

ARCHITECT: BENJAMIN NUTTER, AIA

PROJECT DESIGNER:
MICHELE GARGIULO KARAM
BENJAMIN NUTTER ARCHITECTS, LLC
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TOPSFIELD, MA 01983

STRUCTURAL ENGINEER:
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EVERGREEN STRUCTURAL ENG., PLLC
30 BUTTERFIELD LANE
STRATHAM, NH 03885
603.498.3663

GENERAL NOTES

ALL WORK TO BE PERFORMED PER DRAWINGS AND SPECIFICATIONS BY BENJAMIN NUTTER ARCHITECTS, LLC.

THE BID DOCUMENTS SHALL CONSIST OF THESE DRAWINGS DATED FEB 1, 2022.

ALL CONSTRUCTION TO COMPLY WITH MASS STATE BUILDING CODES.

ALL MATERIALS AND PRODUCTS SHALL BE TRANSPORTED, INSTALLED, FINISHED AND MAINTAINED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS.

DRAWINGS ARE NOT TO BE SCALED. USE ONLY WRITTEN DIMENSIONS. WRITTEN DIMENSIONS ARE TO ROUGH FRAMING, UNLESS OTHERWISE NOTED.

ALL STRUCTURAL FRAMING SHALL BE AS SHOWN OR REQUIRED TO MEET ALL STRUCTURAL REQUIREMENTS. CONSULT WITH ARCHITECT FOR CLARIFICATION ON ANY STRUCTURAL CONDITIONS IN QUESTION.

ANY DISCREPANCIES DISCOVERED IN THE FIELD BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. IF REQUIRED, A SITE MEETING SHALL BE ARRANGED TO REVIEW THE EXISTING CONDITIONS.

ANY DISCREPANCIES DISCOVERED IN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS OF VARIOUS TRADES, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK.

ANY CHANGES TO THESE DOCUMENTS SHALL BE BY WRITTEN CHANGE ORDER ONLY, AS PREPARED BY THE ARCHITECT AND APPROVED BY THE GENERAL CONTRACTOR AND OWNER.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MATERIALS STORED ON SITE.

DRAWING LIST

PROPOSED SITE PLAN

SP

DEMO PLANS

D1

FOUNDATION & 1ST FL FRAMING PLANS,
STRUCTURAL DETAILS

A1.0

FIRST FLOOR PLAN

A1.1

ROOF FRAMING PLAN & STRUCT. NOTES

A1.2

EXTERIOR ELEVATIONS

A2.1

BUILDING SECTION

A3.1 - A3.2

SCHEDULE

A8.1

ELECTRICAL PLANS

E1.1



DEAMARIO RESIDENCE

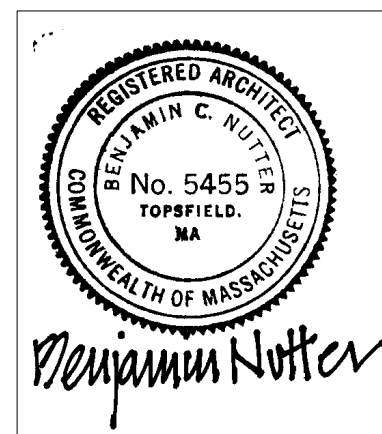
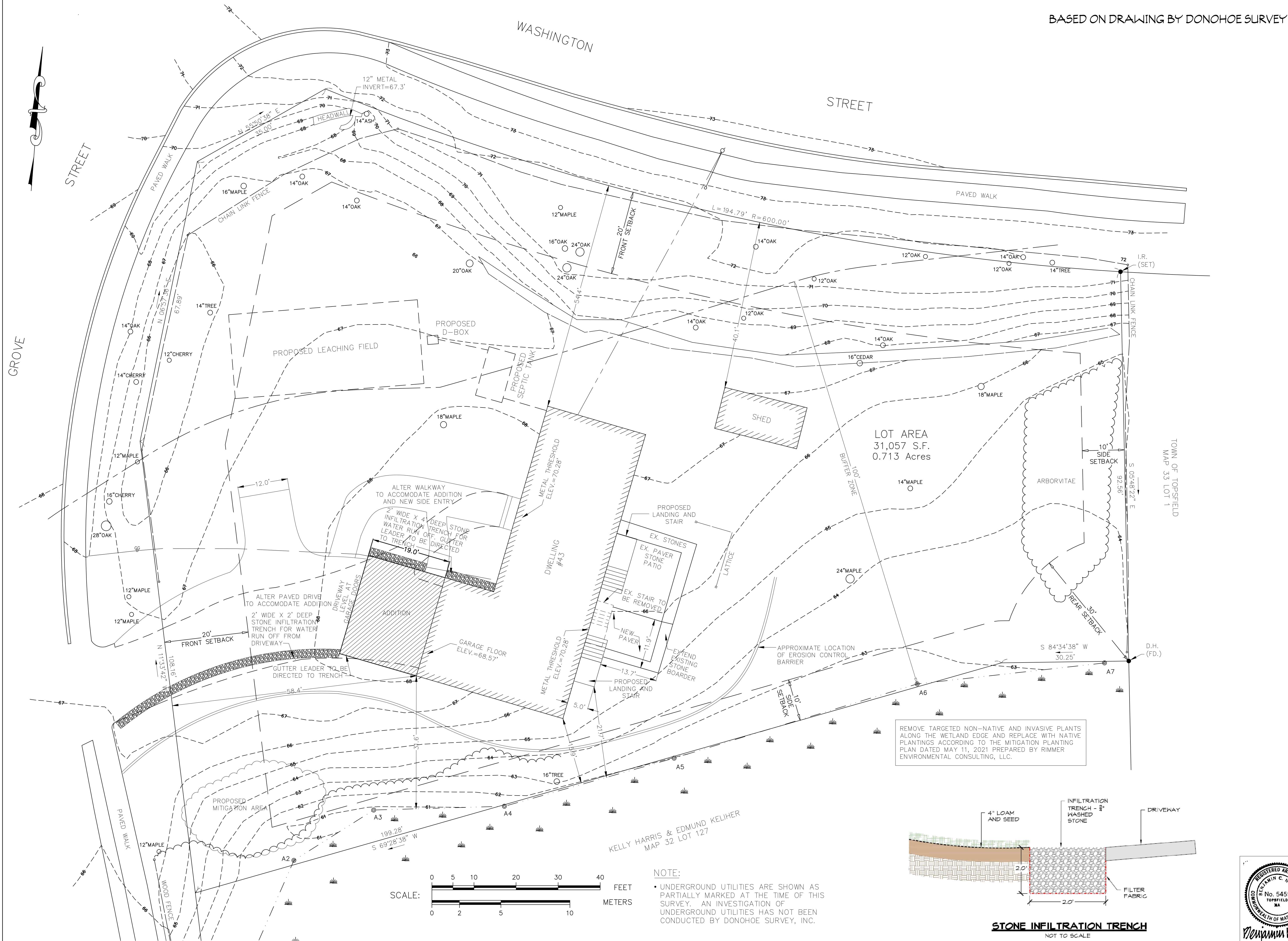
TOPSFIELD, MA

