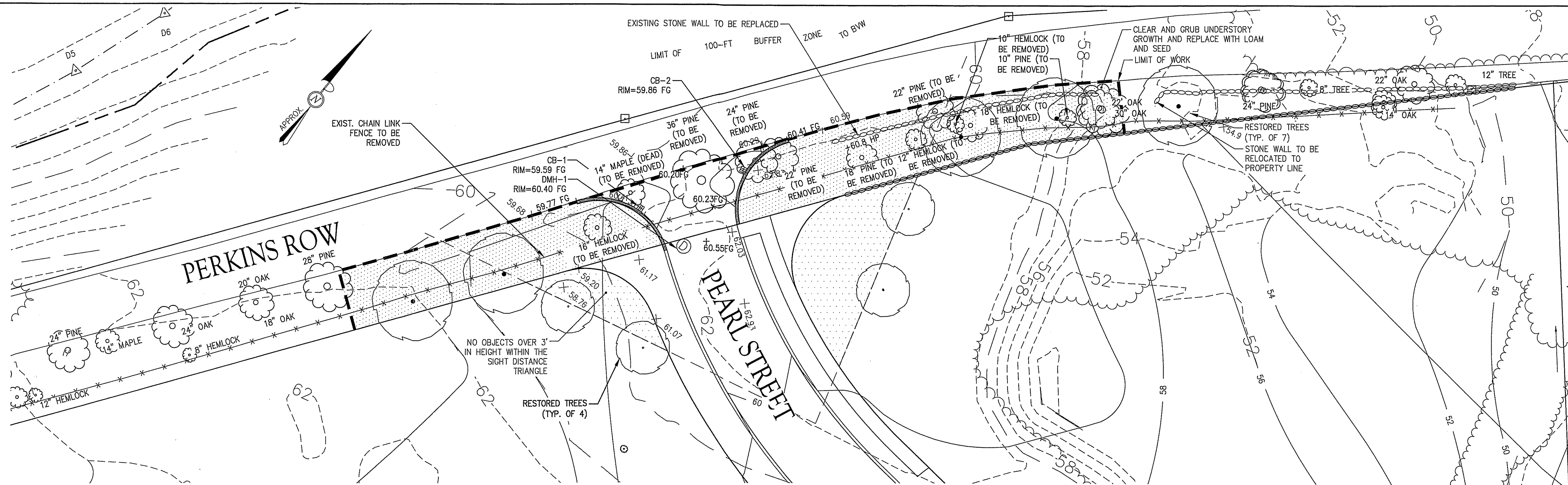
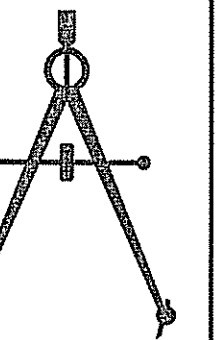


PLAN TO ACCOMPANY
SCENIC ROAD SPECIAL
PERMIT
AT
303 & 333 PERKINS ROW
(ASSESSOR'S MAPS 27 & 20, LOT 43)
TOPSFIELD, MASSACHUSETTS
PREPARED FOR
BURHANI, LLC
OCTOBER 30, 2017
REVISED MARCH 1, 2018

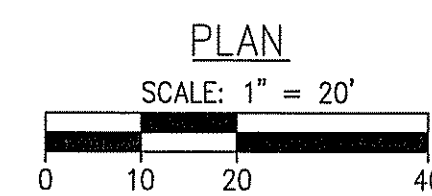
ZONING DISTRICT: INNER RESIDENTIAL AND
AGRICULTURE (IRA) / OUTLYING RESIDENTIAL
AND AGRICULTURAL (ORA)

The
Morin-Cameron
GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
66 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8586, F: 978-774-3488, W: WWW.MORINCAMERON.COM

