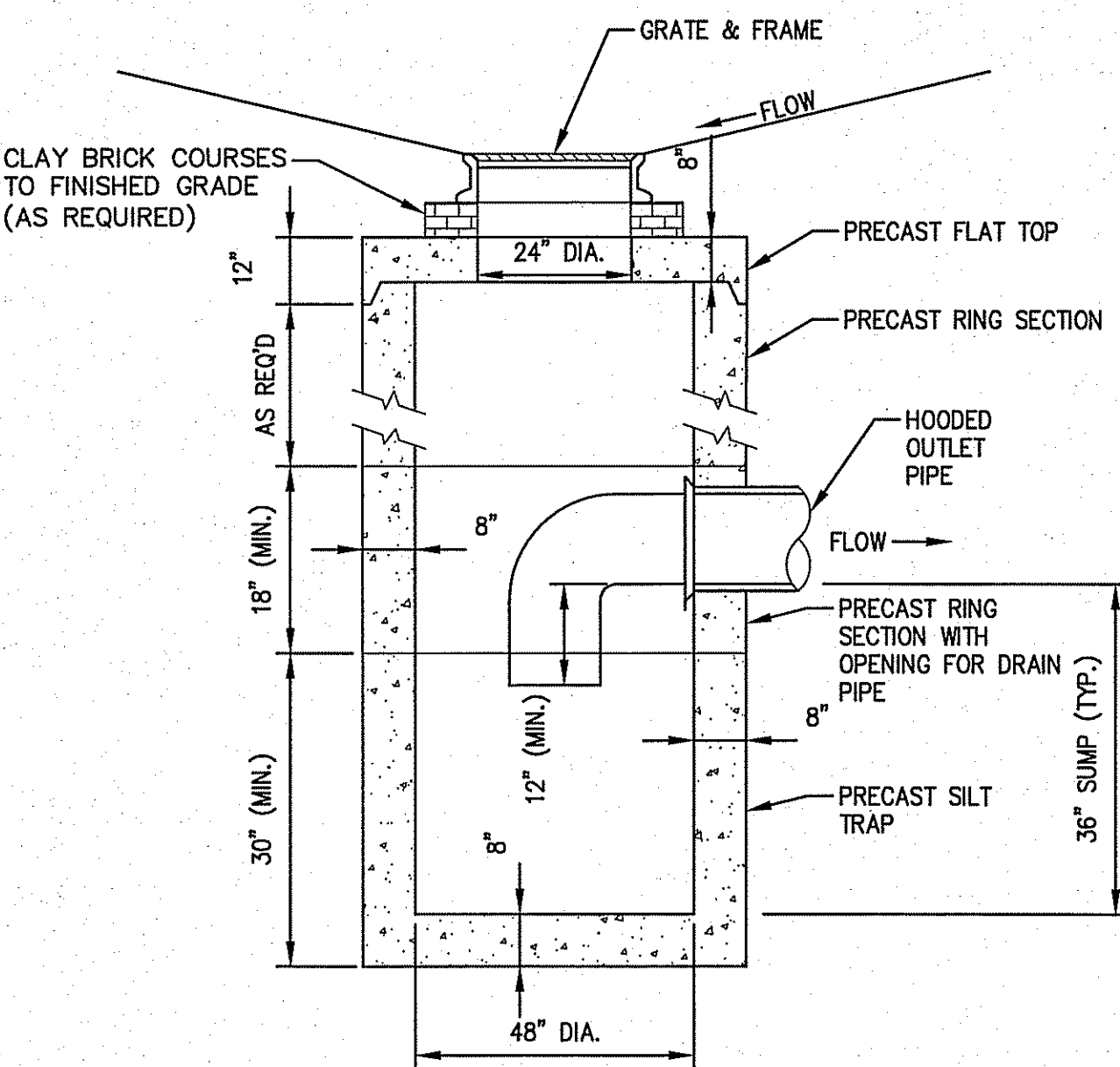
1. ENTIRE BASIN SHALL BE EXCAVATED TO THE NATIVE SOIL LAYER.
2. SEE PLANTING PLAN FOR PLANT LOCATIONS, QUANTITIES AND SPECIES AND LOAM SPECIFICATION.
3. SEE SITE PLAN FOR CONSTRUCTED WETLAND GRADING.
4. CONTRACTOR SHALL NOT DISCHARGE ANY CONSTRUCTION STORMWATERS TO CONSTRUCTED WETLAND. PROVIDE CONSTRUCTION SEDIMENT FOREBAY IN LOCATION OF PERMANENT FOREBAY WITH DISCHARGE TO WETLAND UPGRADE OF CONSTRUCTED WETLAND FOOTPRINT.
5. ALL AREAS WITHIN THE CONSTRUCTED WETLAND SHALL BE FULLY STABILIZED BEFORE BEING PLACED INTO SERVICE.
6. GRADING AND PLANTING OF THE CONSTRUCTED WETLAND SHALL BE OVERSEEN BY THE PROJECT WETLAND SCIENTIST AND DESIGN ENGINEER.
7. CONTRACTOR TO PRESERVE EXISTING TREES AND VEGETATION TO EXTENT PRACTICABLE. ANY TREES REMOVED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED WITH AN EQUIVALENT SPECIES OF TREE PER THE PROJECT WETLAND SCIENTIST.
8. SEED AREAS ABOVE WETLAND SYSTEM WITH EROSION CONTROL MIX. MAY REQUIRE ADDITIONAL SLOPE STABILIZATION WHILE VEGETATION BECOMES ESTABLISHED TO PREVENT EROSION.