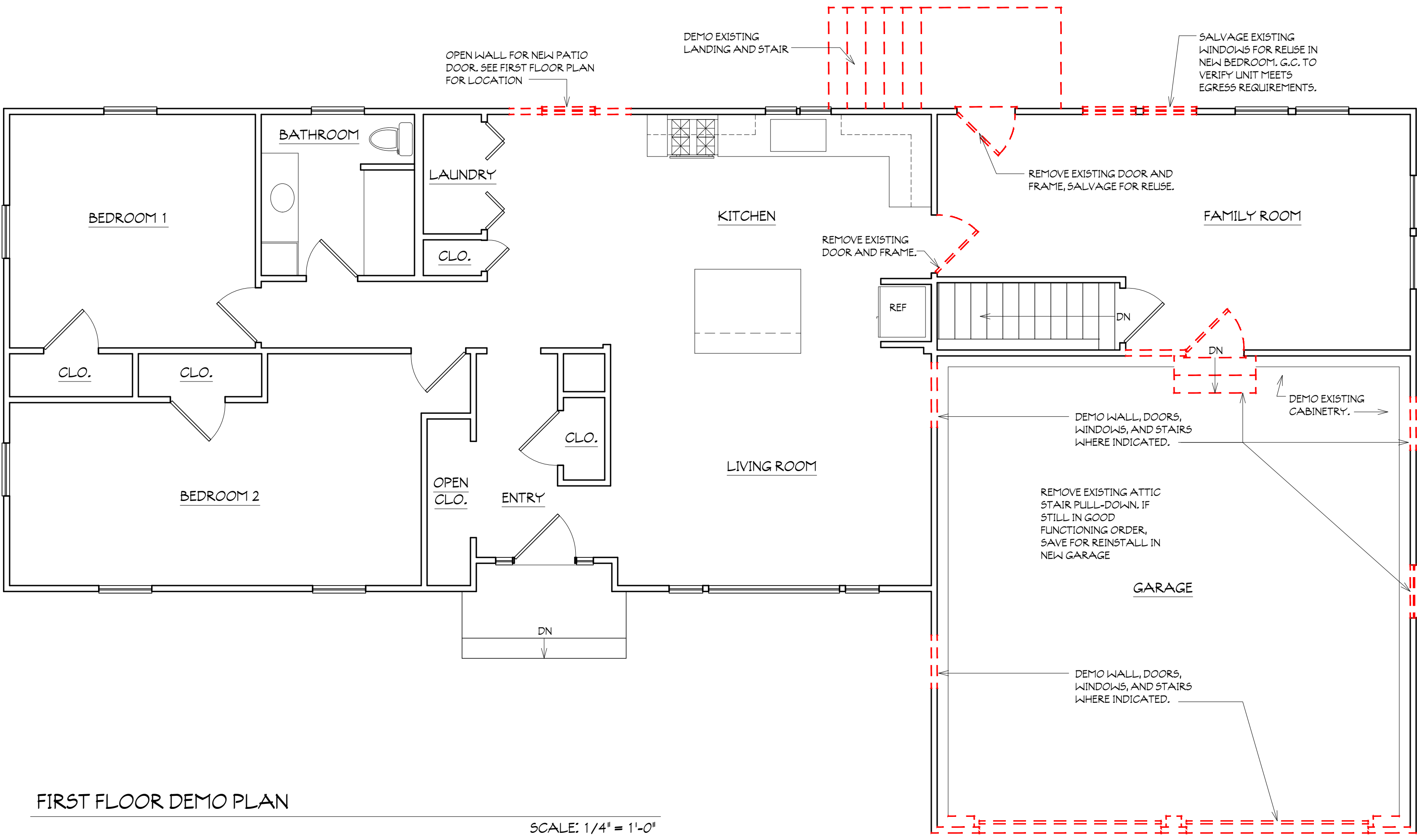
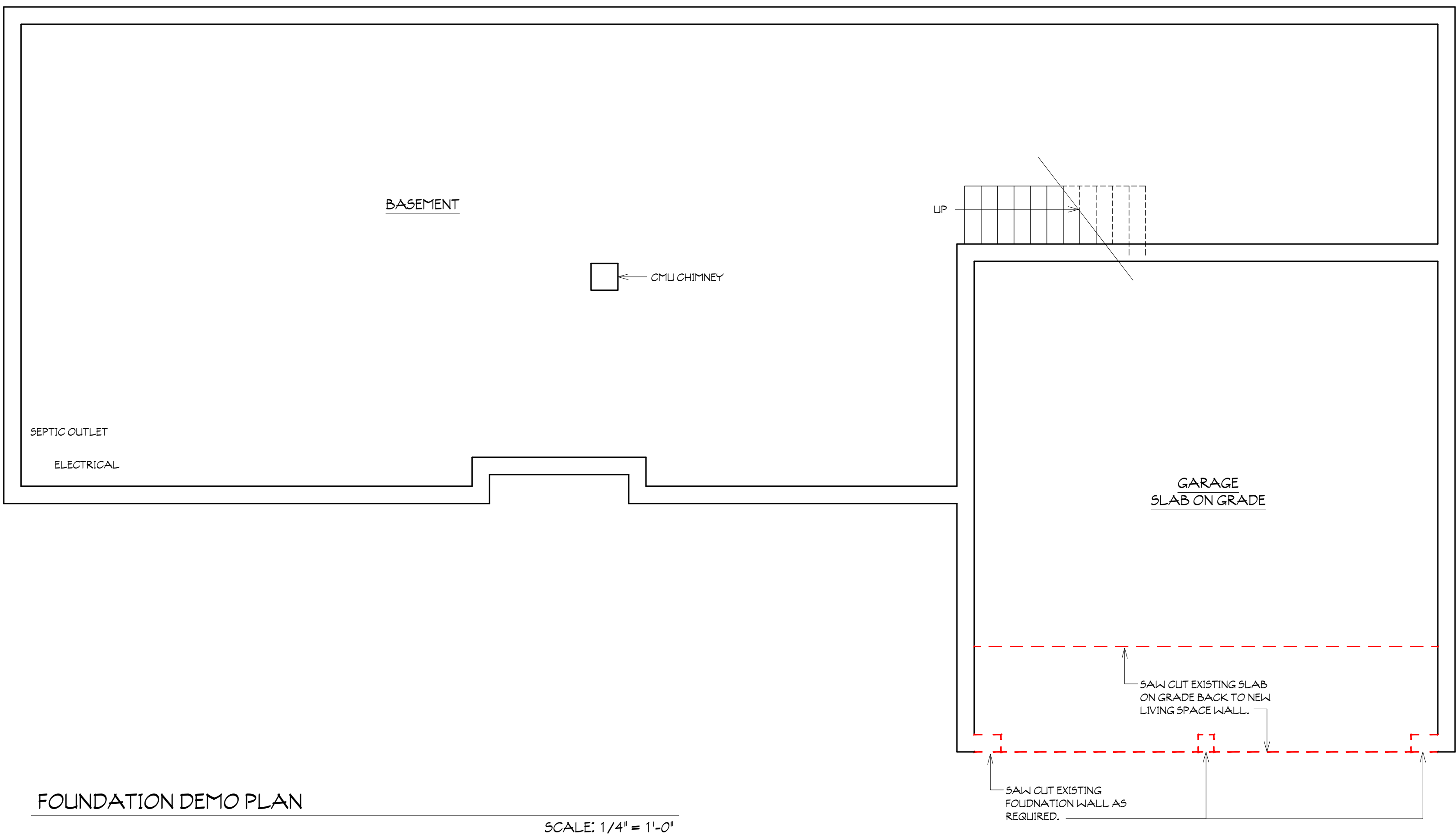
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BENJAMIN NUTTER ARCHITECTS, LLC

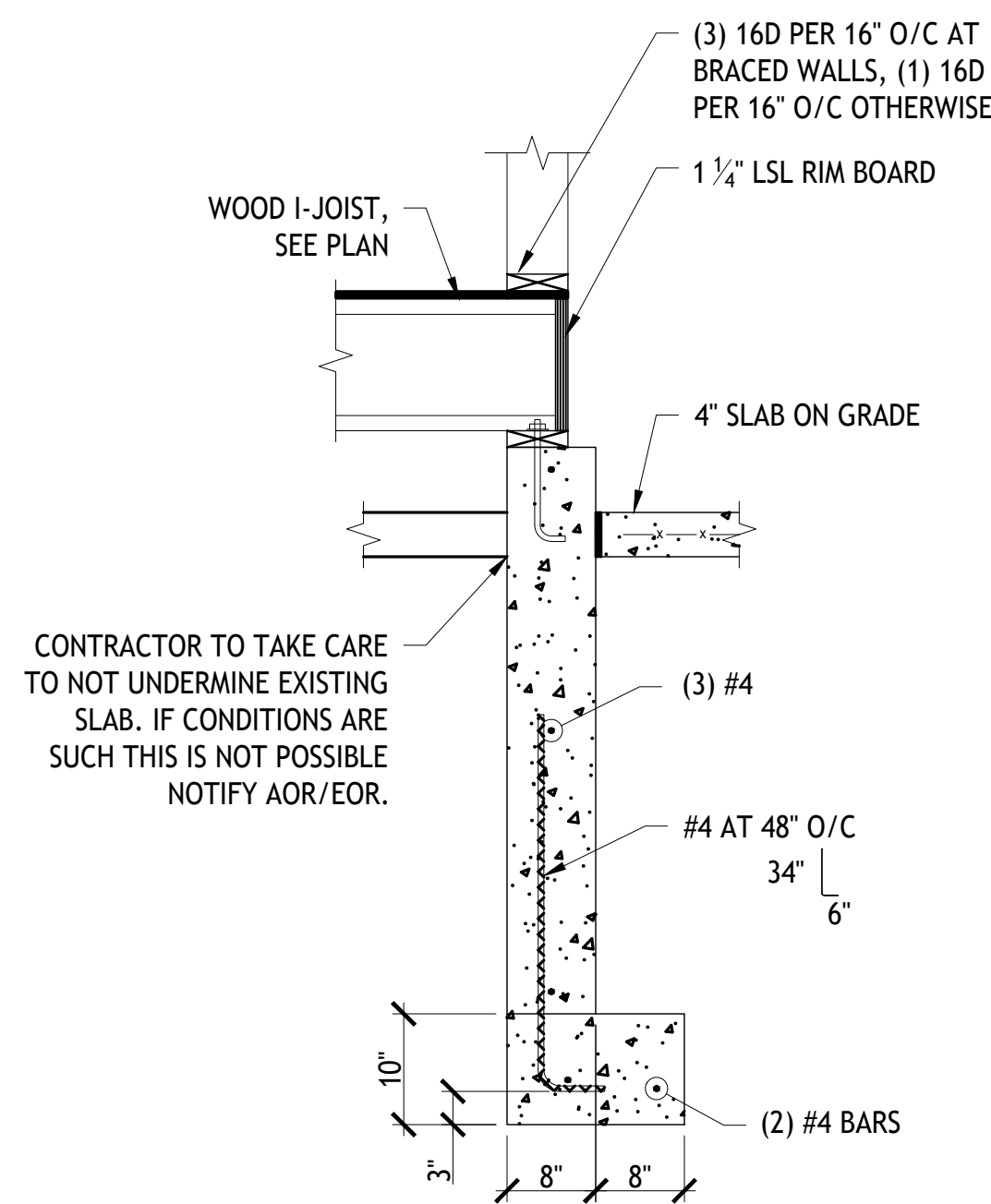
PERMIT SET
DEAMARIO RESIDENCE
FEB 1, 2022

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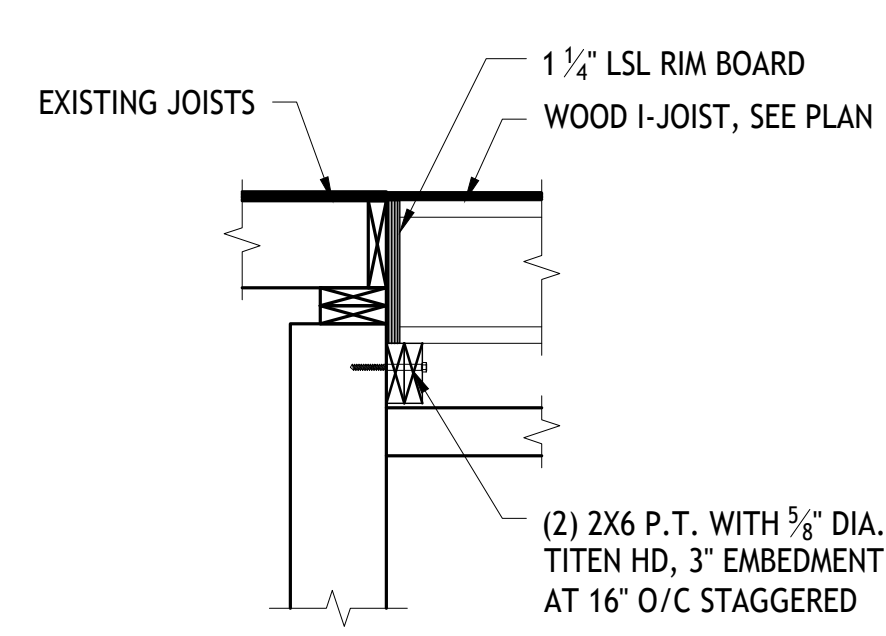