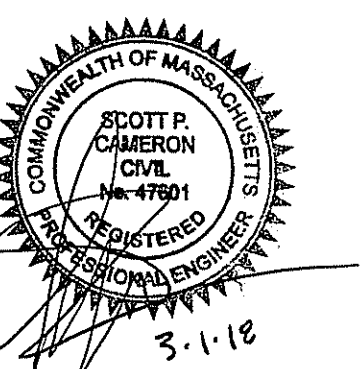
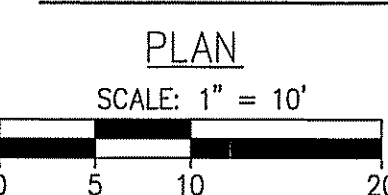
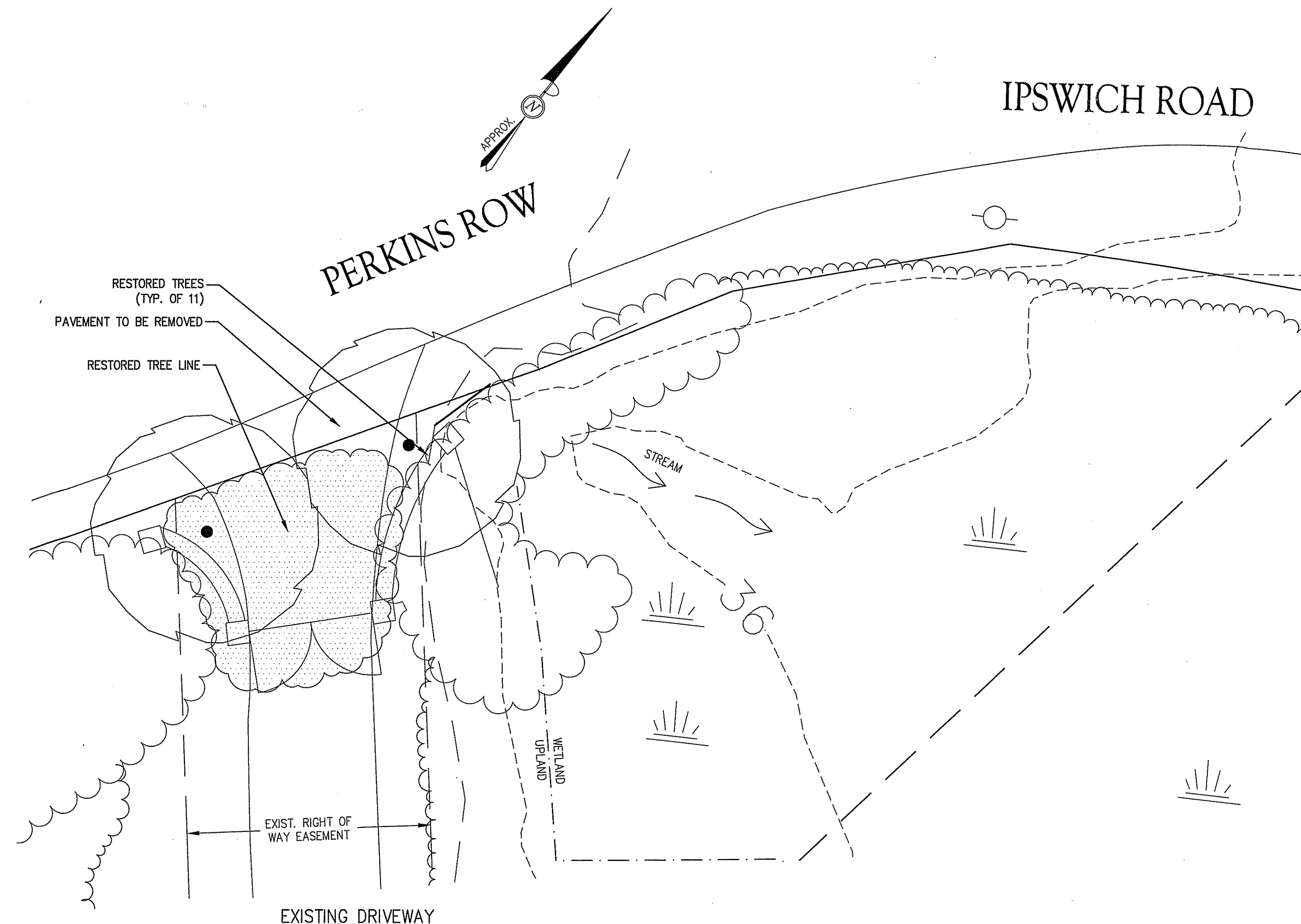
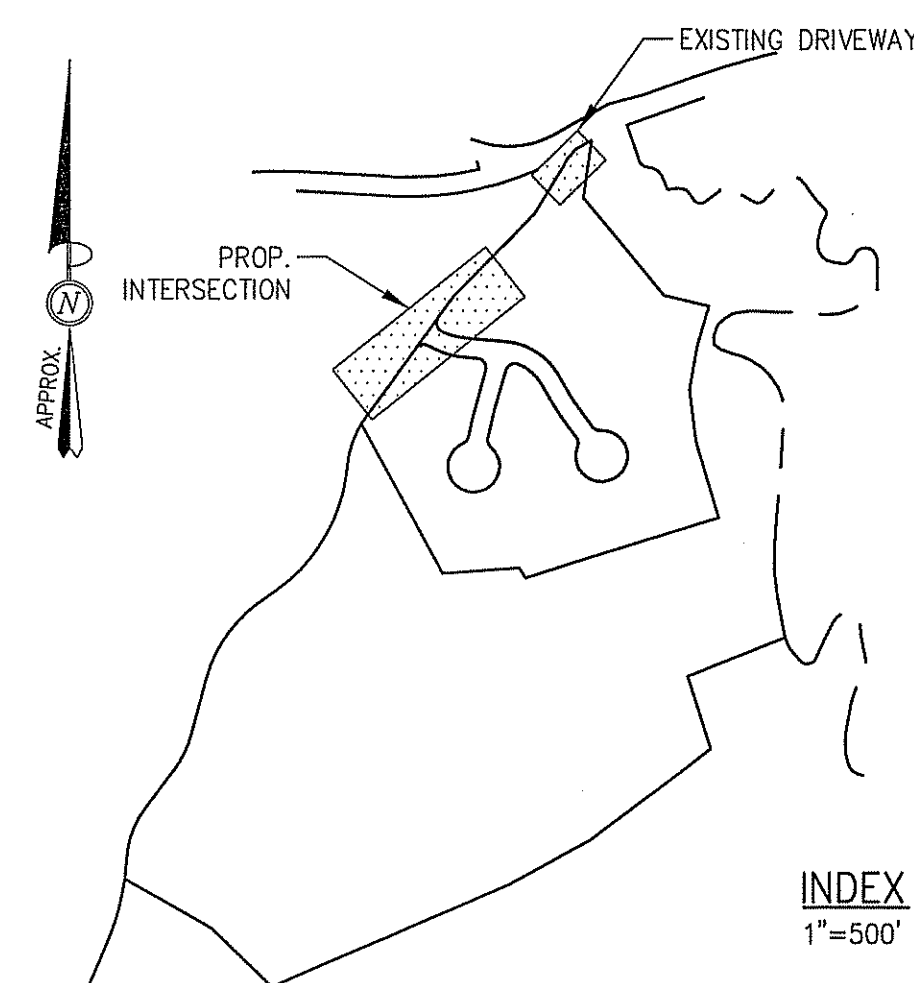


