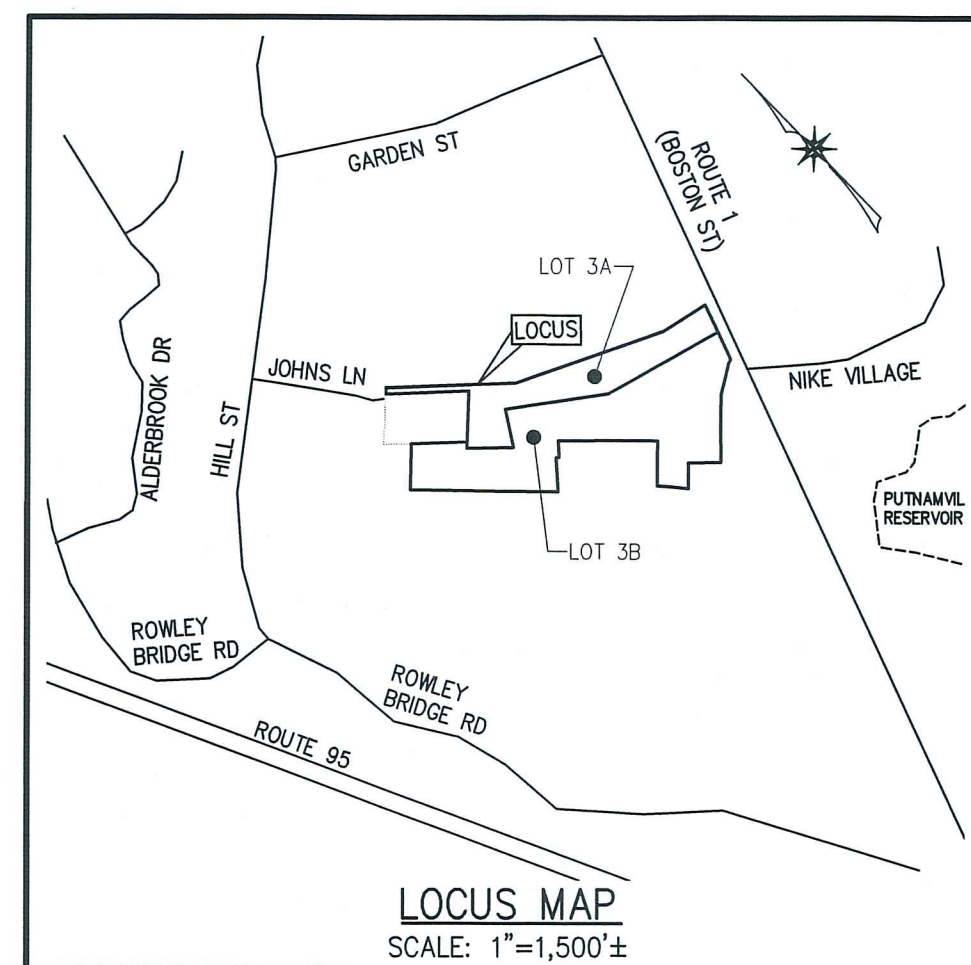
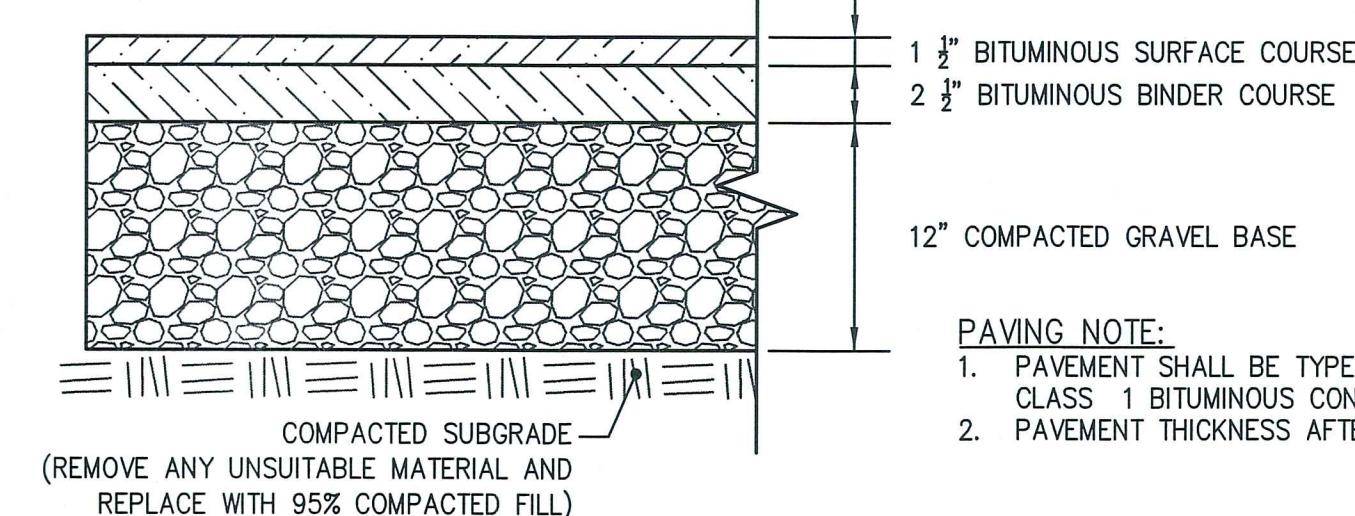
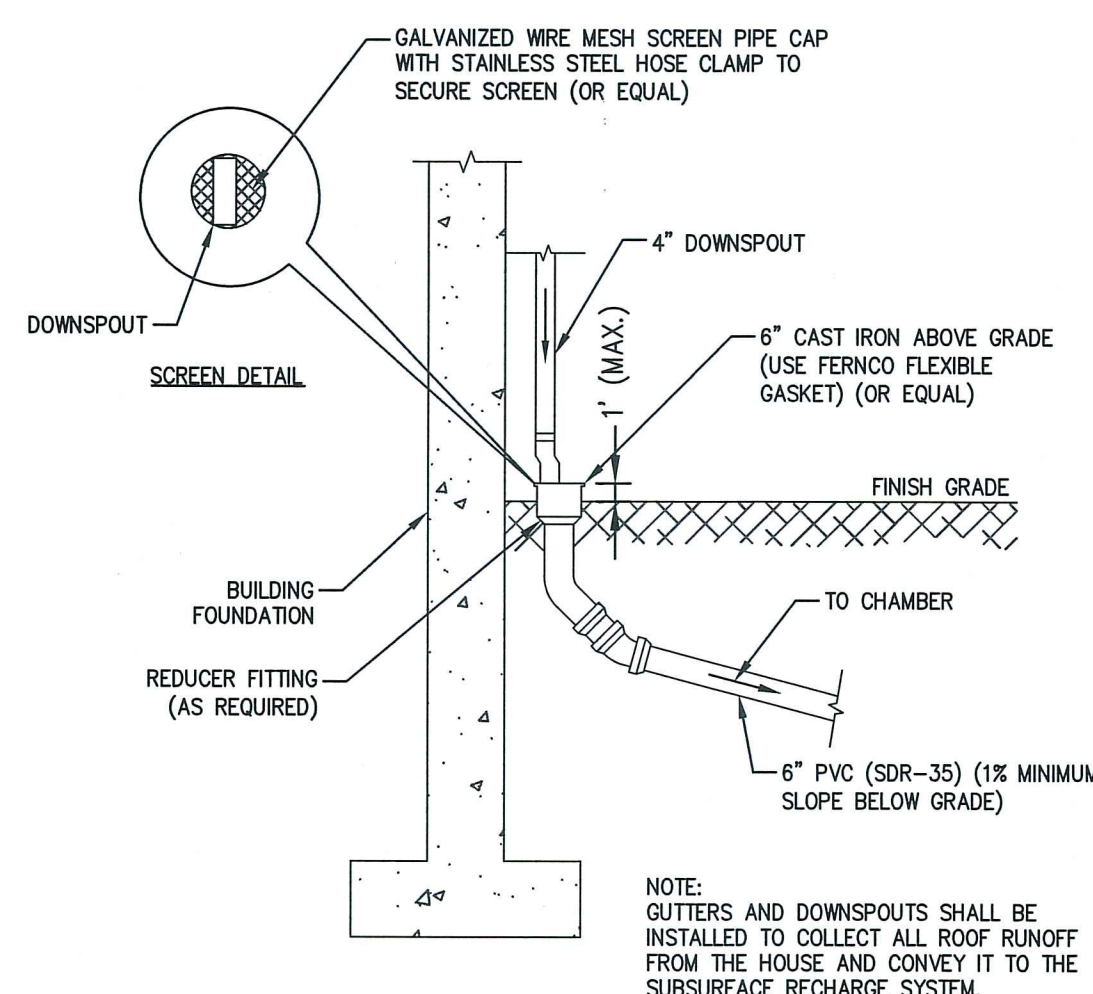


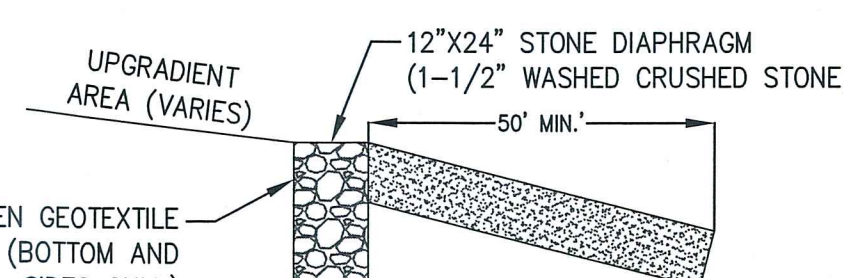


- ## SITE NOTES:
1. RECORD OWNERS: RAYMOND LAWTON
240 BOSTON STREET
TOPSFIELD, MA 01983
DEED BOOK 41005, PAGE 262
 2. RECORD PLANS: PROPERTY LINE INFORMATION OBTAINED FROM PLAN ENTITLED "PLAN OF LAND IN TOPSFIELD, MASS. SHOWING 42R BOSTON STREET (MAP 76 PARCEL 2) AND 20R & 25 JOHNS LANE (MAP 76 PARCELS 3 & 74)", PREPARED FOR RAY LAWTON", PREPARED BY THE MORIN-CAMERON GROUP INC., DATED NOVEMBER 7, 2023.