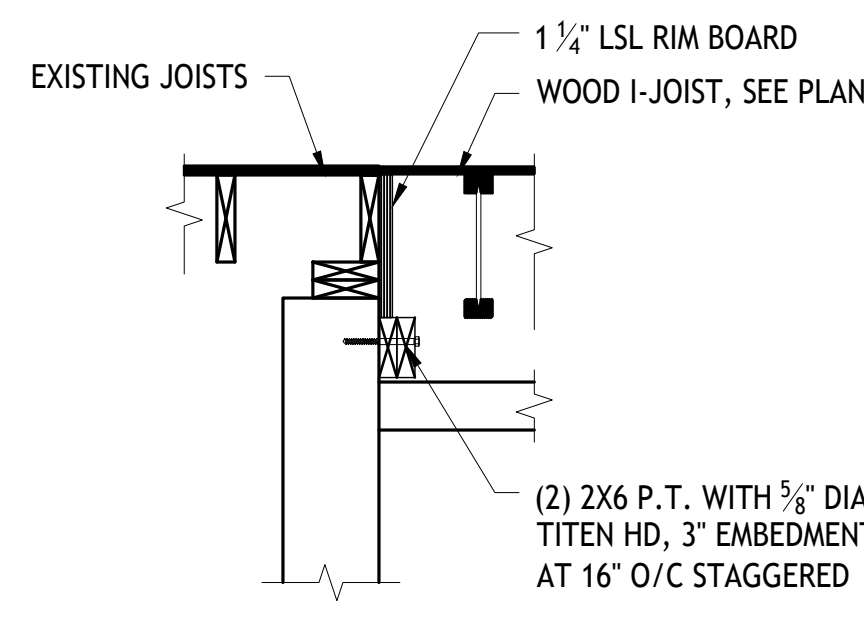
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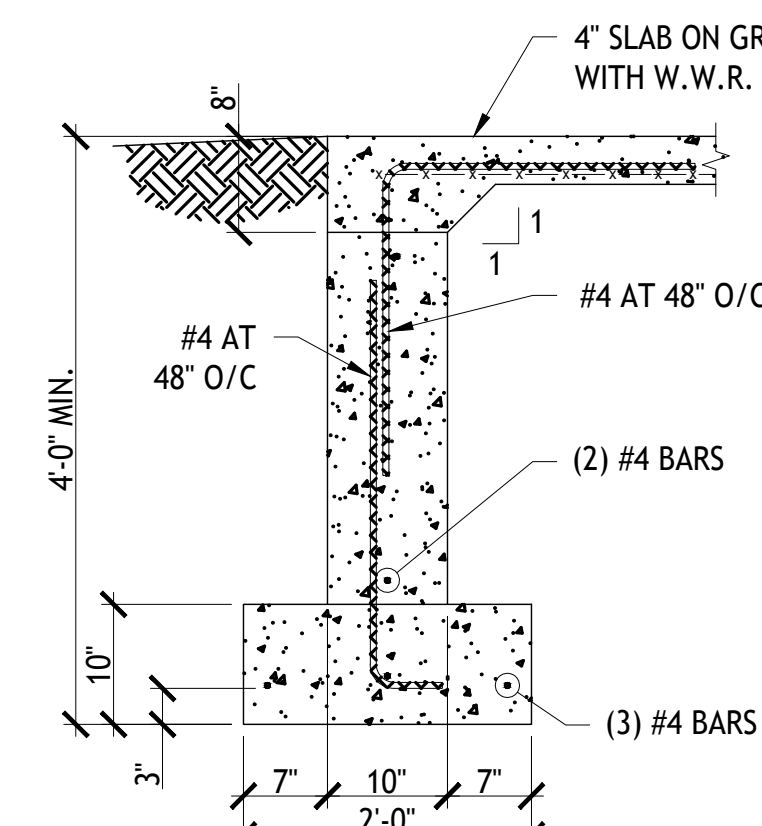
1 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



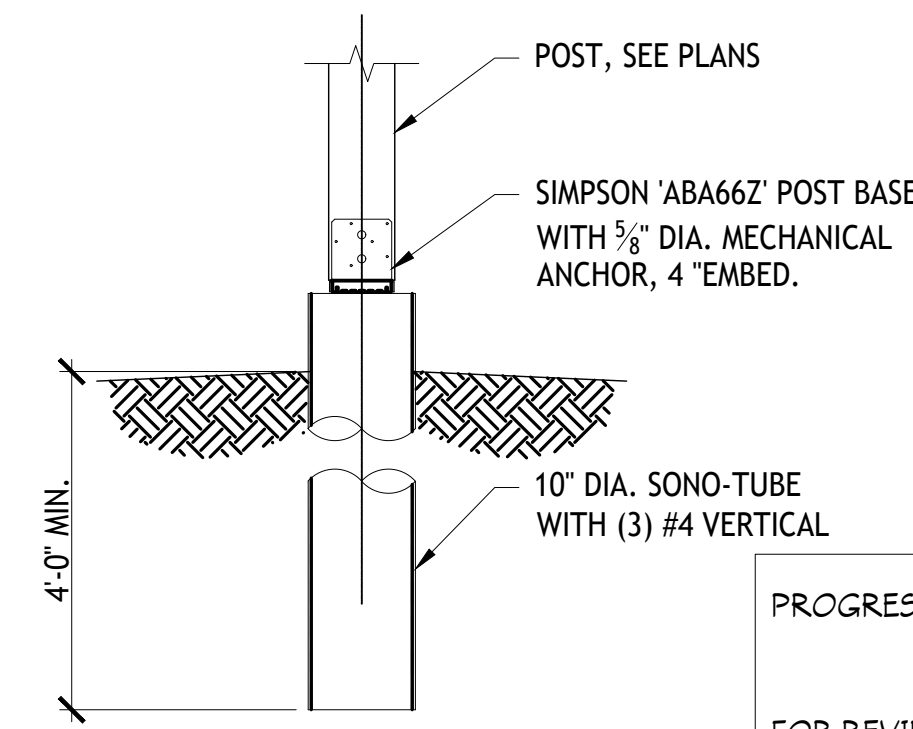
2 FRAMING DETAIL
SCALE: 3/4" = 1'-0"



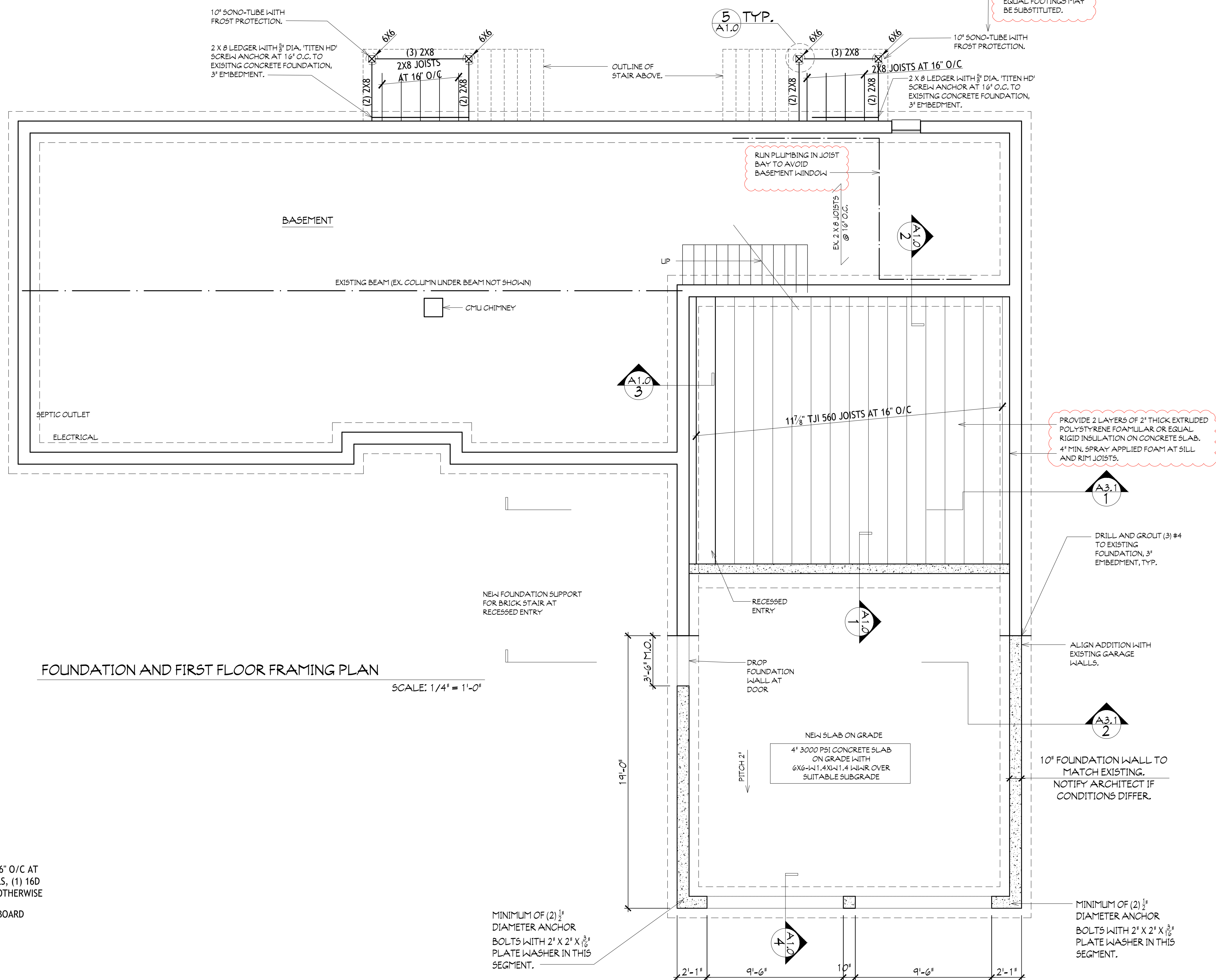
3 FRAMING DETAIL
SCALE: 3/4" = 1'-0"



4 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



5 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



FOUNDATION AND FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

ADDITIONS & RENOVATIONS TO RESIDENCE FOR:

MICHAEL & SUSAN DeAMARIO
43 GROVE STREET
TOPSFIELD, MA 01983

FOUNDATION & FF FRAMING PLAN,
STRUCTURAL NOTES

SCALE: 1/4" = 1'-0"

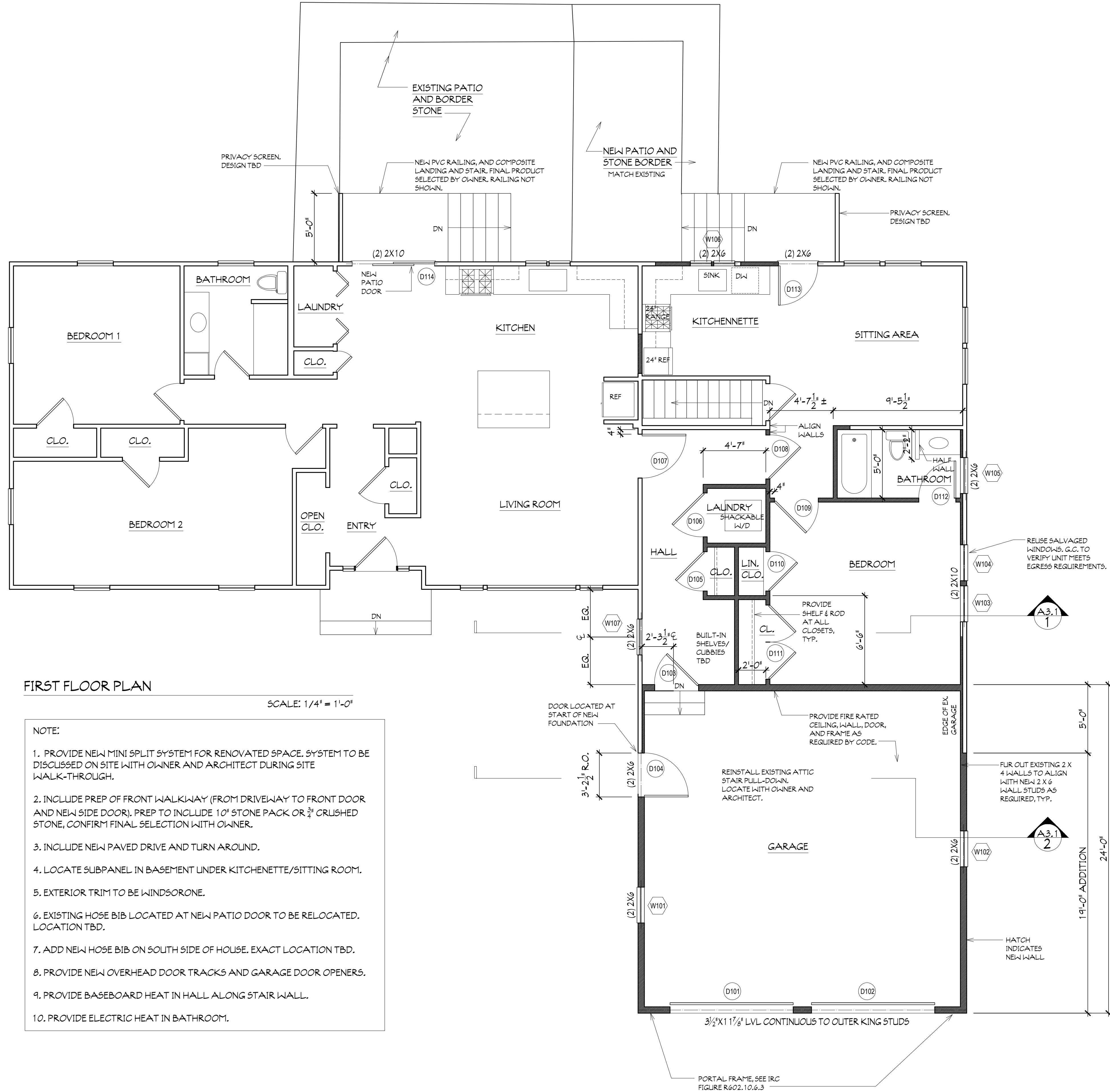
PRINTS MADE: FEB 1, 2022

BID: JULY 13, 2021
PERMIT: FEB 1, 2022
CONSTRUCTION.

DRAWN BY:
M KARAT

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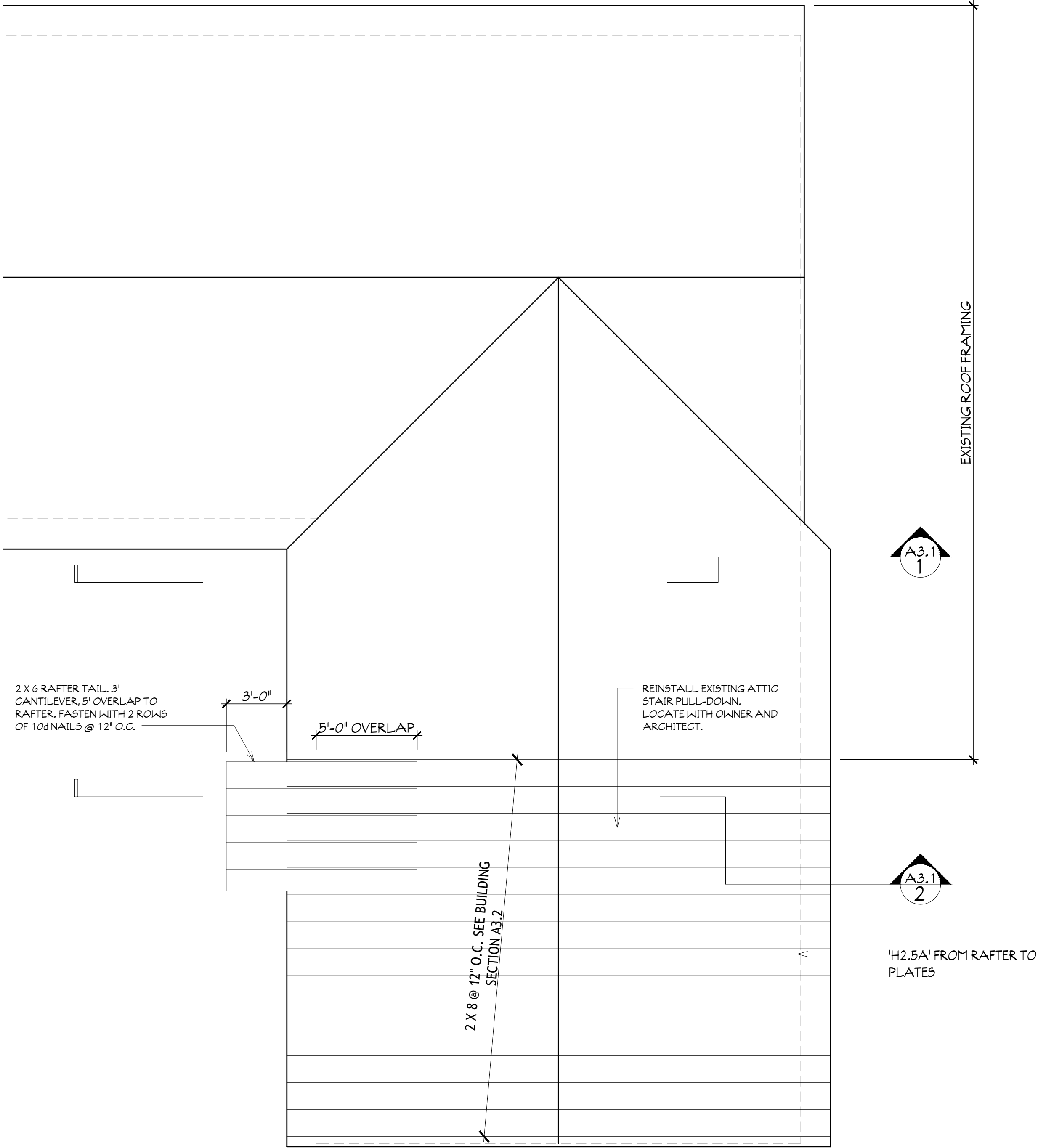
A1.0



PROGRESS PRINTS

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ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL:

1. ALL WORK PERFORMED IN REFERENCE TO THESE DRAWINGS SHALL CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE, (IRC 2015 WITH AMENDMENTS) AND ITS APPLICABLE REFERENCED STANDARDS.
2. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. ANY CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OF RECORD (AOR) AND THE ENGINEER OF RECORD (EOR).
3. THESE DRAWINGS DEPICT THE COMPLETED STRUCTURE. TEMPORARY BRACING, SHORING AND/OR FALSEWORK MAY BE REQUIRED AND ARE THE RESPONSIBILITY OF OTHERS AS 'MEANS AND METHODS.'

GENERAL CONTRACTOR RESPONSIBILITIES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS. ANY OBSERVATIONS CONFLICTING WITH INFORMATION SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE AOR AND EOR BEFORE CONTINUATION OF WORK IN THE AFFECTED AREA. REFERENCES IN THESE DRAWINGS TO EXISTING CONDITIONS ARE FOR REFERENCE ONLY AND MAY DIFFER FROM ACTUAL FIELD CONDITIONS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SHORING AND BRACING DURING CONSTRUCTION. THESE DRAWINGS REPRESENT A COMPLETED STRUCTURE AND ALL "MEANS AND METHODS" ARE BY OTHERS. ANY APPROVAL OF SHORING METHODS BY THE EOR DO NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR SHORING WORK.
3. THE GENERAL CONTRACTOR SHALL LIMIT CONSTRUCTION LOADING TO NO MORE THAN THE DESIGN LOADS NOTED BELOW FOR MATERIAL STOCK PILING AND EQUIPMENT LOADING.

