

Application Checklist and Procedures Checklist for Stormwater Management Permit

1. Requesting a waiver from the Stormwater Management Permit application requirements.

The applicant files 6 copies of a letter, together with supporting information and documentation, signed by the landowner or designated representative with the Town Clerk.

2. All waiver requests shall be acted upon by the Planning Board within 45 calendar days from the date of application and shall be in writing. Boards may request an extension of the review period. As per the bylaw, the Conservation Commission will have jurisdiction for waiver requests for projects located entirely within the town's wetland jurisdiction and the Planning Board will have jurisdiction for all other waiver requests. **Section 6 B of the SWEC Regulations**

3. Filing a Stormwater Management Permit Application

The applicant shall file with the Town Clerk, six (6) copies of a completed application package for a Stormwater Management Permit (SMP) and an electronic application in PDF format on a CD or DVD disc. The application package shall include:

- ☒ A completed Application Form with original signatures of all owners
- ☒ A list of abutters certified by the Assessor's Office including those opposite on any public or private way and abutters within 300 feet of the applicant's property line(s).
- ☒ Stormwater Management and Erosion Control Plan, stamped by a Professional Engineer licensed in Massachusetts and project description **which includes all information listed in Section 6 L of the SWEC Regulations.**
- ☒ Operation and Maintenance Plan which includes all information listed in **Section 6 M** of the SWEC Regulations.
- ☒ Payment of the application and review fees. The application fee equals \$100 plus .0030 x the total number of square feet of the proposed project. Example: \$100 + 43560 (1 acre) = \$100 + 43560 square feet x 0.0030 = \$130.68 application fee
- ☐ Inspection and Maintenance Agreement which includes all information listed in **Section 6 M** of SWEC Regulations
- ☐ Surety Bond. The Planning Board may require the applicant to post before the start of land disturbance or construction activity, a surety bond to ensure perpetual maintenance of stormwater and erosion controls.

APPLICATION FORM
STORMWATER AND EROSION CONTROL PERMIT

To: The Topsfield Planning Board, Town Hall, Topsfield, MA 01983

The undersigned hereby applies for a Stormwater and Erosion Control Permit and herewith submits six (6) copies of a completed application package for a Stormwater Management Permit (SMP) and an electronic application in PDF format on a CD or DVD disc for approval.

The applicant certifies to the truth of the following facts as part of his application.

1. Name of Applicant: Montana Development LLC

Address: 23 Aaron Drive Topsfield, MA 01983
Telephone Number: (978) 317-7724
E-mail Address: carolfoster@northshoreautoauction.com

2. Name of Engineer or Surveyor - Richard Williams, Williams & Sparages LLC

Address 189 North Main Street
Middleton, MA 01949
Telephone Number: (978) 539-8088
E-mail Address: rwilliams@wsengineers.com

3. Deed to property is dated 10-17-2013 and is recorded in Essex South District Registry,
Book 32894 Page 202

4. Location of Property for which permit is requested:

Address 97 Main Street Topsfield, MA 01983

Zoning District: C-R

5. Attach hereto a copy of the deed.
6. The exact names in which title to the property is held and the present addresses of persons named are: (If married, give spouse's name.)

Orlando Lopez & Elizabeth Lopez

7. A complete list of persons with their addresses known to have mortgages, attachments, encumbrances, or liens of any kind upon the property is as follows:

8. If the property is in the name of a trust, the complete and correct name of the trust, date of the trust declaration, book and page where it is recorded and names and addresses of all trustees are as follows:

9. If the property is in the name of a corporation, the complete and correct name of the corporation, the name and corporate capacity of all officers authorized to sign deeds and other instruments pertaining to real estate are as follows:

10. Description of the project for which a Stormwater and Erosion Control Permit is requested. Include total square footage of land to be altered/cleared.

The Proposal is to construct a four bedroom single family house on the lot. The total square footage of the land to be disturbed is 12,500 square feet.