 3. WETLANDS: WETLAND RESOURCE AREA DELINEATED ON SEPTEMBER 14, 2022 BY DEROSA ENVIRONMENTAL CONSULTING, INC., 150 NEWBURYPORT TURNPIKE, SUITE C-9, ROWLEY, MA 01969 (978-948-7717).
 4. WATER SUPPLY: THE SUBJECT PARCEL IS LOCATED WITHIN A SURFACE WATER SUPPLY PROTECTION AREA ZONE A. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A KNOWN DRINKING WATER SUPPLY ZONE II. THERE ARE NO KNOWN INTERIM WELHEAD PROTECTION ZONES ON THE SUBJECT PARCEL BASED ON THE DEPARTMENT OF ENVIRONMENTAL PROTECTION MAPS.
 5. FLOOD PLAIN: THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS ILLUSTRATED ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 25009C-0402-F WITH EFFECTIVE DATE OF JULY 3, 2012.
 6. DATUM: ELEVATION SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS83)
 7. EXISTING CONDITIONS: EXISTING CONDITIONS INFORMATION OBTAINED FROM AN ON THE GROUND SURVEY BY THE MORIN-CAMERON GROUP, INC.
 8. ZONING DISTRICT: THE PARCEL LIES WITHIN THE OUTLYING RESIDENTIAL AND AGRICULTURAL (ORA) DISTRICT. THE EXISTING LAND USE FOR THE SITE IS UNDEVELOPED LAND AND THE PROPOSED USE FOR THE SITE IS A SINGLE FAMILY DWELLING.