DESIGN LOADS:

LIVE LOADS:	
FLOOR LOADS	40 PSF
SNOW:	
GROUND SNOW LOAD, P _g	50 PSF
FLAT-ROOF SNOW LOAD	39 PSF
SNOW EXPOSURE FACTOR, C _e	1.0
SNOW LOAD IMPORTANCE FACTOR, I _s	1.0
THERMAL FACTOR, C _t	1.1
WIND:	
BASIC WIND SPEED (3-SEC)	125
MPH	
WIND IMPORTANCE FACTOR, I _w	1.0
WIND EXPOSURE (ALL DIRECTIONS)	B
INTERNAL PRESSURE COEFFICIENT, G _{cpi}	±0.18

SUBMITTALS:

1. SYSTEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE DESIGNED, AND STAMPED, BY OTHERS. ITEMS INCLUDE PRE-FABRICATED TRUSSES.
2. REVIEW OF SHOP DRAWINGS SHALL BE FOR GENERAL CONFORMANCE. REVIEW OF DIMENSIONS, QUANTITIES AND MEANS AND METHODS SHALL BE BY THE CONTRACTOR. ALL SUBMITTALS SHALL BE STAMPED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE EOR.
3. SUBMITTALS ARE REQUIRED FOR THE FOLLOWING ITEMS:
PRE-FABRICATED WOOD TRUSSES (STAMPED)
4. THE EOR SHALL BE ALLOWED 2 WEEKS TO REVIEW SHOP DRAWINGS.
5. ORDERING OF MATERIALS PRIOR TO APPROVAL OF THE SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S RISK.

FOUNDATIONS:

1. SOIL LOAD BEARING VALUE ASSUMED FROM TABLE R401.4.1 AT 2,000 PSF. IF CLAYS ARE DISCOVERED DURING EXCAVATION NOTIFY AOR/EOR. SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH IRC.
2. BOTTOM OF FOOTING ELEVATIONS SHOWN ON THE CONTRACT DOCUMENTS ARE MINIMUM DEPTHS. IT MAY BE NECESSARY TO FURTHER EXCAVATE TO OBTAIN SUFFICIENT BEARING.
3. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN SUBGRADE. THERE SHALL BE NO STANDING WATER IN TRENCHES BEFORE OR AFTER CONCRETE IS PLACED. FORMS SHALL BE FREE OF DEBRIS.
4. FOUNDATION WALLS SHALL BE BACKFILLED EQUALLY ON BOTH SIDES UNLESS ADEQUATELY BRACED OR NOTED ON THE PLANS.

CONCRETE:

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE STATE BUILDING CODE AND THE REFERENCED EDITION OF ACI-318.
2. CONCRETE MIXES SHALL CONFORM TO ASTM C94 WITH THE FOLLOWING:
 - PORTLAND CEMENT: ASTM C150 TYPE I OR II
 - NORMAL WEIGHT AGGREGATES: ASTM C33
 - POTABLE WATER
 - AIR-ENTRAINING ADMIXTURES: ASTM C260
 - AIR CONTENT: 6% ±1.5% BY VOLUME U.N.O.
 - NO AIR FOR TROWEL FINISH SLABS
 - WATER-REDUCING ADMIXTURES: ASTM C494, MID-RANGE TYPE A,
 - HIGH RANGE TYPE F OR G
 - ACCELERATOR AND RETARDER ADMIXTURES: ASTM C494, TYPE C
 - AND D RESPECTIVELY
 - CORROSION INHIBITOR: ASTM C494, 30% CALCIUM NITRITE.
3. CONCRETE 28-DAY STRENGTH: 3000 PSI
4. NORMAL WEIGHT CONCRETE SLUMP SHALL NOT EXCEED 6"±1" AT THE POINT OF DELIVERY.
5. CONCRETE SHALL BE CURED BY AN ACI APPROVED METHOD. HOT WEATHER CONCRETING SHALL BE PER ACI 305R. COLD WEATHER CONCRETING SHALL BE PER ACI 306.
6. UNLESS NOTED OTHERWISE COMPOSITE FLATNESS SHALL BE 25 AND COMPOSITE LEVELNESS SHALL BE 20.

STEEL REINFORCEMENT:

1. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE STATE BUILDING CODE REFERENCED ACI 318.
2. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 KSI DEFORMED BARS. REINFORCING NOTED AS CONTINUOUS SHALL HAVE LAPS MEETING ACI 318 FOR A CLASS B SPLICE.
3. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"

CONCRETE FOR OTHER CONDITIONS 2"
4. WELDED WIRE REINFORCEMENT SHALL BE ASTM A-185.

WOOD TRUSSES:

1. TRUSS DESIGN SHALL MEET ALL APPLICABLE PROVISIONS OF THE TRUSS PLATE INSTITUTE (TPI) NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1-2014).
2. MINIMUM TRUSS BRACING SHALL COMPLY WITH THE TPI BUILDING COMPONENT SAFETY INFORMATION: GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI-2013).
3. MEMBERS SHALL BE DESIGNED SUCH THAT WEB BRACING IS NOT REQUIRED.
4. TRUSS MANUFACTURER SHALL PARTICIPATE IN TPI THIRD PARTY QUALITY ASSURANCE INSPECTION PROGRAM.
5. THE TRUSS SUBMITTAL PACKAGE BY THE MANUFACTURER SHALL CONSIST OF EACH INDIVIDUAL TRUSS DESIGN, A TRUSS PLACEMENT DIAGRAM, THE PERMANENT INDIVIDUAL TRUSS MEMBER RESTRAINT/BRACING METHOD AND DETAILS PERTINENT TO THE TRUSSES. THE MANUFACTUER SHALL SPECIFY TRUSS TO TRUSS CONNECTIONS. ALL SHALL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN NEW HAMPSHIRE.
6. ROOF TRUSS LOADS:
TOP CHORD SNOW LOAD: SEE DESIGN LOADS (DESIGNS SHALL INCLUDE UNBALANCED SNOW LOAD EFFECTS)
TOP CHORD DEAD LOAD: 12 PSF
BOTTOM CHORD LIVE LOAD: PER IRC
BOTTOM CHORD DEAD LOAD: 10 PSF
7. ROOF TRUSSES SHALL BE DESIGNED TO MEET A LIVE LOAD DEFLECTION LIMIT OF L/360 AND 3/4", AND A TOTAL LOAD DEFLECTION LIMIT OF L/240 AND 1".

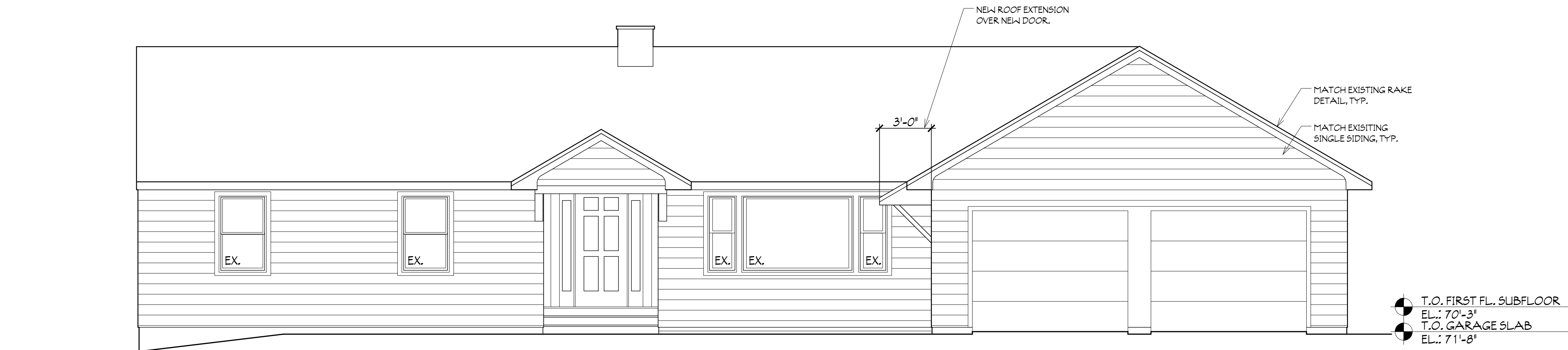
WOOD TRUSSES (CONT'D):

8. ROOF TRUSSES SHALL BE DESIGNED FOR WIND COMPONENT & CLADDING WIND LOADS UNLESS OTHERWISE INDICATED WITHIN THE PROJECT PLANS.
 9. TRUSSES SHALL NOT BE FIELD MODIFIED. ANY DAMAGED TRUSS SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH MANUFACTURER'S ENGINEER'S METHODS. MODIFICATIONS SHALL BE REVIEWED BY THE EOR/AOR.
- WOOD FRAMING:
1. ALL WOOD MATERIALS SHALL HAVE A GRADE STAMP DENOTING THE SPECIES, GRADE, MOISTURE CONTENT (< 19% REQUIRED), AND THE ACCREDITED AGENCY CERTIFICATION MARK.
 2. WOOD FRAMING FASTENING REQUIREMENTS NOT DETAILED SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENCE CODE TABLE R602.3 (1).
 3. WOOD FRAMING SHALL BE SPRUCE-PINE-FIR NO. 1 OR 2 UNLESS NOTED OTHERWISE. POSTS SHALL BE SOUTHERN PINE NO. 2 OR AS NOTED. ALL WOOD EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, MASONRY OR EARTH SHALL BE PRESSURE TREATED SOUTHERN PINE NO. 2 OR BETTER AND SHALL USE GALVANIZED CONNECTORS (G185) MIN.
 4. WOOD FRAMING MEMBERS SHALL BE SUPPORTED BY DIRECT BEARING, OR A LIGHT GAUGE CONNECTOR. MEMBERS SHOULD NOT BE SUPPORTED BY END OR TOE NAILING.
 5. FASTENERS CALLED OUT BY PENNYWEIGHT SHALL BE COMMON WIRE NAILS UNLESS APPROVED BY THE EOR.
 6. LIGHT GAUGE CONNECTORS ARE TO BE MANUFACTURED BY SIMPSON STRONG-TIE, UNLESS NOTED OTHERWISE. SUBSTITUTIONS SHALL BE REVIEWED BY THE EOR PRIOR TO USE. NAILING SHALL BE AS RECOMMENDED BY MANUFACTURER OR AS NOTED. FOR P.T. LUMBER METAL CONNECTIONS AND CONNECTORS SHALL BE GALVANIZED (G185) MIN. U.N.O.
 7. PLYWOOD SHEATHING SHALL COMPLY WITH U.S. VOLUNTARY PRODUCT STANDARD PS 1-19 OR PS 2-18.
 8. PLYWOOD SHALL BE AS NOTED BELOW UNLESS NOTED OTHERWISE
ROOF SHEATHING: 5/8" THICK (NOMINAL)
APA-RATED, EXP. 1
WALL SHEATHING: 1/2" THICK (NOMINAL)
APA-RATED, EXP. 1
FLOOR SHEATHING: 3/4" THICK (NOMINAL)
APA-RATED, EXP. 1.
TONGUE AND GROOVE, GLUED AND NAILED.
 9. WOOD STRUCTURAL PANELS SHALL BE INSTALLED PERPENDICULAR TO FRAMING WITH JOINTS STAGGERED. PANELS SHALL BE CONTINUOUS OVER THREE SPANS (4' LONG MINIMUM).
 10. PLYWOOD SHEATHING SHALL BE PLACED WITH A 1/8" GAP BETWEEN PANEL EDGES, UNLESS OTHERWISE INDICATED BY MANUFACTURER (EDGES NOT SUPPORTED BY FRAMING SHALL HAVE H-CLIPS INSTALLED AT MID-SPAN.) TONGUE AND GROOVE SHEATHING IS EXCLUDED FROM THIS REQUIREMENT.
 11. SHEATHING SHALL BE FASTENED TO FRAMING WITH 10d X 3" LONG NAILS AT 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS. BRACED WALLS SHALL BE BLOCKED. WALL SHEATHING SHALL LAP OVER OR MEET AT RIM BOARD. DO NOT LEAVE RIM SHEATHING AS SINGULAR PIECE.
 12. LAMINATED VENEER LUMBER, OR "LVL" SHALL BE MANUFACTURED BY TRUS-JOIST WITH AN ALLOWABLE BENDING STRESS (F_b) OF 2,600 PSI OR GREATER AND A MODULUS OF ELASTICITY (E) OF 2,000 KSI. UNLESS NOTED OTHERWISE MULTIPLE PLY LVLS SHALL BE FASTENED WITH SIMPSON 'SDS' SCREWS, (2) ROWS AT 24" O/C, EACH SIDE.
 13. PARALLEL STRAND LUMBER, OR "PSL" SHALL BE MANUFACTURED BY TRUS-JOIST WITH AN ALLOWABLE COMPRESSIVE STRESS (F_c) OF 2,500 PSI FOR COLUMNS, AN ALLOWABLE BENDING STRESS (F_b) OF 2,900 PSI FOR BEAMS, AND A MODULUS OF ELASTICITY (E) OF 1,800 KSI FOR COLUMNS AND 2,000 KSI FOR BEAMS.