Signature of Applicant _____

Date of Submission 02-08-2023

Town Clerk Signature _____

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QUITCLAIM DEED

I, Orlando Lopez, of 93 Main Street, Topsfield, Essex County, Massachusetts, hereinafter called "Grantor," for consideration paid of less than One Hundred (less than \$100.00) Dollars, hereby grant to Orlando Lopez and Elizabeth Lopez, as Trustees of The Orlando Lopez Trust u/a/t dated October 11, 2013, of 93 Main Street, Topsfield, Essex County, Massachusetts

with QUITCLAIM COVENANTS:

The land with buildings thereon, situated in Topsfield, Essex County, bounded and described as follows:

- WESTERLY by Main Street on two courses, forty-seven (47) feet and sixty-eight and 91/100 (68.91) feet respectively;
- NORTHERLY by land of Landergren and by land of Underhill, as shown on a plan hereinafter mentioned, two hundred twenty seven (227.00) feet;
- EASTERLY by land of Jordan as shown on said plan, seventy-three (73.00) feet;
- SOUTHERLY by other land of the grantor, seventy-five (75.00) feet as shown on said plan;
- SOUTHEASTERLY by other land of the grantor, seventy-eight and 11/100 (78.11) feet as shown on said plan; and
- SOUTHERLY by other land of the grantor, eighty-eight and 76/100 (88.76) feet as shown on said plan.

Said parcel contains 20,000 square feet of land, more or less, according to said plan.

Said premises are shown as Lot 1 on a plan entitled "Plan of Land in Topsfield, Owned by Harold Jordan" John W. Parsons Surveyor, dated September 16, 1965 and recorded with Essex South District Registry of Deeds in Book 5306, Page 291.

RETURN TO:
MacLean Holloway Doherty Arditt & Morse, P.C.
8 Essex Center Drive
Peabody, MA 01960

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Affected Property: 93 Main Street (Lot 1), Topsfield, MA 01983

Subject to restrictions of record, conditions, reservations and easements, and zoning ordinances, if any.


Meaning and intending to convey those premises described in a deed to the Grantor dated October 25, 2000, and recorded with said Registry of Deeds in Book 16651, Page 525.

Property address: 93 Main Street, Topsfield, MA 01983

[The Following Page Is the Signature Page]

RETURN TO:
MacLean Holloway Doherty Arditt & Morse, P.C.
8 Essex Center Drive
Peabody, MA 01960

WITNESS my hand and seal this 11th day of October, 2013.

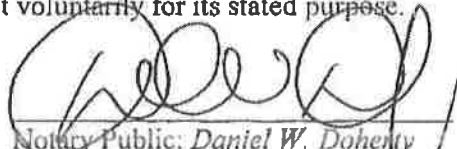


Orlando Lopez

COMMONWEALTH OF MASSACHUSETTS

Essex, ss.

On this 11th day of October, 2013, before me, the undersigned notary public, personally appeared Orlando Lopez, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document and acknowledged to me that he signed it voluntarily for its stated purpose.



Notary Public: Daniel W. Doherty
My Commission Expires: 05/15/20

RETURN TO:

MacLean Holloway Doherty Arditt & Morse, P.C.
8 Essex Center Drive
Peabody, MA 01960

Project Narrative
97 Main Street
Topsfield, Massachusetts

The subject property is located at 97 Main Street in Topsfield located within the Central Residential Zoning District. It is currently an undeveloped lot covered by trees and undergrowth with an intermittent stream on the northeasterly portion of the lot.

The proposal is to construct a four-bedroom single family house on the 20,000 square-foot lot. Coinciding with this proposal will be the construction of a paved driveway, regrading a portion of the lot, a proposed septic system and subsurface stormwater management area to capture roof runoff.

The work is proposed outside of the 100-foot buffer zone that is jurisdictional under the local wetland bylaw only. Approximately 12,500 square-feet of the lot will be disturbed. A 12-inch mulch sock is proposed around the north and easterly portion of the lot to capture any sediment from leaving the site during construction.