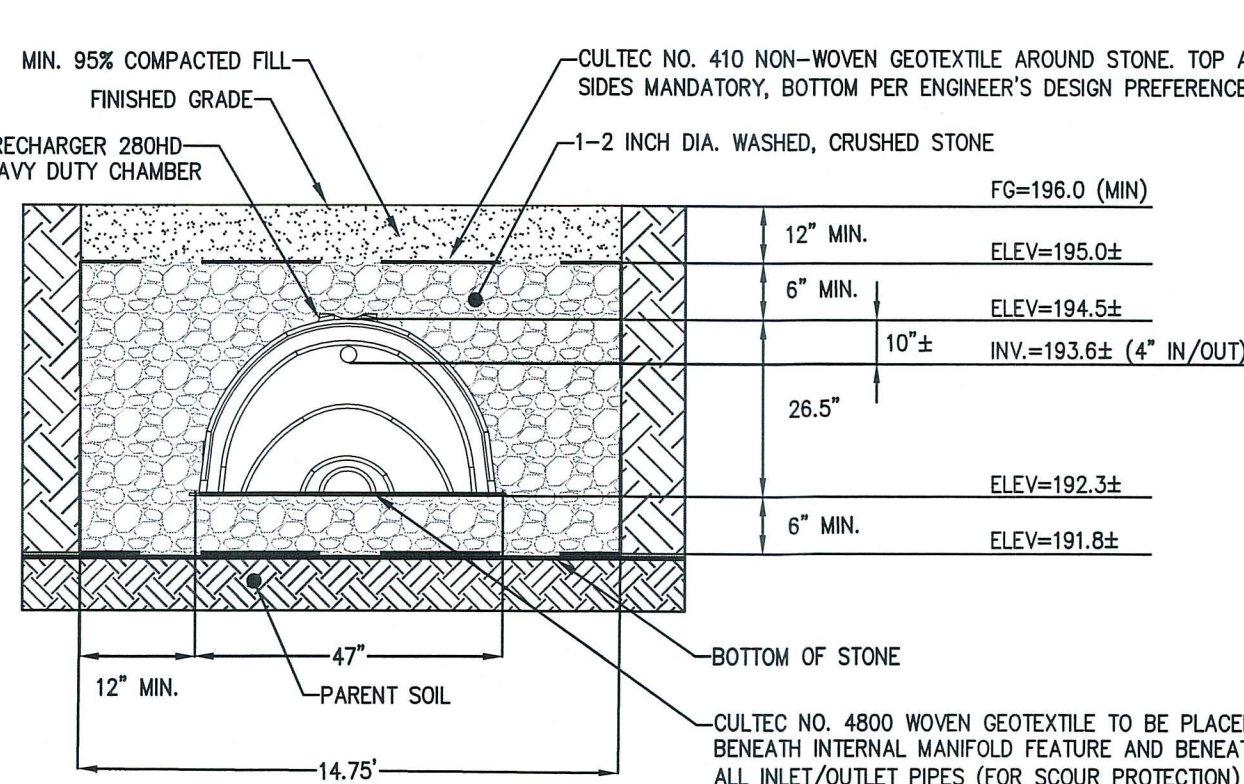
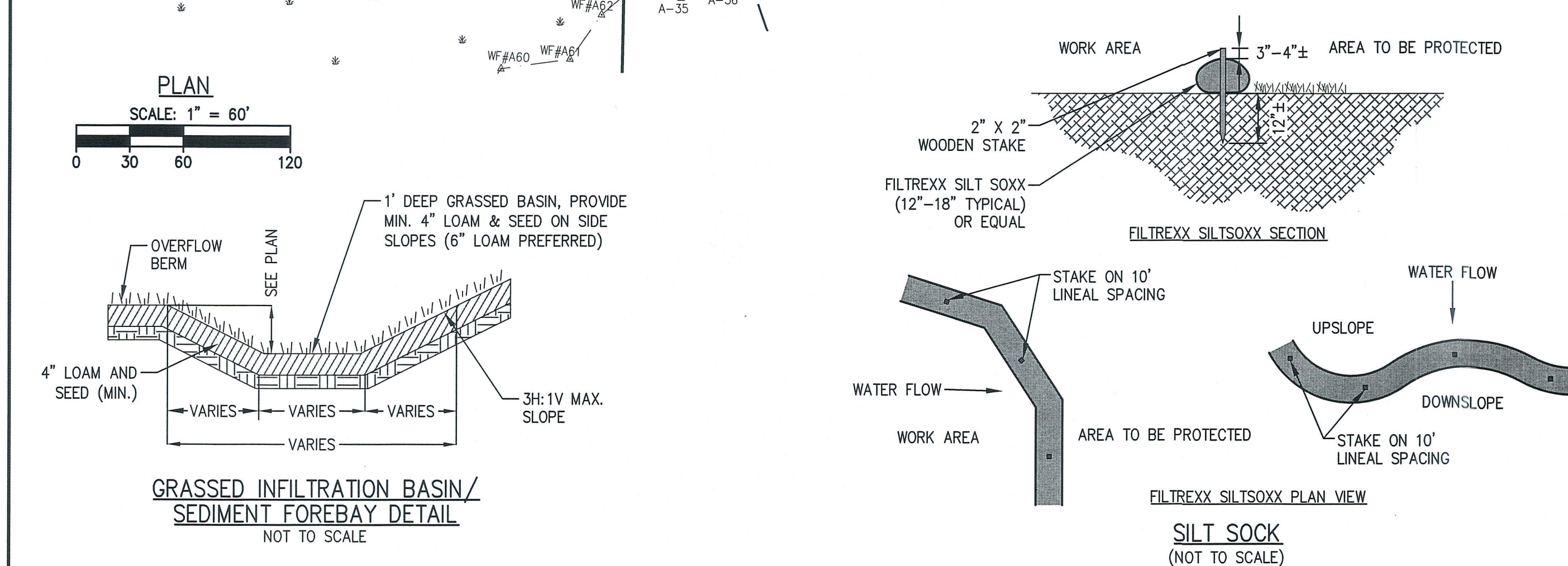
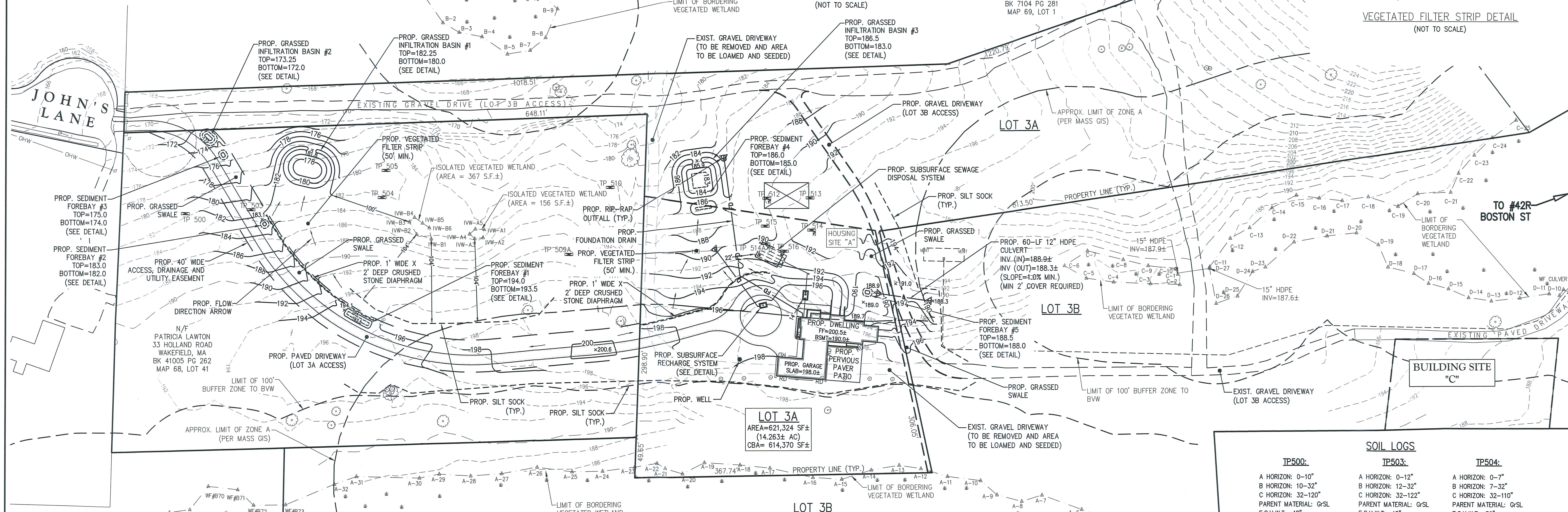


PAVING NOTE:

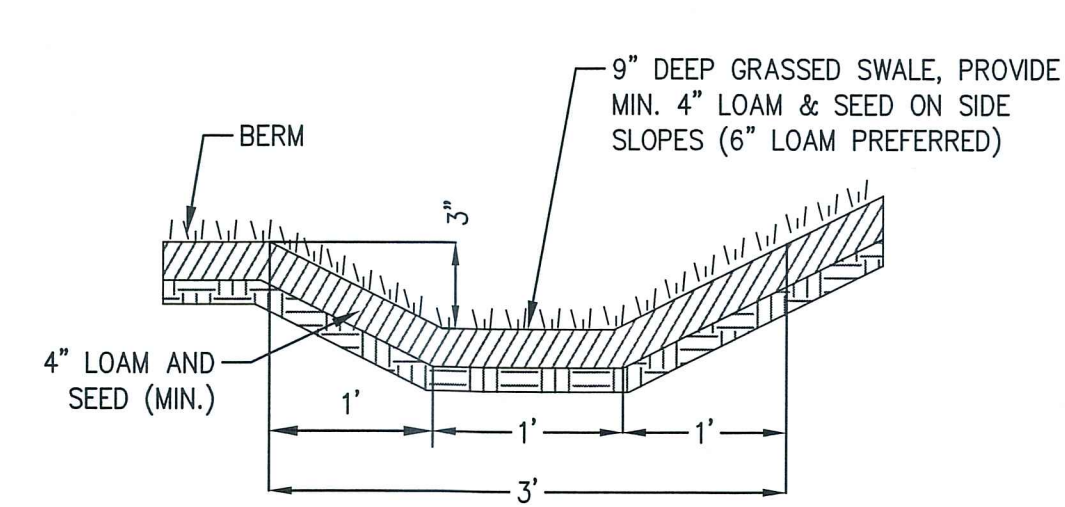
1. PAVEMENT SHALL BE TYPE 1, CLASS 1 BITUMINOUS CONCRETE.
2. PAVEMENT THICKNESS AFTER ROLLING



VEGETATED FILTER STRIP DETAIL
(NOT TO SCALE)



CULTEC RECHARGER 280HD
(NOT TO SCALE)



GRASSED SWALE
NOT TO SCALE

DRAWING NO. 1 OF 1	SDP	SITE DEVELOPMENT PLAN IN TOPSFIELD, MASSACHUSETTS 20R JOHN'S LANE (LOT 3A) & 42R BOSTON STREET (LOT 3B) PREPARED FOR: RAYMOND LAWTON	<table><tr><th colspan="3">R E V I S I O N