PROGRESS PRINTS

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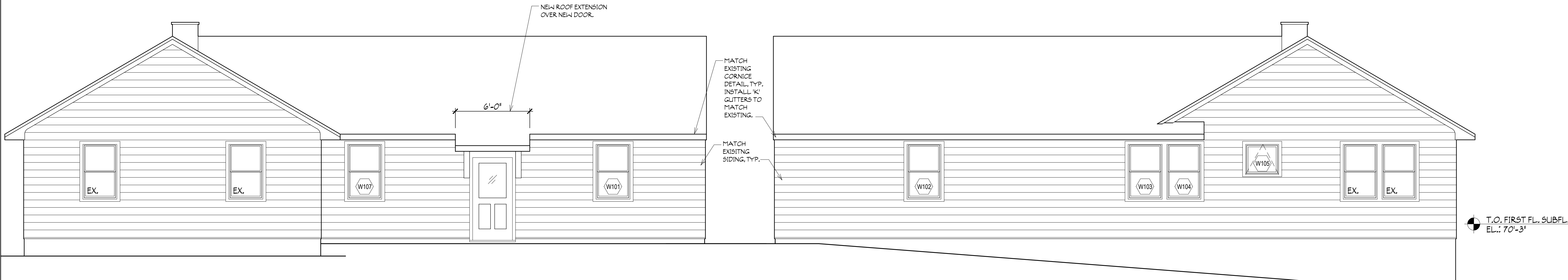
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TOP OF SLAB
EL.: 78' - 1 1/2"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

TOP OF SLAB
EL.: 78' - 1 1/2"



BACK ELEVATION

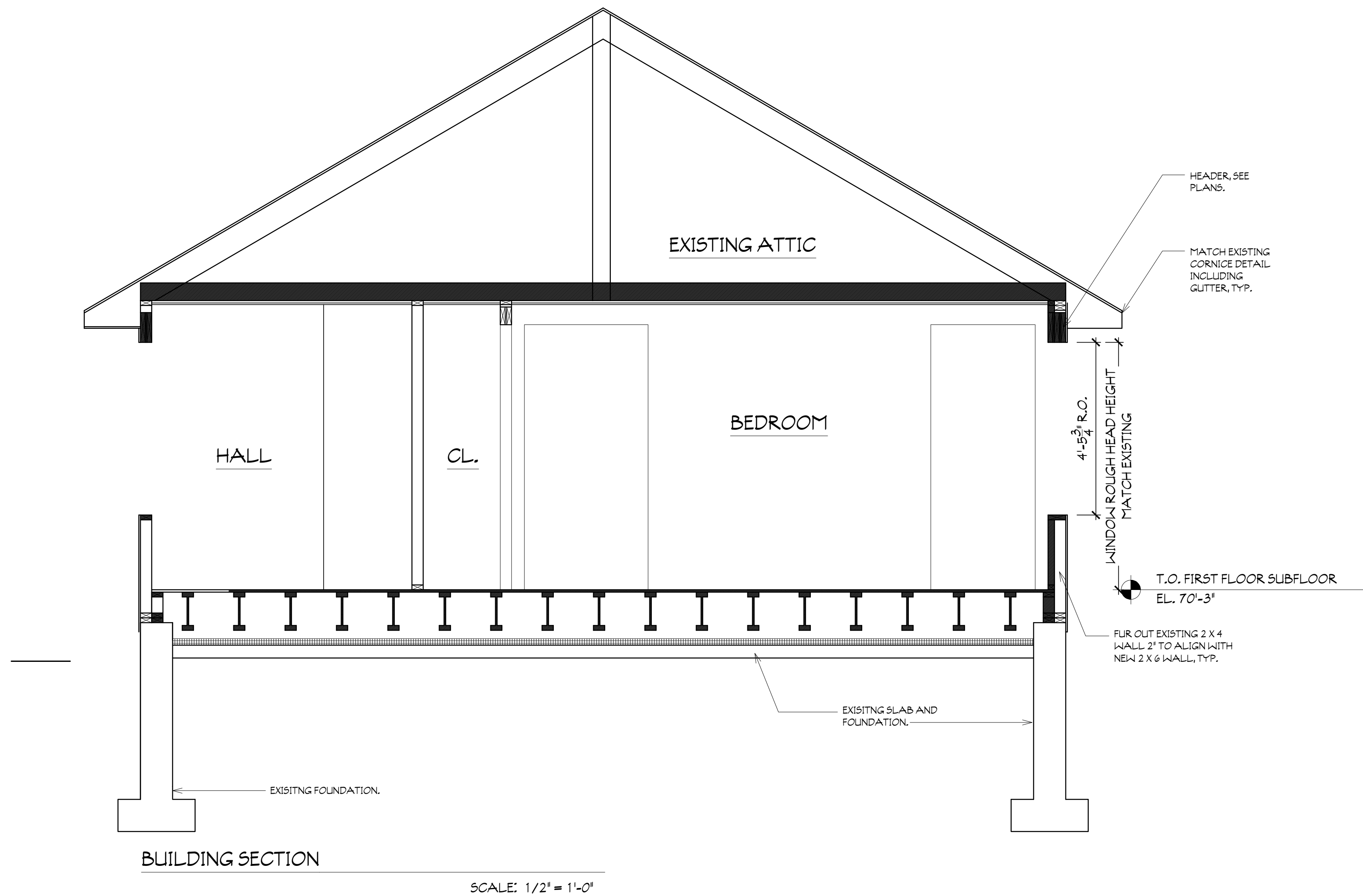
SCALE: 1/4" = 1'-0"

TOP OF SLAB
EL.: 78' - 1 1/2"

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EXISTING ROOF CONSTRUCTION

- EXISTING ASPHALT SHINGLES AND SUBSTRATE
- EXISTING ROOF SHEATHING
- EXISTING ROOF RAFTERS
- FIBERGLASS INSULATION IN CEILING BAYS
- 3/4" FURRING STRIPS
- 5/8" BLUEBOARD AND SKIM COAT (TO ACHIEVE REQUIRED FIRE RATING SEPARATION)

EXTERIOR WALL CONSTRUCTION

- RED CEDAR SHINGLE SIDING, MATCH EXISTING EXPOSURE TO WEATHER. COLOR TO MATCH EXISTING.
- HYDROGAP DRAINABLE HOUSEWRAP
- 1/2" ADVANTECH SHEATHING
- FUR OUT EXISTING 2 X 4 STUDS TO ALIGN WITH NEW 2 X 6 STUD WALL @ ADDITION
- CLOSED CELL FOAM SPRAY APPLIED INSULATION, 3" MIN. THICKNESS
- 1/2" BLUEBOARD AND SKIM COAT

FIRST FLOOR CONSTRUCTION (TYP.)

- (2) 2 X 6 P.T. PLATE, OR AS REQUIRED TO ALIGN EXISTING AND NEW FIRST FLOORS
- 2" THICK EXTRUDED POLYSTYRENE FOAMULAR OR EQUAL RIGID INSULATION, AND FIBERGLASS INSULATION AT THE SILL AND RIM JOIST.
- FLOOR JOISTS, SEE FLOOR PLANS
- 3/4" ADVANTECH T & G SUBFLOOR SHEATHING, GLUED & NAILED, INSTALL PERPENDICULAR TO JOISTS.