The dwelling is proposed to be serviced by connecting to the existing water main on Main Street. Sewage discharge will be to private septic system on the left side of the house. The septic system proposed is a 52-foot long by 25.5-foot wide Presby Enviro-Septic Wastewater Treatment system consisting of six 50-foot leach lines on the northerly portion of the lot.

Due to the increase of impervious area, additional stormwater runoff will be created. A subsurface infiltration system is proposed to capture the proposed roof runoff constructed behind the house. The proposed system consists of two rows of three units each, six total, of Cultec R-330XLHD units placed on a 6-inch bed of stone that extends 1-foot around the footprint of the Cultec units with 6-inches above the units. (A detail is provided on the plan)

We have analyzed the 2-year, 10-year, and 100-year storm events. The proposed stormwater management system is effective for mitigating the total peak flow rates and total volumes from the limit of the watershed analysis for these storm events. As shown below, there is a reduction in off-site flow for the respective storms.

Total Peak Runoff Tables

Table 1.0: Total Peak Rate of Runoff Comparison Location 3L			
Description	2 Year	10 Year	100 Year
Existing Peak Rate of Runoff (cfs)	0.16	0.86	2.38
Proposed Peak Rate of Runoff (cfs)	0.16	0.84	2.33
Difference	-0.00	-0.02	-0.05

Table 1.1: Total Peak Volume of Runoff Comparison Location 3L			
Description	2 Year	10 Year	100 Year
Existing Peak Volume of Runoff (cf)	935	3,097	7,822
Proposed Peak Volume of Runoff (cf)	908	2,970	7,463
Difference	-27	-127	-359

Long Term Stormwater Best Management Practices
Operation & Maintenance Plan

For the
Site Development

At
97 Main Street
Topsfield, Massachusetts

The following operation and maintenance plan has been provided to give guidance for the maintenance of the proposed stormwater management system after the development of the site and associated infrastructure. The success of the Stormwater Management Plan depends on the proper implementation, operation and maintenance of several management components. The following procedures shall be implemented to ensure success of the Stormwater Management Plan.

1. The contractor shall comply with the details of construction of the site as shown on the approved plans.
2. The stormwater management system shall be inspected and maintained as indicated below.
3. Effective erosion control measures during and after construction shall be maintained until a stable turf is established on all altered areas.
4. A Stormwater Management Maintenance Log is included at the end of this plan.

Basic Information:

Stormwater Management System Owner:

Montana Development LLC
23 Aaron Drive
Topsfield, MA 01983
P: (978) 317-7724

Topsfield Department of Public Works:

279 Boston Street
Topsfield, MA 01983
P: (978) 887-1542

Topsfield Planning Board:

8 West Common Street
Topsfield, MA 01983
P: (978) 887-1504

| Long Term Operation & Maintenance Plan

This Operation & Maintenance Plan is prepared to comply with provisions set forth in the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Management Standards.

Structural Best Management Practices (BMPs) require periodic maintenance to ensure proper function and efficiency in pollutant removal from stormwater discharges that would otherwise reach wetland resource areas untreated. Maintenance schedules found below are as recommended in MassDEP's Massachusetts Stormwater Handbook and/or as recommended in the manufacturer's specifications.

The following BMP provides groundwater recharge

Subsurface Infiltration Chambers

Chamber maintenance is not generally required. However, recharge systems are prone to failure due to clogging. Regulating the sediment and petroleum product input into the proposed recharge system is the priority maintenance activity. Sediments and any oil spillage should be trapped and removed before they reach the chambers. Any upstream devices connected to the infiltration system (catch basins, deep sump manholes, proprietary devices) shall be inspected and cleaned at least twice per year to prevent sediments and debris from entering and clogging the recharge system.

Sediments must also be removed whenever the depth of deposits is greater than or equal to 3".