CONSTRUCTED POCKET WETLAND
(NOT TO SCALE)

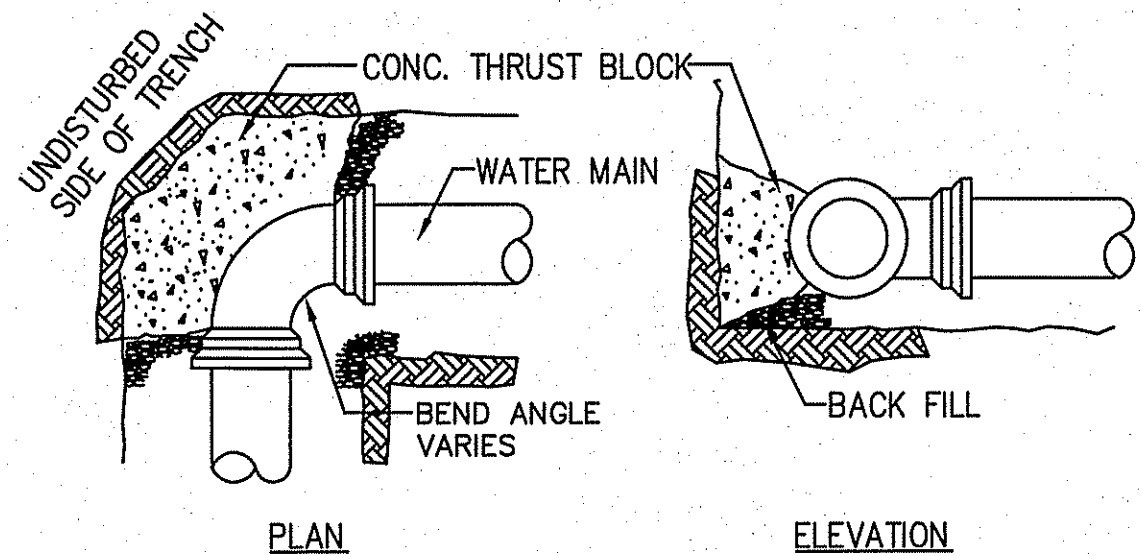
ALL DRAIN MANHOLE COVERS SHALL BE
INSTALLED TO CONFORM WITH PITCH OF
ROADWAY AND FLUSH WITH ROAD SURFACE



TYPICAL DRAIN MANHOLE
(NOT TO SCALE)



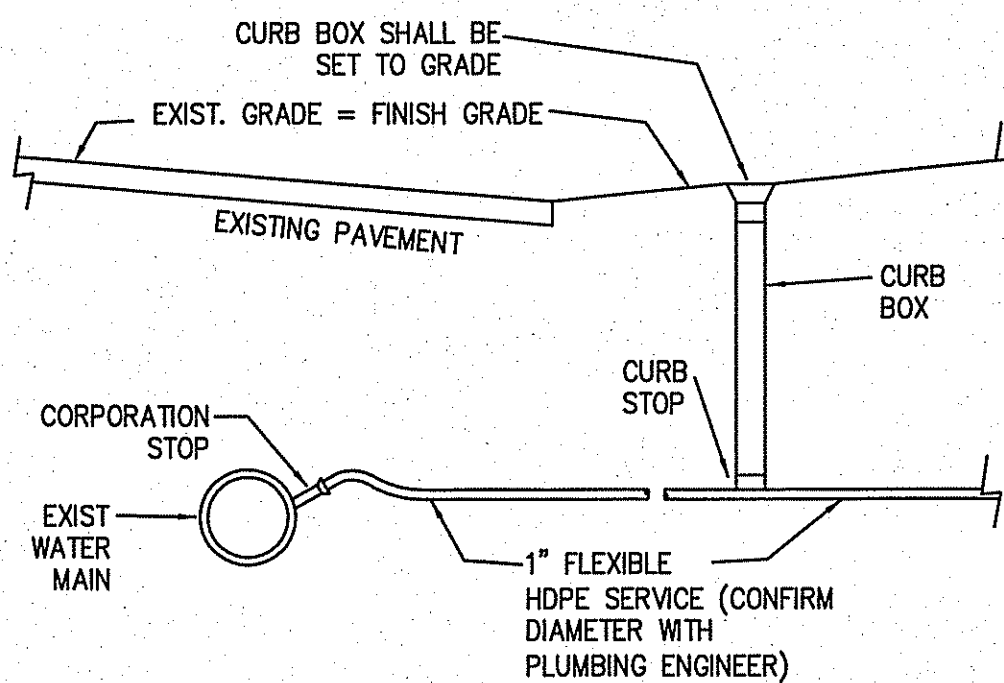
TYPICAL CATCH BASIN
(NOT TO SCALE)



NOTES:

1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE
RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT
THEY BEAR AGAINST UNDISTURBED EARTH.
3. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE
SHALL BE 3,000 P.S.I.
4. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.