S</th></tr><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>1</td><td>REVISE PLAN AND DRAINAGE SYSTEM PER TOWN COMMENTS</td><td>12-13-2023</td></tr><tr><td>2</td><td>SHOW ADDITIONAL SILT SOCK, GRASSED SWALES AND SEDIMENT FOREBAY, AND FOUNDATION DRAIN SETBACKS</td><td>12-14-2023</td></tr><tr><td></td><td></td><td></td></tr></table>			R E V I S I O N S			NO.	DESCRIPTION	DATE	1	REVISE PLAN AND DRAINAGE SYSTEM PER TOWN COMMENTS	12-13-2023	2	SHOW ADDITIONAL SILT SOCK, GRASSED SWALES AND SEDIMENT FOREBAY, AND FOUNDATION DRAIN SETBACKS	12-14-2023				<table><tr><td>SURVEY BY: MCG</td><td>DATE: DECEMBER 7, 2023</td></tr><tr><td>DRAFTED BY: DTS/djp</td><td></td></tr><tr><td>CHECKED BY: JMM</td><td></td></tr><tr><td>APPROVED BY: JMM</td><td></td></tr><tr><td>SCALE: AS NOTED</td><td></td></tr></table>		SURVEY BY: MCG	DATE: DECEMBER 7, 2023	DRAFTED BY: DTS/djp		CHECKED BY: JMM		APPROVED BY: JMM		SCALE: AS NOTED		 <i>[Signature]</i> 12-14-2023	 The. Morin-Cameron GROUP, INC. CIVIL ENGINEERS ENVIRONMENTAL CONSULTANTS LAND SURVEYORS LAND USE PLANNERS 86 ELIA STREET, MASSACHUSETTS 01923 P: 978-777-1358, F: WWW.MORINCAMERON.COM
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