The contractor shall verify that the required washed crushed stone and geotechnical fabric materials are clean and free of sediments and petroleum residue prior to, during and after chamber system installation. Inspections of the chamber system shall be made by after every major storm for the first few months after construction to verify that proper functioning has been achieved. During the initial inspection the water level should be measured and recorded in a permanent log over several days to check the drainage duration and verify that sediments are not accumulating. If ponded water is present after 24 hours or an accumulation of sediment or debris is noted within the chambers the owner or designated property manager and engineer shall determine the cause for this condition and devise an action plan to improve system functionality.

Once the chamber system has been verified to perform as designed, interior chamber conditions shall be inspected at least twice per year. Post construction inspections (to be conducted through inspection ports) shall consist of documenting interior and stone bed conditions, measured water depth and presence of sediment. Should inspection indicate that the system is clogged (ponding water present after 24 hours and/or sediment accumulations) replacement or major repair actions may be required. Should the system require replacement or major repair actions the owner or designated property manager and engineer shall determine the cause for this condition and devise an action plan

The inspection and maintenance of the subsurface infiltration system shall belong to the owner or designated property manager.





TOWN OF TOPSFIELD
BOARD OF ASSESSORS
8 West Common Street
Topsfield, Massachusetts 01983
Telephone: (978) 887-1514 Fax: (978) 887-1502



This form must be completed and Assessor fee of \$20.00 must be paid before release of the certified abutters list.

Submission Date Monday, February 06, 2023 Issue Date Tuesday, February 07, 2023

Department requiring list: ?

300 Ft. ☒ 100 Ft. ☐ (Conservation Only) ☐ Direct Abutters

Person/Party requesting list: Kaitlin Boland

Address: 189 North Main St Ste 101 Middleton, MA 01949

Phone #: 978.539.8088 Email Address kboland@wsengineers.com Misc: _____


Property Owner: Orlando Lopez

Assessor's Map(s) 32 Lot(s) 135 Location 97 Main Street, Topsfield, MA

Assessor's Fee Paid: ☒ Yes ☐ No

The Assessors' Office requires ten (10) working days to certify an Abutters List. This list is valid for sixty days only from date of issue.

Certified By:



Topsfield Assessors

Certification of Parties in Interest

The Board of Assessors of the Town of Topsfield do hereby certify, in accordance with the provisions of Section 10 and 11 of Chapter 808 of the Acts of 1975, that the following named persons, firms and corporations are parties in interest, as in said Section 11 defined, with respect to the premises herein above described.



300 foot Abutters List Report

Topsfield, MA
February 07, 2023



Subject Property:

Parcel Number: 32-135
CAMA Number: 32-135
Property Address: 97 MAIN ST

Mailing Address: LOPEZ ORLANDO TR
1 YOWAGO AVE
BRANFORD, CT 06405

Abutters:

Parcel Number: 32-105
CAMA Number: 32-105
Property Address: 7 WASHINGTON ST

Mailing Address: MARTENS TIMOTHY H
7 WASHINGTON ST
TOPSFIELD, MA 01983

Parcel Number: 32-106
CAMA Number: 32-106
Property Address: 90 MAIN ST

Mailing Address: ROLSMA PATRICIA M
90 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-107
CAMA Number: 32-107
Property Address: 96 MAIN ST

Mailing Address: MUMFORD JESSE M
96 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-108
CAMA Number: 32-108
Property Address: 100 MAIN ST

Mailing Address: MELLO CHRISTOPHER R
100 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-109
CAMA Number: 32-109
Property Address: 104 MAIN ST

Mailing Address: SMITH GREGOR D
104 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-110
CAMA Number: 32-110
Property Address: 106 MAIN ST

Mailing Address: HINGSTON KIM L
169 BUNKER HILL RD
NEWCASTLE, ME 04553

Parcel Number: 32-111
CAMA Number: 32-111
Property Address: 110 MAIN ST

Mailing Address: HARRISON GREGORY
110 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-115
CAMA Number: 32-115
Property Address: 109 MAIN ST