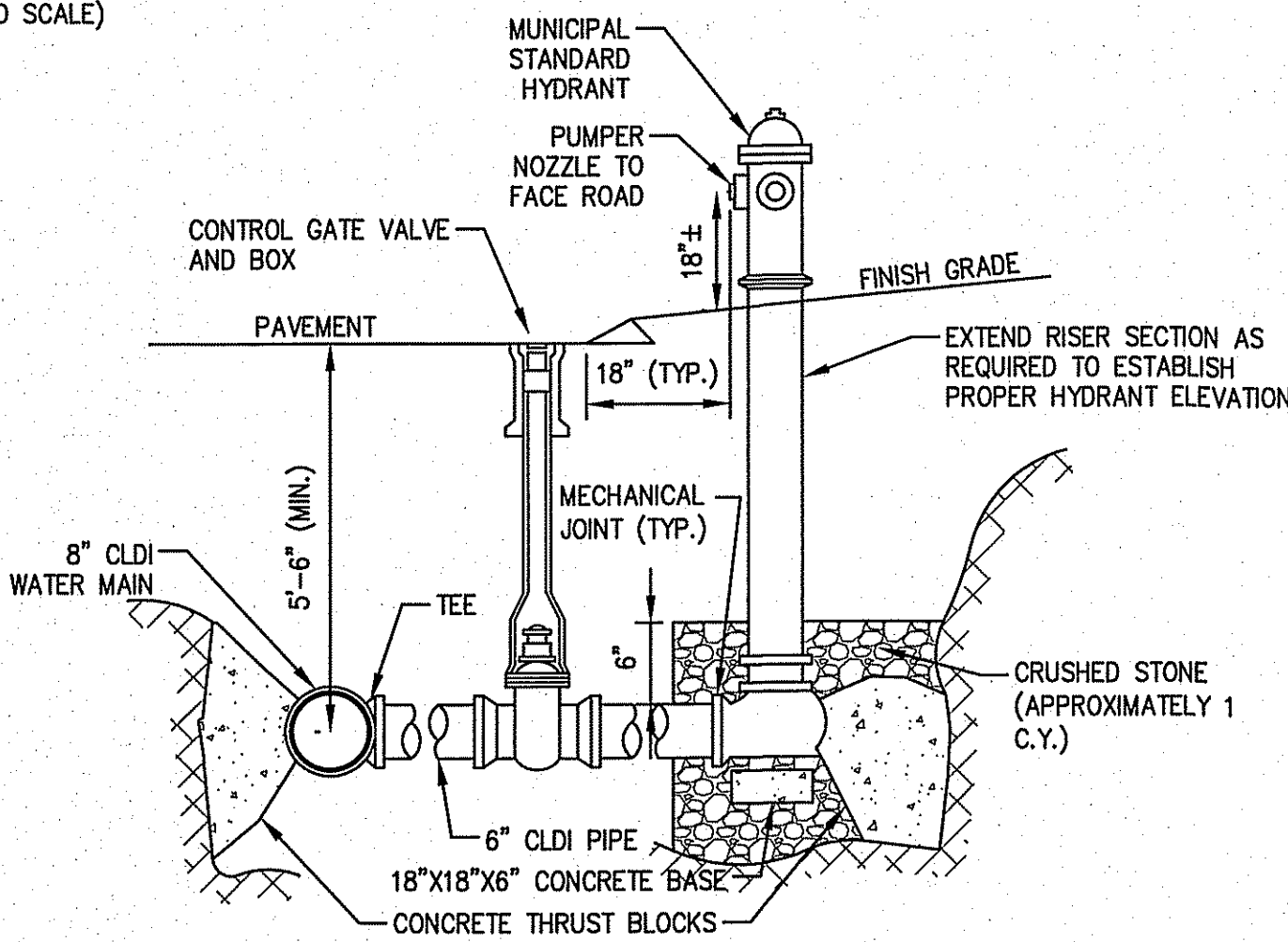
THRUST BLOCK DETAIL
(NOT TO SCALE)



NOTES:

1. TAP EXISTING WATER MAIN WITH NEW CORPORATION STOP AND INSTALL
NEW CURB STOP AND CURB BOX WITHIN GRASS SHOULDER IN R.O.W.
2. SAW CUT EXISTING PAVEMENT TO MINIMIZE REPAIRS. REPLACE ASPHALT
PAVEMENT TO MATCH EXISTING ELEVATIONS AND DEPTHS.

WATER SERVICE CORPORATION
(NOT TO SCALE)



HYDRANT DETAIL
(NOT TO SCALE)