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ADDITIONS & RENOVATIONS TO RESIDENCE FOR:
MIKE & SUSAN DEAMARIO
43 GROVE STREET
TOPFIELD, MA

SECTIONS

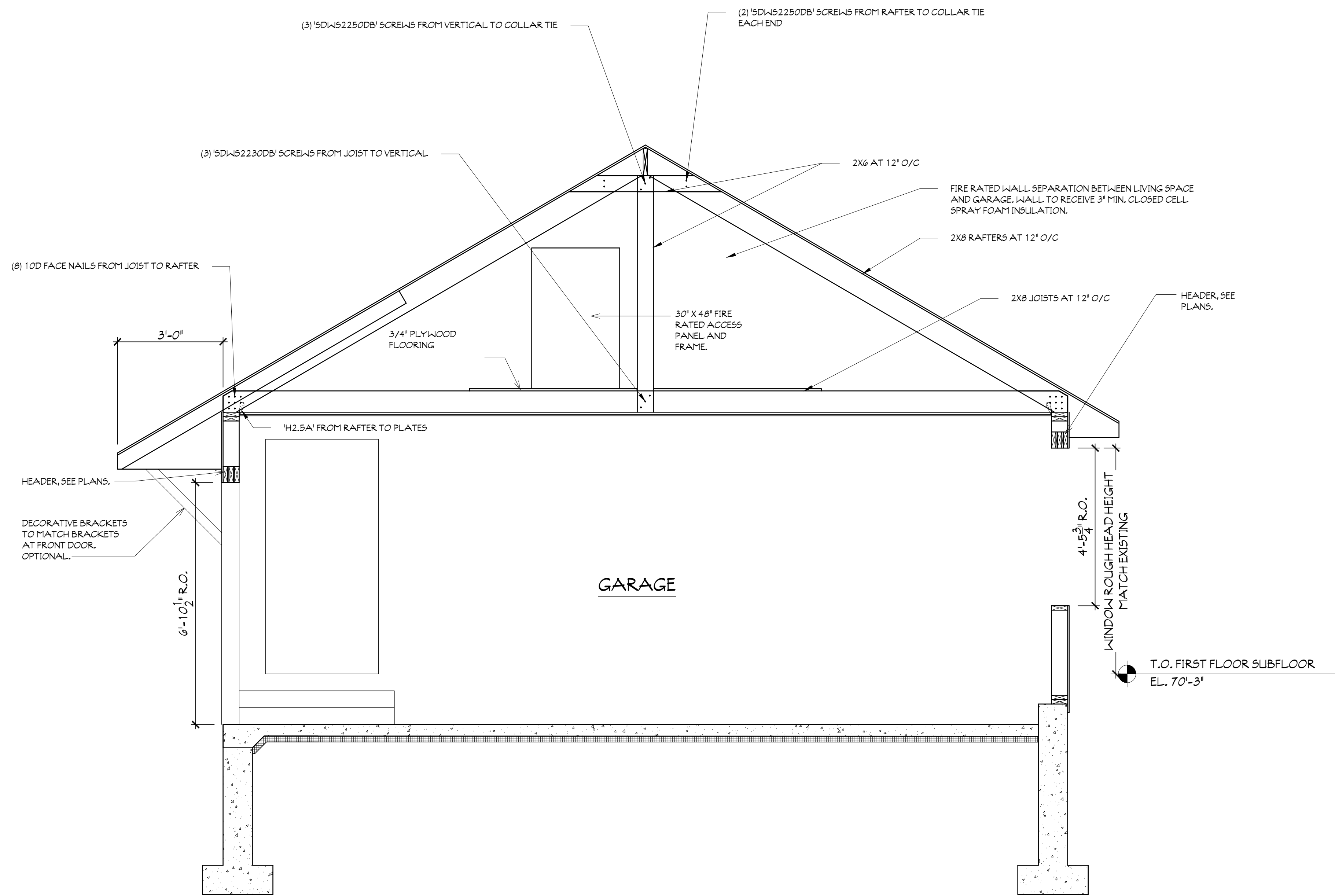
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A3.1



BUILDING SECTION

SCALE: 1/2" = 1'-0"

ROOF CONSTRUCTION

- ASPHALT SHINGLES, MATCH EXISTING
- BITUTHANE ICE & WATER SHIELD ENTIRE ROOF
- 3/8" ADVANTECH SHEATHING
- 2 X 8 RAFTERS, SEE FLOOR PLANS
- FIBERGLASS INSULATION IN CEILING JOIST BAYS (MATCH EXISTING)
- 3/4" FURRING STRIPS
- 5/8" BLUEBOARD AND SKIM COAT (TO ACHIEVE REQUIRED FIRE RATING SEPARATION)

EXTERIOR WALL CONSTRUCTION

- RED CEDAR SHINGLE SIDING, MATCH EXISTING EXPOSURE TO WEATHER. COLOR TO MATCH EXISTING.
- HYDROGAP DRAINABLE HOUSEWRAP
- 1/2" ADVANTECH SHEATHING
- 2 X 6 STUDS @ 16" O.C.
- CLOSED CELL FOAM SPRAY APPLIED INSULATION, 3" MIN. THICKNESS
- 1/2" BLUEBOARD AND SKIM COAT

FOUNDATION WALL CONSTRUCTION (TYP.)

- ASPHALTIC COATING TO WITHIN 6" OF FINAL GRADE
- 10" POURED CONCRETE WALL (SEE FOUNDATION PLAN)
- FIBERGLASS INSULATION IN WOOD STUD WALL CAVITY.

GARAGE FLOOR CONSTRUCTION (SLAB)

- 4" THICK CONCRETE SLAB W/ W/F REINFORCING (SEE STRUCTURAL)
- 2" FOAMULAR 250, OR EQUAL, T & G RIGID INSULATION
- 6 MIL. POLY. VAPOR BARRIER
- 12" MACHINE COMPACTED CRUSHED STONE

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ADDITIONS & RENOVATIONS TO RESIDENCE FOR:

MIKE & SUSAN DEAMARIO
43 GROVE STREET
TOPFIELD, MA

SECTIONS

SCALE: 1/2" = 1'-0"

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A3.2

ALLOWANCE SCHEDULE

VERIFY ALL INFORMATION WITH OWNER

DEAMARIO RESIDENCE

JULY 13, 2021

LOCATION	ITEM	SIZE	MATERIAL	ALLOWANCE	MANUFACTURER	DESCRIPTION	FINISH	REMARKS
FIRST FLOOR								
HALL	Flooring	120 SF	Tile	\$ 2,400.00				\$20/SF, SEE NOTE 1
	Built-in shelving & bench			\$ 5,000.00				
BATHROOM	Flooring	30 SF	Tile	\$ 600.00				\$20/SF, SEE NOTE 1
	Vanity	3 LF		\$ 1,200.00				\$600/LF
	Countertop	6 SF		\$ 600.00				\$100/SF
	Shower tile	70 SF		\$ 1,400.00				\$20/SF, SEE NOTE 1 (DOES NOT INCLUDE CEILING)
	Bath accessories			\$ 500.00				Mirror, towel bars, toilet paper holder, etc.
	Plumbing Fixtures			\$ 7,700.00				See Plumbing Schedule for breakdown
	Decorative light fixtures			\$ 600.00				(3) @ \$200 Sconces at vanity
SITTING AREA/ KITCHENETTE (INCLUDES HALL TO BEDROOM)	Flooring	260 SF	Wood	\$ 3,900.00				\$15/SF, SEE NOTE 1
	Cabinets	15 LF		\$ 12,000.00				\$800/SF
	Countertop	30 SF		\$ 3,000.00				\$100/SF
	Appliances			\$ 5,000.00				
	Plumbing Fixtures			\$ 1,000.00				See Plumbing Schedule for breakdown
BEDROOM	Flooring	230 SF	Wood	\$ 3,450.00				\$15/SF, SEE NOTE 1
MISC.	Door Hardware	11		\$ 1,100.00				\$100/door - Emtek or equal, 1 1/2" pair hinges
	Entry Door Hardware	1		\$ 500.00				
			Total	\$ 49,950.00				
Notes								
	1 SF INCLUDES 10% WASTE							

PROGRESS SET ONLY

PELLA WINDOW SIZES TO BE VERIFIED BY GC & OWNER PRIOR TO ORDER

VERIFY ALL FINISHES WITH OWNER

DEAMARIO RESIDENCE

43 GROVE STREET, TOPSFIELD, MA

FEB 1, 2022

WINDOW SCHEDULE

[illegible]

PROGRESS SET

G.C. AND OWNER TO REVIEW PRIOR TO ORDER

DOOR SCHEDULE

DEAMARIO RESIDENCE

43 GROVE STREET, TOPSFILED, MA

JAN 27, 2022

DOOR FEATURES: ALL UNITS BY: TRUSTILE, U.N.O. TRADITIONAL SERIES, SOLID MDF, PAINT-GRAE DOORS ALL UNITS AS NOTED BELOW OR AN EQUAL PRODUCT MAY BE SUBMITTED FOR APPROVAL BY ARCHITECT AND OWNER														NOTES:													
														HARDWARE			SCREENS										
UNIT	LOCATION		MODEL	R.O. (W X H)	SIZE	JAMB	TYPE		HINGING	LITE PATTERN	TYPE	FINISH	TYPE	REMARKS													
BASEMENT																											
FIRST FLOOR																											
D101	GARAGE DOOR		2206	9'-6" X 7'-3"	9'-0" X 7'-0"		OVERHEAD PANEL FIBERGLASS		N/A	N/A	TBD			CHI OVERHEAD DOORS, VERIFY STYLE WITH OWNER													
D102	GARAGE DOOR		2206	9'-6" X 7'-3"	9'-0" X 7'-0"		OVERHEAD PANEL FIBERGLASS		N/A	N/A	TBD			CHI OVERHEAD DOORS, VERIFY STYLE WITH OWNER													
D103	GARAGE ENTRY		TRUSTILE TS6000	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		6 PANEL		RH	N/A	TBD			90 MINUTE FIRE RATED DOOR AND FRAME													
D104	ENTRY		PL200	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		2 PLANEL WITH 1 LITE		RH	N/A	TBD			VERIFY STYLE SELECTED WITH OWNER													
D105	HALL CL.		TRUSTILE TS6000	2'-10 1/2" X 6'-10 1/2"	2'-8" X 6'-8"		6 PANEL		RH	N/A	TBD																
D106	LAUNDRY		TRUSTILE TS6000	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		6 PANEL		LH	N/A	TBD																
D107	HALL		TRUSTILE TS6000	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		6 PANEL		LH	N/A	TBD																
D108	HALL		TRUSTILE TS6000	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		6 PANEL		RH	N/A	TBD																
D109	BEDROOM		TRUSTILE TS6000	3'-2 1/2" X 6'-10 1/2"	3'-0" X 6'-8"		6 PANEL		RH	N/A	TBD																
D110	LINEN CL.		TRUSTILE TS6000	2'-10 1/2" X 6'-10 1/2"	2'-8" X 6'-8"		6 PANEL		LH	N/A	TBD																
D111	BEDROOM CL.		TRUSTILE TS6000	5'-6 1/2" X 6'-10 1/2"	(2) 2'-8" X 6'-8"		6 PANEL		N/A	N/A	TBD																
D112	BATHROOM		TRUSTILE TS6000	2'-8 1/2" X 6'-10 1/2"	2'-6" X 6'-8"		6 PANEL		RH	N/A	TBD																
D113	SITTING AREA		REUSE EXISTING	2'-10 1/2" X 6'-10 1/2"	1'-10" X 6'-8"		REUSE EXISTING		RH	N/A	TBD																
D114	MAIN HOUSE SITTING AREA		7280 (XO)	6'-0" X 6'-8"	5'-11 1/4" X 6'-7 5/8"		SLIDING PATIO		N/A	N/A	TBD			PELLA LIFESTYLE SERIES SLIDING PATIO DOOR													