Mailing Address: COTE PETER H
109 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-116
CAMA Number: 32-116
Property Address: 103 MAIN ST

Mailing Address: OCONNOR LAURA A TR
103 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 32-117
CAMA Number: 32-117
Property Address: 99 MAIN ST

Mailing Address: MCINNIS JOSEPH A
99 MAIN ST
TOPSFIELD, MA 01983



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

2/7/2023

Page 1 of 2



300 foot Abutters List Report

Topsfield, MA

February 07, 2023



Parcel Number: 32-118
CAMA Number: 32-118
Property Address: 93 MAIN ST

Mailing Address: DINICOLA MICHAEL
93 MAIN ST
TOPSFIELD, MA 01983

Parcel Number: 33-2
CAMA Number: 33-2
Property Address: 83 MAIN ST

Mailing Address: TOWN OF TOPSFIELD
8 WEST COMMON ST
TOPSFIELD, MA 01983

Parcel Number: 33-3
CAMA Number: 33-3
Property Address: 4 NORTH COMMON ST

Mailing Address: MARTINO FRANK A
4 NORTH COMMON ST
TOPSFIELD, MA 01983

Parcel Number: 33-30
CAMA Number: 33-30
Property Address: 7 HOWLETT ST

Mailing Address: ARRIAZA JAIME LOPEZ
7B HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-31
CAMA Number: 33-31
Property Address: 7 HOWLETT ST

Mailing Address: GOTTS BRETT A
7A HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-33
CAMA Number: 33-33
Property Address: 9 HOWLETT ST

Mailing Address: TURNER KENWOOD H TR
9 HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-34
CAMA Number: 33-34
Property Address: 5 HOWLETT ST

Mailing Address: NICHOL JASON W
5 HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-35
CAMA Number: 33-35
Property Address: 1 HOWLETT ST

Mailing Address: TOPSFIELD HISTORICAL SOCIETY
PO BOX 323
TOPSFIELD, MA 01983

Parcel Number: 33-4
CAMA Number: 33-4
Property Address: 2 HOWLETT ST

Mailing Address: BOLLINGER BENJAMIN R
2 HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-5
CAMA Number: 33-5
Property Address: 8 HOWLETT ST

Mailing Address: COLLIER TIMOTHY R TR
8 HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-6
CAMA Number: 33-6
Property Address: 10 HOWLETT ST