PROPOSED INTERSECTION



NOTE:

1. THIS PLAN IS PREPARED IN SUPPORT OF A DEFINITIVE SUBDIVISION APPLICATION. SEE PLANS ENTITLED "RIVERWOOD ESTATES DEFINITIVE SUBDIVISION" BY THE MORIN-CAMERON GROUP, DATED OCTOBER 16, 2017, REVISED THROUGH MARCH 1, 2018.
2. REPLACE ALL TREES REMOVED AT SHOWN LOCATIONS WITH 7 ENGLISH OAK & 4 SNOW GOOSE CHERRY TREES



SCENIC ROADS
FIGURE

DRAWING NO.

1 OF 1

PROJ. #3460
DRAWING: 3460 SCENIC ROADS

RIVERWOOD ESTATES
DEFINITIVE SUBDIVISION
AT
303 & 333 PERKINS ROW
(ASSESSOR'S MAPS 27 & 20, LOT 43)
TOPSFIELD, MASSACHUSETTS

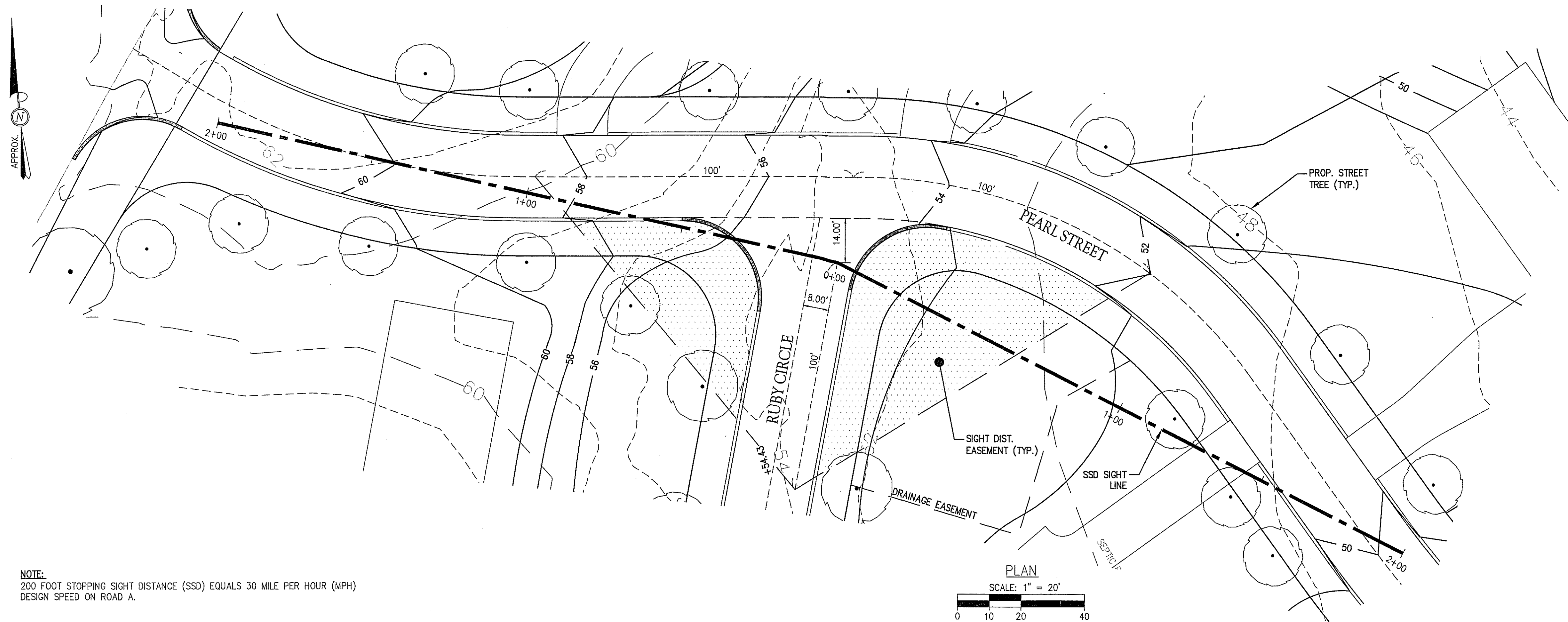
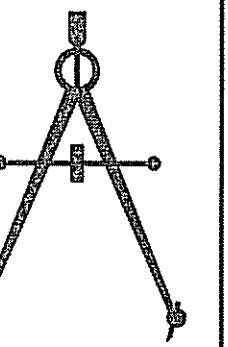
PREPARED FOR
BURHANI, LLC