PROGRESS PRINTS

FOR REVIEW ONLY

NOT FOR
CONSTRUCTION

BENJAMIN NUTTER ARCHITECTS, LLC

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DRAWN BY:

M KARAM

PRINTS MADE: FEB 1, 2022

BID: JULY 13, 2021

PERMIT: FEB 1, 2000
CONSTRUCTION:

SCHEDULES

SCALFENTS

ADDITIONS & RENOVATIONS TO RESIDENCE FOR:

MIKE & SUSAN DEAMARIO

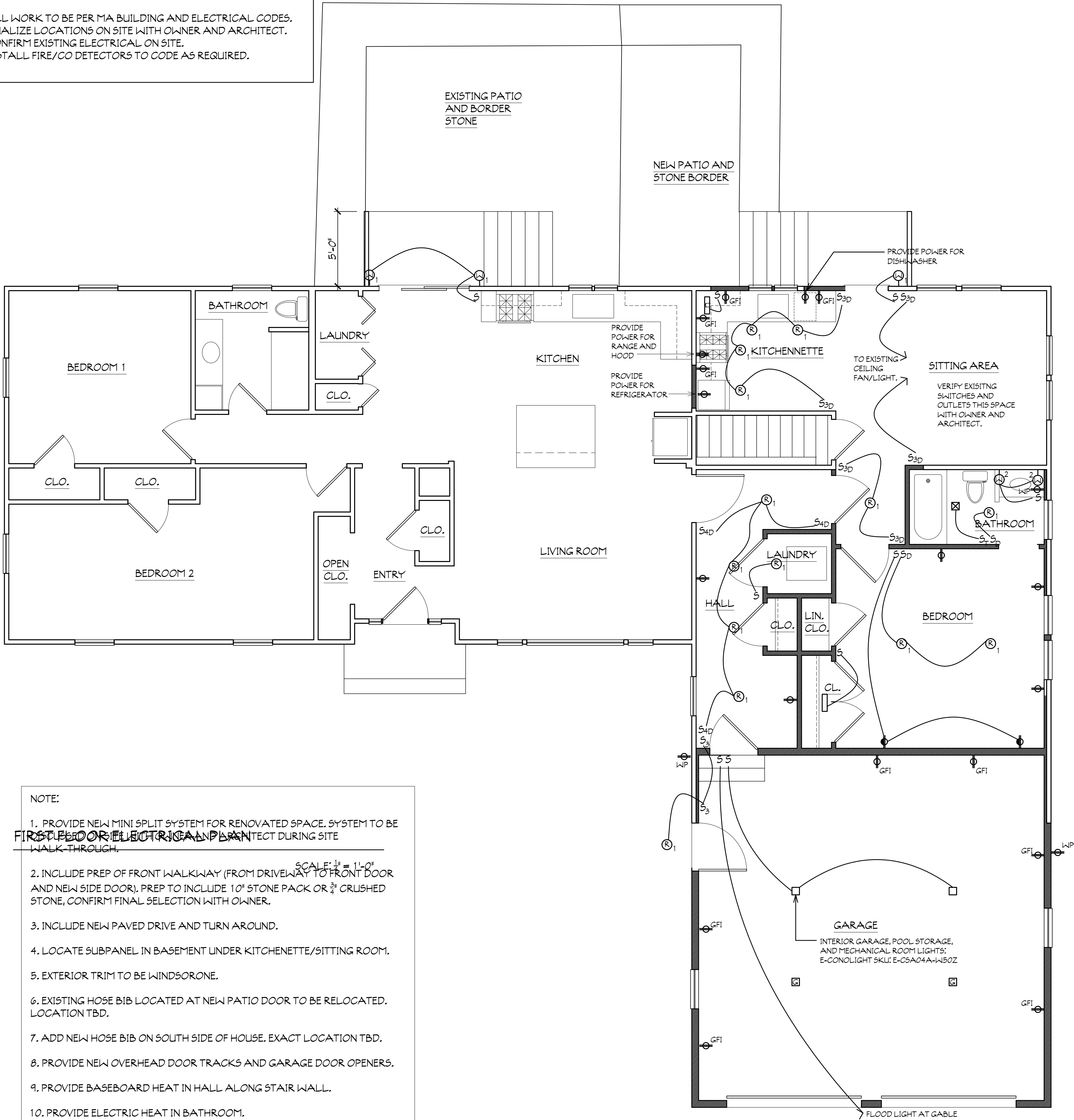
43 GROVE STREET

A8.1

ELECTRICAL LEGEND		
S	ONE-WAY SWITCH	Ⓢ RECESSED LIGHT
S ₃	THREE-WAY SWITCH	Ⓢ ₃ ADJUSTABLE RECESSED LIGHT
S ₄	FOUR-WAY SWITCH	Ⓢ ₄ WALL SCONCE
S _D	DIMMER SWITCH	Ⓢ _D FLOOR LIGHTING
S _J	JAMB SWITCH	Ⓢ _J SURFACE MOUNT FIXTURE
S _T	MOTION SWITCH	Ⓢ _T HEAT DETECTOR
S _T	TIMER SWITCH	Ⓢ _T CERAMIC BASE FIXTURE
S _P	PILOT SWITCH	Ⓢ _P FLOOD LIGHT
S _F	FAN CONTROL SWITCH	Ⓢ _F VENT FAN
Ⓢ	DUPLEX OUTLET	Ⓢ COMBINATION LIGHT/VENT FAN
Ⓢ _H	DUPLEX OUTLET INST. HORIZONTAL	Ⓢ _H UNDER-CABINET LIGHTING
Ⓢ _{GF}	DUPLEX OUTLET GROUND FAULT INT.	Ⓢ _{GF} FLOURESCENT LIGHTING
Ⓢ _{WP}	DUPLEX OUTLET WEATHERPROOF	Ⓢ _{WP} CEILING FAN
Ⓢ	DUPLEX OUTLET SPLIT FOR SWITCH	Ⓢ OVERHEAD GARAGE DOOR OPERATOR
Ⓢ	220 VOLT RECEPTACLE	Ⓢ GARAGE OPERATOR BUTTON/KEYPAD
Ⓢ	VEHICLE CHARGER	Ⓢ SPEAKER
Ⓢ	CATV/SATELLITE JACK	Ⓢ AUDIO VOLUME CONTROL
Ⓢ	AUDIO/VIDEO CABLING	Ⓢ LIGHTING CONTROL KEYPAD
Ⓢ	TELEPHONE JACK	Ⓢ MAIN SERVICE PANEL LOCATION
Ⓢ	COMPUTER NETWORK (CAT5/6)	Ⓢ SUB-PANEL LOCATION
Ⓢ	DOORBELL	Ⓢ SPARE CONDUIT LOCATIONS
Ⓢ	THERMOSTAT	Ⓢ REMOTE TRANSFORMER
Ⓢ	THERMOSTAT REMOTE SENSOR	Ⓢ STORM SHUTTER
Ⓢ	HEAT LAMP	

NOTE:

1. ALL WORK TO BE PER MA BUILDING AND ELECTRICAL CODES.
2. FINALIZE LOCATIONS ON SITE WITH OWNER AND ARCHITECT.
3. CONFIRM EXISTING ELECTRICAL ON SITE.
4. INSTALL FIRE/CO DETECTORS TO CODE AS REQUIRED.



NOTE:

1. PROVIDE NEW MINI SPLIT SYSTEM FOR RENOVATED SPACE. SYSTEM TO BE INSTALLED BY MECHANICAL CONTRACTOR DURING SITE WALK-THROUGH.
2. INCLUDE PREP OF FRONT WALKWAY (FROM DRIVEWAY TO FRONT DOOR AND NEW SIDE DOOR). PREP TO INCLUDE 10' STONE PACK OR 3/4" CRUSHED STONE, CONFIRM FINAL SELECTION WITH OWNER.
3. INCLUDE NEW PAVED DRIVE AND TURN AROUND.
4. LOCATE SUBPANEL IN BASEMENT UNDER KITCHENETTE/SITTING ROOM.
5. EXTERIOR TRIM TO BE WINDSOR ONE.
6. EXISTING HOSE BIB LOCATED AT NEW PATIO DOOR TO BE RELOCATED. LOCATION TBD.
7. ADD NEW HOSE BIB ON SOUTH SIDE OF HOUSE. EXACT LOCATION TBD.
8. PROVIDE NEW OVERHEAD DOOR TRACKS AND GARAGE DOOR OPENERS.
9. PROVIDE BASEBOARD HEAT IN HALL ALONG STAIR WALL.
10. PROVIDE ELECTRIC HEAT IN BATHROOM.

ALL ELECTRICAL TO BE REVIEWED ON SITE DURING WALK-THROUGH WITH OWNER AND ARCHITECT PRIOR TO ANY ROUGH ELECTRICAL WORK BEING DONE.

PROGRESS PRINTS
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ADDITIONS & RENOVATIONS TO RESIDENCE FOR:
MIKE & SUSAN DEAMARIO
43 GROVE STREET
TOPSFIELD, MA

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PRINTS MADE: FEB 1, 2022
BID: JUL 13, 2021
PERMIT: FEB 1, 2022
CONSTRUCTION:

DRAWN BY:
MIKARAY

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