Mailing Address: INMAN KEVIN J
10 HOWLETT ST
TOPSFIELD, MA 01983

Parcel Number: 33-7
CAMA Number: 33-7
Property Address: 12 HOWLETT ST

Mailing Address: CANNIZZARO KEITH A
12 HOWLETT ST
TOPSFIELD, MA 01983



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2/7/2023

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February 7, 2023

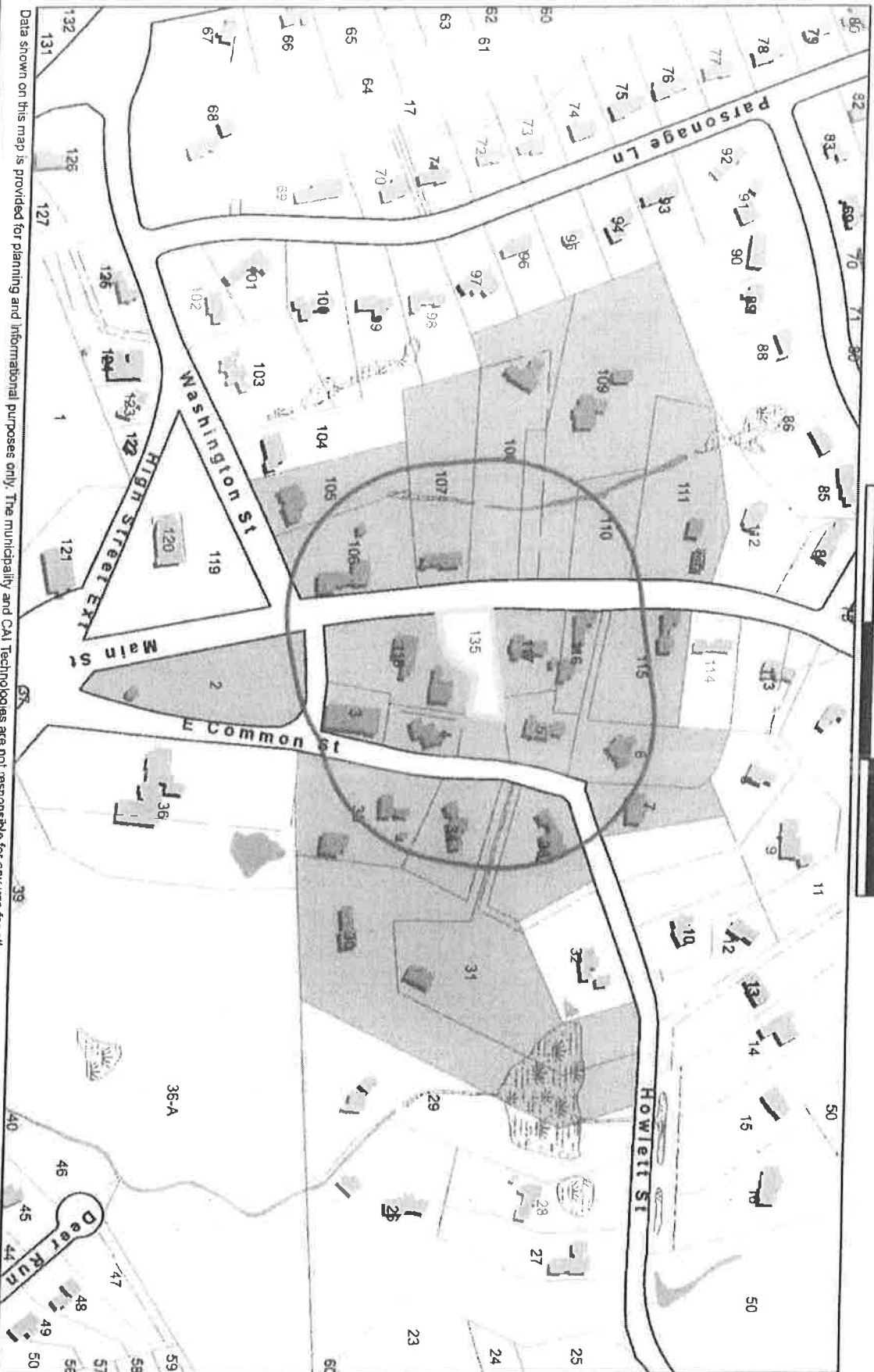
Topshfield, MA

1 inch = 277 Feet



TOWN OF TOPSHFIELD
CERTIFIED COPY
CAI Technologies

www.cai-tech.com



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WILLIAMS & SPARAGES LLC

189 NORTH MAIN STREET SUITE 101
MIDDLETON, MA 01949
978-539-8088

NORTH SHORE BANK

248 ANDOVER STREET
PEABODY, MA 01960
1-7129/2113

005103

DATE 4/20/2023

PAY

TO THE
ORDER OF

Town of Topsfield

\$ **130.68

One Hundred Thirty and 68/100*****

DOLLARS

Town of Topsfield



MEMO

TOPS-0076 Stormwater application

⑈005103⑈ ⑆211371298⑆ 99565619⑈

WILLIAMS & SPARAGES LLC

Town of Topsfield

4/20/2023

005103

Stormwater application

130.68

North Shore Bank 561 TOPS-0076 Stormwater application

130.68