OCTOBER 16, 2017
REVISION DATE: MARCH 1, 2018

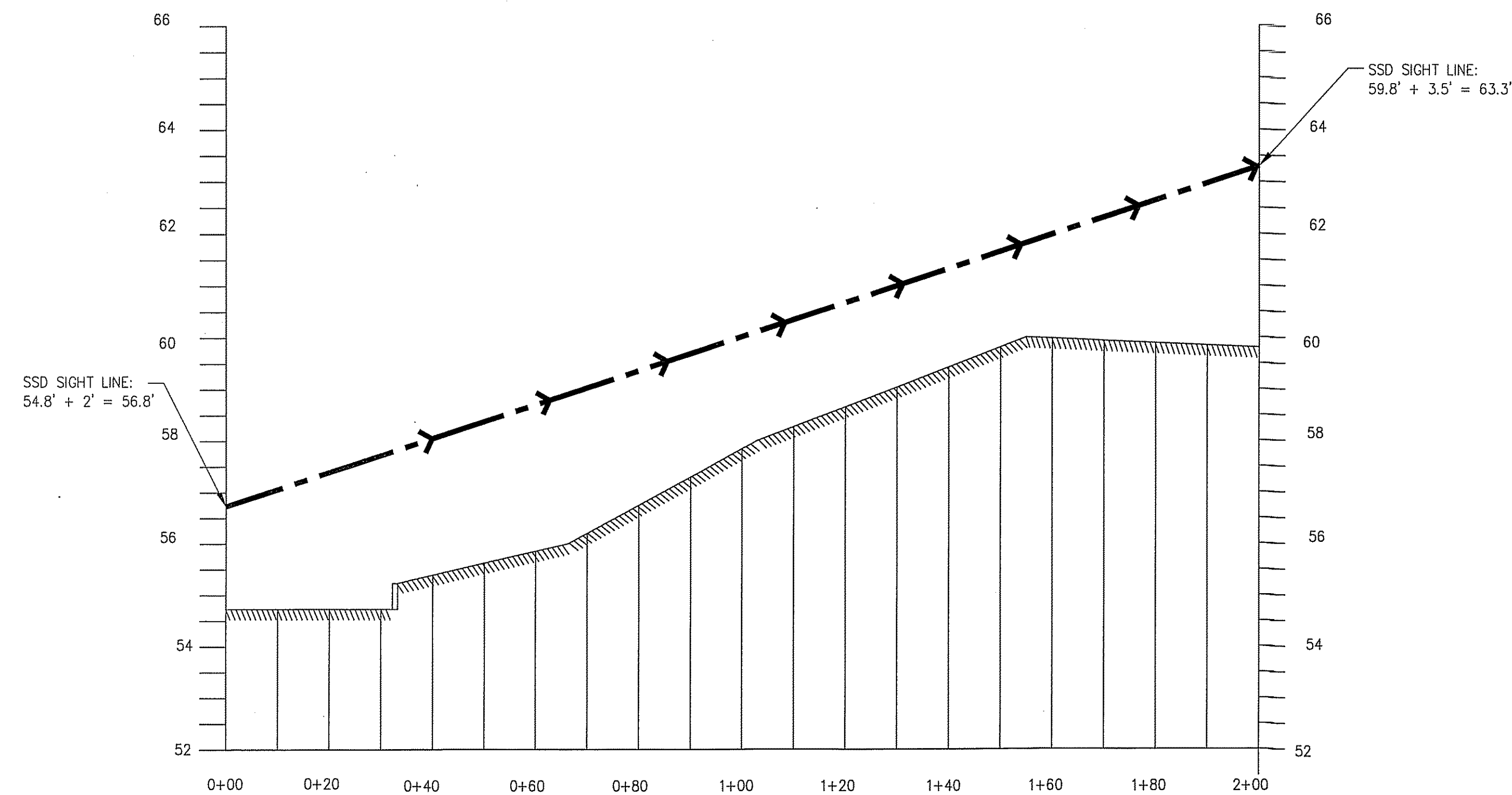
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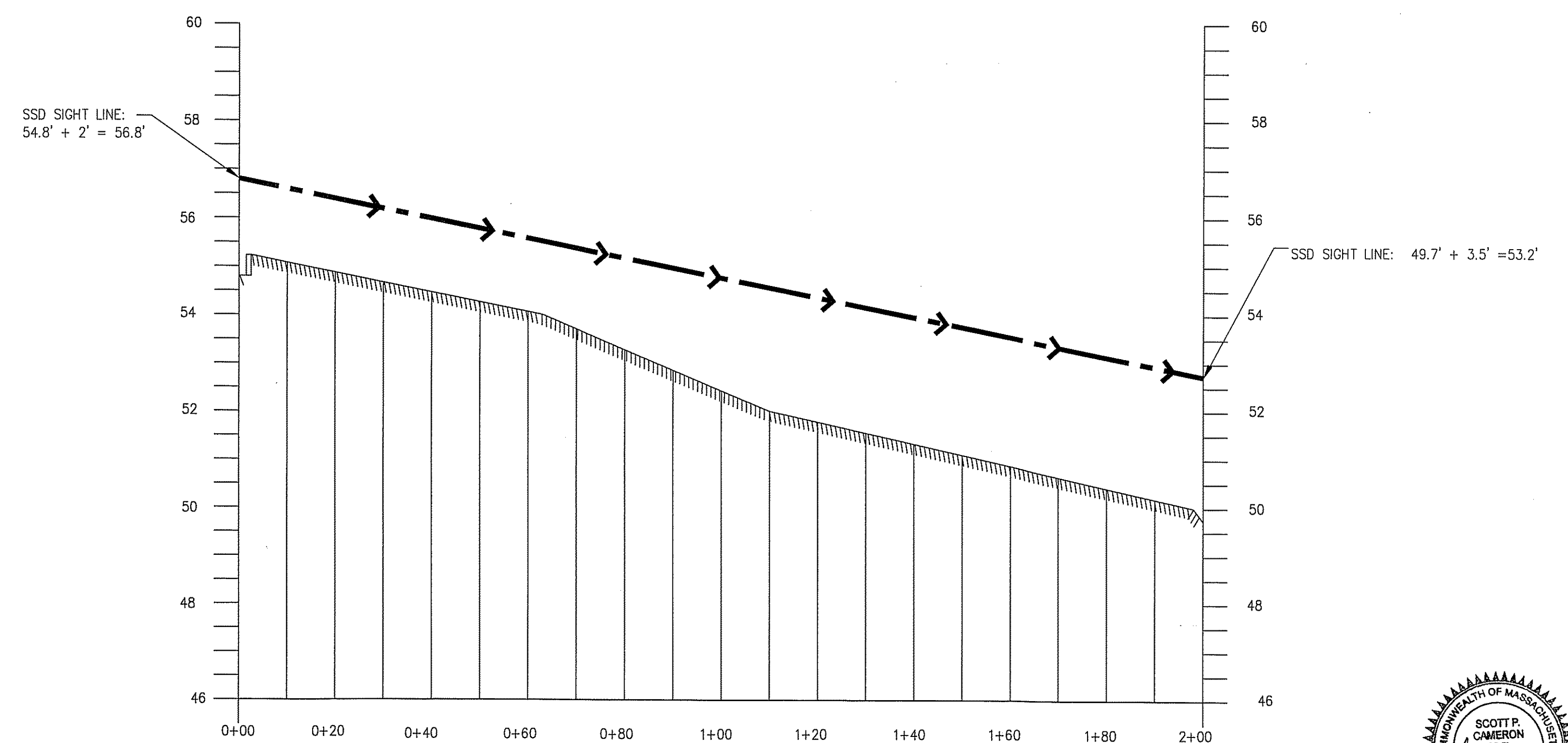


NOTE:
200 FOOT STOPPING SIGHT DISTANCE (SSD) EQUALS 30 MILE PER HOUR (MPH)
DESIGN SPEED ON ROAD A.



RIGHT-TURN STOPPING SIGHT DISTANCE PROFILE

VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=20'



LEFT-TURN STOPPING SIGHT DISTANCE PROFILE

VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=20'

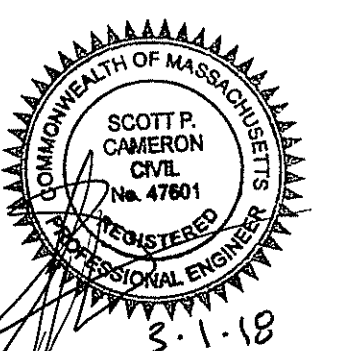


FIGURE 6A:
SIGHT DISTANCE
ANALYSIS

DRAWING NO.

1 OF 1